

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting

June 11, 2021 – 2:30 PM



Virtual Meeting (Zoom)

[Watch Live Stream \(YouTube\)](#)

Consistent with recommendations from the U.S. Centers for Disease Control and Prevention related to “social distancing,” this meeting will be conducted virtually via Zoom.

Participate in the Virtual Public Hearing: Individuals who wish to participate in the virtual Public Hearing via Zoom may access the meeting as follows:

- [Instructions for Joining & Participating in the Virtual Public Hearing](#)
- **To join by computer, tablet or mobile device:** [Click here to access Zoom Meeting](#)
- **To join by phone:** Call (646) 558-8656 **Please note that long distance rates may apply**
- **Meeting ID:** 824 6893 3735 **Passcode:** 363592

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

- **Online:** [Variance #173](#) | [Variance #174](#)
- **Email:** jcronin@townofseabrookisland.org
- **Mail or Hand Deliver:** 2001 Seabrook Island Road, Seabrook Island, SC 29455

Watch Live Stream Video: The meeting will be live streamed on the town’s YouTube channel beginning at 2:30 pm:

- **Watch Live:** [Live Stream Video \(YouTube\)](#)

AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Board of Zoning Appeals Meeting: May 14, 2021 *[Pages 3–4]*

PUBLIC HEARING ITEMS

1. **Variance # 173** *[Pages 5–72]*

APPLICANT: Paul & Jana Stoyanoff (Owners)
ADDRESS: 2263 Seabrook Island Road

TAX MAP NUMBER: 147-00-00-151
ZONING DISTRICT: PUD / MF Multi-Family Residential
CODE SECTION: Ord. 2020-01, Sec. 2 (Village at Seabrook PUD) - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way; the minimum side yard setback shall be 7.5 feet from all side property lines...
VARIANCE REQUEST: To allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback

2. Variance # 174

[Pages 73–135]

APPLICANT: Mark & Lynette Smith (Owners)
ADDRESS: 3056 Seabrook Village Drive
TAX MAP NUMBER: 147-00-00-070
ZONING DISTRICT: PUD / MF Multi-Family Residential
CODE SECTION: Ord. 2020-01, Sec. 2 (Village at Seabrook PUD) - The minimum rear yard setback requirement shall be 25 feet from the rear property line...
PURPOSE: To allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback

ITEMS FOR INFORMATION / DISCUSSION

There are no Items for Information / Discussion

ADJOURN

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting

May 14, 2021 – 2:30 PM



Virtual Meeting Hosted via Zoom

[Live Streamed on YouTube](#)

MINUTES

Present: Walter Sewell (Chair), John Fox (Vice Chair), Bob Leggett, Tom Pinckney, Joe Cronin (Zoning Administrator)

Absent: Janet Gorski

Guests: Paul Stoyanoff

Chairman Sewell called the meeting of the Board of Zoning Appeals to order at 2:32 PM. Zoning Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting was properly posted.

APPROVAL OF MINUTES

1. **Board of Zoning Appeals Meeting: January 21, 2021**: Mr. Leggett made a motion to approve the minutes from the January 21, 2021, meeting. Mr. Fox seconded the motion. The motion was **APPROVED** by a vote of 4-0.

PENDING VARIANCE REQUESTS

Zoning Administrator Cronin distributed copies of the following variance applications to members of the Board and provided a brief overview of each request:

- **Variance #173 (2263 Seabrook Island Road)**: Request to allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback.
- **Variance #174 (3056 Seabrook Village Drive)**: To allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback.

Zoning Administrator Cronin noted that the public hearing for each of these variances would be held "virtually" due to the ongoing COVID-19 pandemic. He stated that the Board will be able to receive verbal comments via the Zoom platform, similar to a traditional public hearing. In

addition, the town will continue to accept written comments in advance of the meeting via the following options:

- **ONLINE:** www.townofseabrookisland.org
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

All written comments would be read into the public record during the hearing on June 11, 2021.

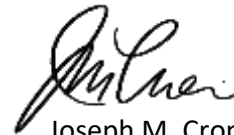
ITEMS FOR INFORMATION / DISCUSSION

1. **Discussion of Meeting Dates for Variance #175:** Zoning Administrator Cronin noted that he had received an additional variance request for property located adjacent to Marsh Walk Villas and the Racquet Club. He asked Board members whether they would prefer to schedule the meeting dates or now or do it electronically via Doodle. The consensus was to schedule the meeting dates via Doodle.
2. **Discussion of Return to In-Person Meetings:** Chairman Sewell asked about the likelihood of returning to in-person meetings. Zoning Administrator Cronin noted that there was still concern about indoor group gatherings. While the CDC has indicated that such gatherings were safe when held among vaccinated individuals, the town was prohibited by the Governor's recent executive order from restricting access based on a resident's vaccination status. Therefore, it was his expectation that virtual meetings would continue to be held for the foreseeable future. He did add, however, that the Board could resume in-person gatherings for site visits if it so chooses since those take place in an outdoor setting.

Chairman Sewell noted that the next meeting was scheduled for Friday, June 11, 2021, at 2:30 PM. He requested that members make arrangements to visit and observe each location prior to the next meeting.

There being no further business, Mr. Pinckney made a motion to adjourn the meeting. Mr. Leggett seconded the motion. The motion to adjourn the meeting was **APPROVED** by a vote of 4-0 and the meeting was adjourned at 2:51 PM.

Minutes Approved:



Joseph M. Cronin
Zoning Administrator



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 173 – 2263 Seabrook Island Road
MEETING DATE: June 11, 2021

Variance Application #173

Applicants:	Paul & Jana Stoyanoff (Owners)
Address:	2263 Seabrook Island Road
Tax Map Number:	147-00-00-151
Zoning District:	PUD / MF Multi-Family Residential
Code Section(s):	Ord. 2020-01, Sec. 2 (Village at Seabrook PUD) - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way; the minimum side yard setback shall be 7.5 feet from all side property lines...
Variance Request:	To allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback

Overview

The Town has received a variance application from Paul and Jana Stoyanoff, the owners of Charleston County Tax Map # 147-00-00-151 (hereafter, the “Applicants”). The Applicants are requesting a variance to allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback. The proposed residence will be located at 2263 Seabrook Island Road (Block 57, Lot A-19).

The subject property is currently vacant. According to Charleston County tax records, the Applicants purchased the property in February 2021. The property is currently zoned Planned Unit Development (PUD)/Multi-Family Subdistrict, and a single-family residence is a permitted use by-right pursuant to the Village at Seabrook PUD.

The PUD ordinance for the Village at Seabrook was last amended on February 25, 2020 (Ord. 2020-01). The PUD requires a minimum setback of 20 feet from the front property line for uncovered steps and 30 feet for all other structures. The PUD also requires a minimum side yard setback of 7.5 feet from the side property line. At its closest point, the proposed steps will be located approximately 15 feet from the front property line and 1.1 feet from the right-side property line.

Code Reference:

a. **Ord. 2020-01, Sec. 2 (Village at Seabrook PUD)**

1. **Front Yard Setbacks:** The minimum front yard setback shall be 30 feet from the street right-of-way; provided, however:
 - a. For corner lots wherein one street frontage is a cul-de-sac street, the minimum front yard setbacks shall be 30 feet from the cul-de-sac street right-of-way and 20 feet from the intersecting street right-of-way; and
 - b. Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way.**

2. **Side Yard Setbacks:** **The minimum side yard setback shall be 7.5 feet from all side property lines;** provided, however:
 - a. In instances where an existing structure on a neighboring lot is situated less than 7.5 feet from the shared property line, a larger setback shall be required in order to ensure a minimum separation of at least 15 feet between structures; and
 - b. Accessory structures, including but not limited to HVAC and generator equipment and associated stands, which were lawfully in existence as of February 25, 2020, may be replaced; provided, no part of the new equipment and/or stand may be situated any closer to the side property line than the equipment and/or stand which it will replace; and provided, the replacement equipment and/or stand is installed no more than ninety (90) days following removal of the equipment and/or stand which it will replace.

Aside from the encroachment of the front steps into the front and right-side property lines, the proposed home will comply with all other setback requirements.

In order to allow for construction of the proposed residence, the Applicants are requesting the following variance from the requirements of the DSO:

TYPE	REQUIRED PER PUD	VARIANCE (REQUESTED)
Front Yard Setback	20 feet (Ord. 2020-01, § 2)	Reduce the front yard setback requirement for open steps from 20 feet to approximately 15 feet (5-foot encroachment)
Side Yard Setback	7.5 feet (Ord. 2020-01, § 2)	Reduce the side yard setback requirement from 7.5 feet to approximately 1.1 feet (6.4-foot encroachment)

In their application, the Applicants are requesting relief from the rear yard setback requirement for the following reasons:

- a) The depth and location of the curved setback places a unique and additional burden on this lot in trying to meet the setback requirements for the front stairs while maintaining enough buildable area for the home;
- b) Lot A-19 is the smallest of the “A” lots in this section of the Village at Seabrook and, therefore, has less room in which to accommodate the front stairs;
- c) The extreme acute angles on the lot create areas that cannot be used, thereby reducing the buildable area of the lot compared to other lots in the vicinity; and
- d) Granting the variance for only the front stairs will minimize the visual impact to the community and, further, the Applicants intend to install landscaping to mitigate visual impact to the owners of lot A-18. .

Staff Comments

As a matter of practice, the town’s Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on June 11, 2021. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town’s DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall install enhanced landscaping along the shared property line with lot A-18 so as to screen the encroaching stairs from the neighboring property.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.

- The variance shall expire on June 11, 2021 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "J. Cronin", written in a cursive style.

Joseph M. Cronin
Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 11-18
2	Site Plan & Architectural Drawings	p. 19-26
3	Village at Seabrook PUD (Ord. 2020-01)	p. 27-35
4	Subdivision Plat (2015)	p. 36-37
5	Property Photos	p. 38-43
6	Zoning Map	p. 44-45
7	Aerial Image	p. 46-47
8	FEMA Base Flood Elevations	p. 48-49
9	Title to Real Estate	p. 50-56
10	Property Information Card	p. 57-58
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 59-60
12	Public Hearing Notice – List of Neighboring Property Owners	p. 61-62
13	Public Hearing Notice – USPS Certified Mail Receipts	p. 63-64
14	Public Hearing Notice – Post and Courier Legal Ad	p. 65-66
15	Public Hearing Notice – Property Posting	p. 67-68
Other Information		
16	As-Built Drawing for Lot A-18 – 2259 Seabrook Island Rd (2009)	p. 69-70
Written Correspondence Regarding the Proposed Variance Request		
17a	Correspondence from Robert Hulett (03-17-2021)	p. 71-72



ATTACHMENT #1

Variance Application

Mr Joe Cronin
Seabrook Island Zoning Administrator

Re: 2263 Seabrook Island Rd, Zoning Variance request

Submitted by: Paul and Jana Stoyanoff
1908 Marsh Oak Ln., Seabrook Island, Sc, 29455
paulstoyanoff@gmail.com
704-575-2566

Mr. Cronin,

attached is a Zoning Variance request for the Seabrook Board of Zoning appeals. We have completed the request and attached supporting documents as required and appreciate your consideration. I will also be emailing PDFs to you of the survey and other items.

We are unable to provide POA/Seabrook ARC approvals until the variance is hopefully approved. We(myself and the architect) have had an initial meeting with the Seabrook ARC staff and they were agreeable pending approval of the zoning request. We will then be able to continue the design and approval processes.


Please note that Swallowtail Architecture has designed highly regarded new homes and renovations on the island and Vintage Home Builders have extensive experience working within the spirit of Seabrook Island's requirements.

We look forward to a favorable outcome and working in concert with the Zoning, ARC and Villages requirements.

Please do not hesitate to contact me for any additional information.

Regards,

Paul Stoyanoff

A handwritten signature in black ink, appearing to read "Paul Stoyanoff". The signature is written in a cursive, flowing style with some loops and flourishes.



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE
 Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island’s Development Standards Ordinance (hereafter, the “DSO”) must submit a written application, along with a \$300.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	2263 Seabrook Island Rd, Seabrook Island SC, 29455			
Tax Map Number	147-00-00-151	Block	Lot	A19
Lot Size (Square Feet)	6,119.64			
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes		No
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)		Yes		No

2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	Paul & Jana Stoyanoff		
Applicant Address	1908 Marsh Oak Ln., Seabrook Island, SC, 29455		
Applicant Phone Number	704-575-2566		
Applicant Email Address	paulstoyanoff@gmail.com		
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?			

3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)	N/A		
Owner Mailing Address			
Owner Phone Number			
Owner Email Address			
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.			
Owner Signature(s)		Date	03/17/21
		Date	03/17/21

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.

Applicant Signature(s)		Date	3/20/21
		Date	3/20/21

OFFICE USE ONLY

Date Filed:	Variance Application #:	Hearing Date:
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5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

Design and build a new elevated 2 story custom home at 2263 Seabrook Island Road on Lot A19.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s): 7.60.80.10

2) DSO Requirement(s): See Attached details

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

See attached details

2) These conditions do not generally apply to other property in the vicinity as shown by:

See attached details

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

See attached details

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

See attached details

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered "complete" until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:



Completed & Signed Variance Application Form (Paper Required; PDF Optional)

- Please submit one *completed* paper application. All signatures must be original.



\$300.00 Application Fee

- The application fee may be paid by cash or check only.



As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)

- All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.



Proposed Site Plan (Paper & PDF Required)

- Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
- For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.



Scaled Architectural Drawings: (Paper & PDF Required)

- Required for all new structures and/or exterior modifications to existing structures.
- Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.



Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)

- Required for all properties which are subject to private restrictions and/or covenants. If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.



Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Stoyanoff Variance
2263 Seabrook Island Road

Section 1-4: Paul to complete

Section 5 A: Design and build a new elevated 2 story custom home at 2263 Seabrook Island Road on Lot A19.

Section 5B: We request 2 variances to provide room for the front stairs.

7.60.80.10 Cornices and windowsills may not project into any required setback. Decks, covered decks or porches shall not project into any required setback except as allowed in this Article. In the case of lots having less than seventeen thousand five hundred (17,500) square feet of total area, the eave of the roofline may extend up to eighteen (18) inches into the required setback.

Front stairs may not extend into the side setback. We request variance to extend front stair into the side setback

7.60.80.20 Uncovered front steps may extend into a front setback on properties zoned multi-family, but may not be less than twenty (20) feet from the property's front lot line.

Our front stair must have a 20' setback from property front line We request variance to extend into the front setback

Section 5C

1: The following are the exceptional conditions:

- A) On Lot A18, the neighbor's front porch extends into the side setback, resulting in a curved setback line on Lot A19 around this porch corner to maintain 15' of separation between homes. The curve within the side setback, effectively increases the side setback to 9'-5 1/2". Lastly, the shape of the curve, situated near the middle of the side setback compromises most of that side of the site, not just the 52% it directly affects. *The depth and location of the curved setback places a unique and additional burden on this lot in trying to meet the setback requirements for the front stair and maintain enough buildable area for the home.*
- B) Lot A19 is a corner lot, created within the 'A' lots on a series of cul-de-sacs along Seabrook Island Road. Lot A19 is the smallest of the 'A' lots, including a slightly larger lot beside it at A18. The depth of this lot is much less than the other A series lots. *This greater depth of buildable area on all of these lots allows greater room in which to locate the home and the front stair within the setbacks.*

- C) Lot A19 is among is also exceptional within the corners lots, as not only does it have a significantly reduced depth, the shape of the buildable area has sharper corners with angles less than 45° within the site. *The extreme acute angles within the buildable area creates triangular areas that cannot be used, thus further reducing that actual usable area and the ability to fit the home and the front stairs within the setbacks*
- D) The drive for Lot 18 is drive is angled to such a degree that the mouth of their drive extends into the front area of Lot A19. *This site condition further reduces the options on where to locate the drive, new home and front stairs.*

2: These conditions do not generally apply to other property within the vicinity as shown by:

- A) Although the zoning bylaws state that a minimum of 15' shall be maintained between all building, most lots within Seabrook Village do not have a neighboring home encroaching into the set back, requiring an additional loss of buildable area within their lot. Most properties only have the standard 7.5' side setback where as we have over 9'-5 ½". And as we noted above, while this curve consumes 52% of the length of the side setback, but its location in the middle really means it affects the entire length. *This further restriction of the side setback, on a small lot, poses an unnecessary hardship that does not generally apply to other properties within the vicinity.*
- B) In referring to the "Plat Showing The Subdivision of The Village at Seabrook", lot A19 is the smallest of the corner 'A' series lots, and has the shallowest depth of buildable area. The 'A' series lots are all comparable lots, being comer lots around a series of 3 cul-de-sacs along Seabrook Island Drive. All have a greater depth than this lot sand many have a more rectangular (and thus easier to develop) shape. Even the adjacent property at A18, while very similar is size to A19, is slightly bigger. In addition, the fact that their front porch extends into the side yard and their drive crosses the projected property line suggests that they too found it difficult to fit their home on that lot. This condition of a very shallow depth is not generally applied to other properties within the vicinity as observed on "Plat Showing The Subdivision of The Village at Seabrook". *This greater depth of buildable area on all these lots allows greater room in which to locate the home and the front stair within the setbacks and shows this condition of a shallow depth poses unnecessary hardship that does not generally apply to other properties within the vicinity.*
- C) In referring to the "Plat Showing The Subdivision of The Village at Seabrook", Lot A19 is also exceptional within the 'A' series corners lots, as not only does it have a significantly reduced depth, the shape of the buildable

area has sharper corners with angles less than 45° in the rear corner. Of all the corner 'A' series sites lots, A18 and A19 appear to have especially acute angles. As noted above, the encroachment of the front porch and drive on A18 into the setbacks suggest they found it difficult to meet their setback conditions. *These extreme acute angles within the buildable area create areas that cannot be used, thus further reducing that actual usable area and the ability. The fact that only 2 lots appear to have this condition and our neighboring lot with this condition was developed with encroachments into lot A19 show this condition is unique and does not generally apply to other property within the vicinity.*

D) The location of a neighbor's drive extending into the area in front of a Lot is not typical but may occasionally exist. But it is not typical and does not generally apply to other property within the area.

3. Because of the unique conditions created by the:

- curved side set back,
- the driveway encroachment,
- the extremely shallow depth of the lot and the
- extreme angles of the back corner,

This lot has less than the usual amount of room on the lot to develop a home of the size allowed within the Seabrook Village ordinance and has less than the typical frontage area in which to provide a drive and still have enough space left over for the front stair.

We are asking for relief on the front and side setback for the front stair as we cannot develop a home of the size allowed within the Seabrook Village ordinance without this variance.

4. Granting this variance for only the front stair, means the visual impact would be very small. This variance, unique to this property, and visually small, would not harm the greater community or change the character of the community. We understand this would affect the homeowner of A18, and intend to install landscaping to mitigate. **Paul, if you discuss this with them and they are OK with this, you should add that here.**

Section 6

Paul to coordinate, Rachel to supply site plan, and "Plat Showing The Subdivision of The Village at Seabrook"

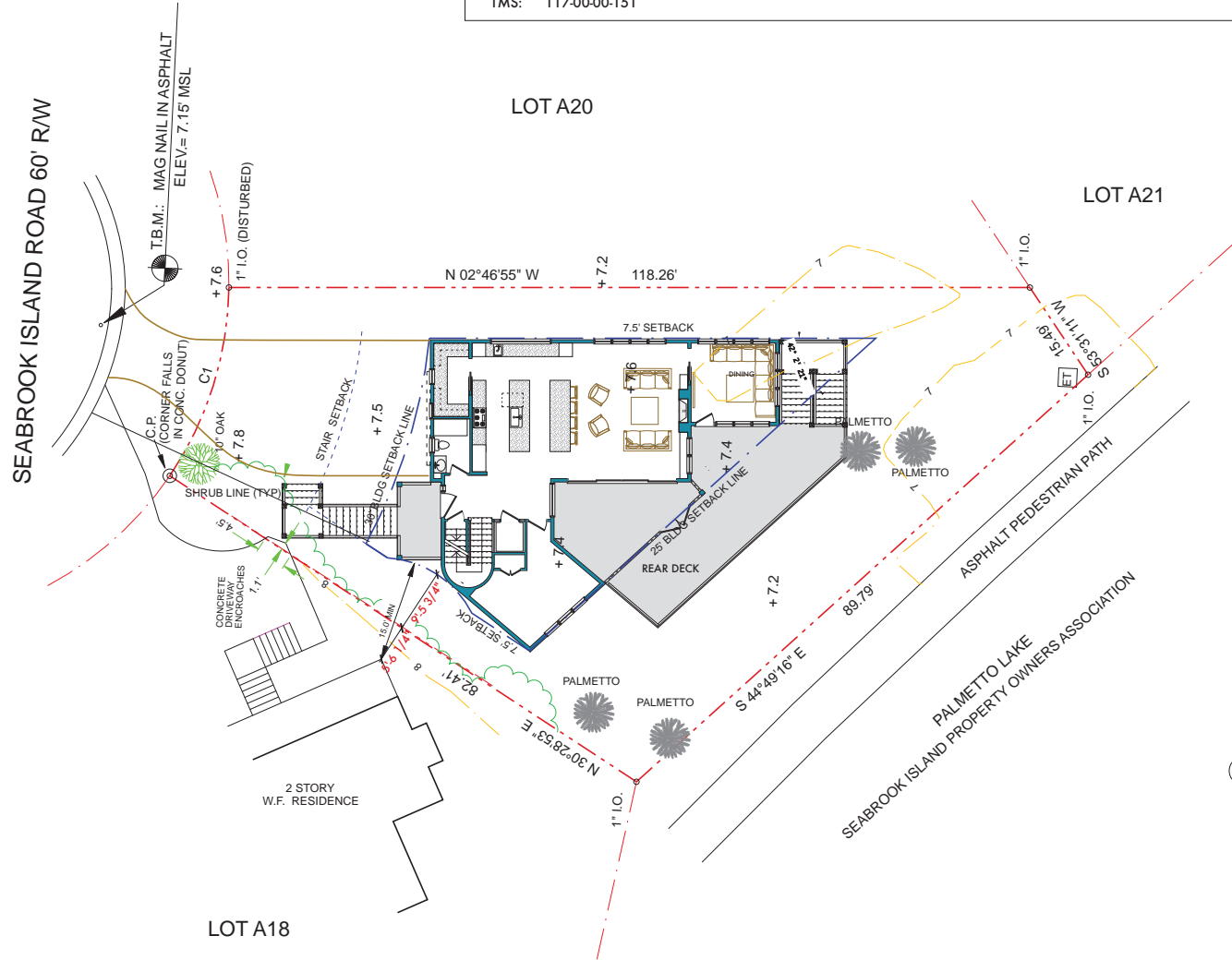


ATTACHMENT #2

Site Plan & Architectural Drawings

ZONING SEABROOK ISLAND	Set Backs:	COVERAGE:	Impervious Area:
Owner: Paul and Jana Stoyanoff	Front Set Back 30'	Proposed House Areas:	Total Home Footprint 2283
Lot: A19 Villages at Seabrook	Side Set back 7.5'	Heated area 1362	Drive 625
Address: 2263 Seabrook Island Road	Rear Set back 25'	front porch 75	Sidewalk 0
Lot Area: 6119.64 sq ft	Maximum Height Allowed: 36'	front stairs 94	Allowed Heated Space: 2770
Flood Zone: AE10 as of Jan 30, 2021	Provided: 36'	back porch 276	Provided on 2 floors: 2724
FIRM Panel 45019C-0785J		back deck 352	
Dated Nov 17, 2004		back stairs 127	
Plat Book S15 Page 0102		Total Footprint 2283	
TMS: 117-00-00-151			

NOTE:
THE DRAWINGS ARE A 2 D REPRESENTATION OF A 3D CONSTRUCTION.
DO NOT SCALE DISTANCES ANY DIRECTION, WHILE THE DRAWINGS ARE SUBSTANTIAL DRAWN TO SCALE NOTED, DISTANCES ARE NOT INTENDED TO BE SCALED.
THE DRAWINGS AS DIAGRAMMATIC AND ARE INTENDED TO REPRESENT CONSTRUCTION COMPONENTS AND THEIR INTERDEPENDENT RELATIONSHIPS, DIMENSIONS AND NOTES SHOWN IN THE DRAWINGS ARE INTENDED TO DESCRIBE DISTANCES AND RELATIONSHIPS BETWEEN CONSTRUCTION COMPONENTS TO ACHIEVE COMPLETE, CODE COMPLYING BUILDING DESIGN CONCEPT.



1 SITE PLAN
Scale: 1/8" = 1'-0"

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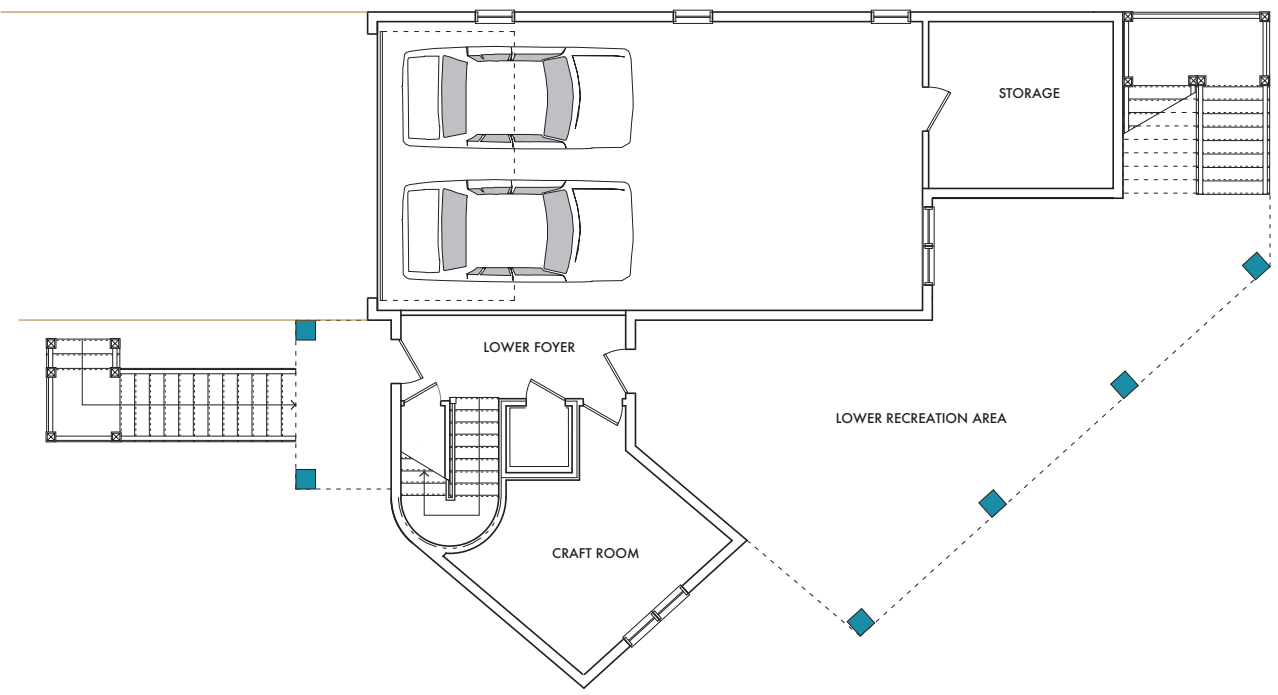
STAMP: **NOT FOR CONSTRUCTION**

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ARCHITECTURE AND INTERIOR DESIGN
818 Cole Ave, Summerville, SC 29883
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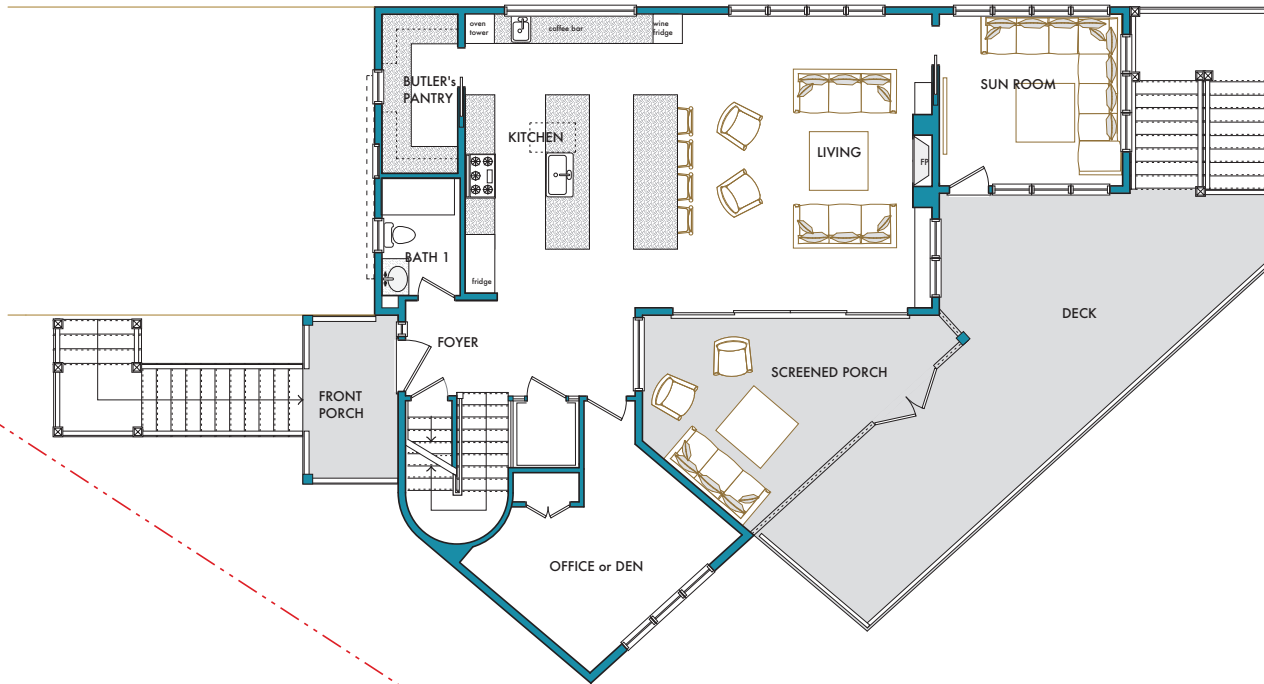
STOYANOFF RESIDENCE
NEW CONSTRUCTION
LOT A19
VILLAGES AT SEABROOK, SEABROOK ISLAND
South Carolina

Plot Date: 4/20/21
Checked: RB
Drawn: RB
Drawing Title: **Site Plan**
Drawing No.: **C1.0**

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<p>STOYANOFF RESIDENCE NEW CONSTRUCTION LOT 219 VILLAGE AT SARBROOK, SARBROOK ISLAND South Carolina</p>		<p>SWALLOWTAIL ARCHITECTURE, LLC ARCHITECTURE AND INTERIOR DESIGN 40895403 • swallowtailarch.com 818 Cole Ave, Summerville, SC 29883</p>		<p>NOT FOR CONSTRUCTION</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Issued For</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> </tbody> </table>	No.	Issued For	Date	1			2			3			4			5		
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<p>Plot Date: 4/20/21</p>		<p>Checked: RB</p>		<p>Drawn: RB</p>																			
<p>Drawing Title: Ground Floor Plan</p>		<p>Drawing No.: A1.0</p>		<p>The information illustrated on this drawing was created specifically for this Client for this project on this site, and may not be used for any other purpose than the legal permissions granted through this Project without the consent of the Architect. This drawing may not be reproduced without the written permission of Swallowtail Architecture, LLC © 2021 Swallowtail Architecture, LLC</p>																			



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

First Floor Areas	
Allowed Heated Space:	2770
Provided on 2 Floors:	2724
Heated area	1362
front porch	75
front stairs	94
back porch	274
back deck	352
back stairs	127
TOTAL FOOTPRINT:	2283

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NOT FOR CONSTRUCTION

STOYANOFF RESIDENCE
NEW CONSTRUCTION
LOT 119
VILLAGE AT SARBROOK, SARBROOK ISLAND
Smithfield



SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
40895403 • swallowtailva.com
818 Lee Ave, Smithfield, VA 24083

Plot Date	4/20/21
Checked	RB
Drawn	RB
Drawing Title	First Floor Plan
Drawing No.	A1.1

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1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

Plumbing Legend	
	Water Closet - Elongated Bowl
	Oval Lavatory
	Tub - With shower connections and shower rod
	Shower Stall
	Air Conditioning Condenser Unit
	Water Heater - tankless Resinai
	Double Sink - with disposal, under counter dishwasher; faucets selected by owner
	Washer & Dryer - Connections with 1, 110 duplex, 1, 220 outlet, and hot and cold water and 1 1/2" vented waste for washer. Vent dryer to exterior of building.
	Hose Bib

General Symbols	
	2x4 stud @ 16" o.c., see treated lumber below floor plate and when in contact with masonry. Typical unless otherwise noted.
	2x6 stud @ 16" o.c., see treated lumber below floor plate and when in contact with masonry. Typical unless otherwise noted.
	Width & Height in Feet & Inches Interior Doors
	Sliding Bypass Door
	Pocket Door
	Bi-Fold Door
	Detail Reference Sheet number Detail number
	Blg. Section Reference Sheet number Section number
	Keyed into Exterior Opening Schedule by number Exterior Window
	Keyed into Exterior Opening Schedule by number Exterior Door

Construction Notes	
1.	All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
2.	All interior walls to have sound batt insulation.
3.	For sizes of structural columns refer to Structural Drawings.
4.	HVAC Contractor to perform heat gain calculations based on volume, amount of glazing, type of glazing, and components which give off heat (A/V components, ice maker, appliances etc.)
5.	All dimensions to face of stud, unless noted otherwise.
6.	Exterior windows and doors as selected by Owner. Refer to Plans for sizes.
7.	Exact cabinet layout and configuration by Others. Contractor to ensure window clearance at cabinet locations.
8.	Set door jambs 6" from corner, where possible.
9.	Contractor to verify required clearances at elevator.

Second Floor Areas	
Total SF heated space	1362 sq ft
Back Deck	212 sq ft

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ARCHITECTURE AND INTERIOR DESIGN
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818 Cole Ave, Ste 100, St. Paul, MN

SWALLOWTAIL ARCHITECTURE, LLC

STOYANOFF RESIDENCE
NEW CONSTRUCTION
LOT 119
VILLAGE AT SARBROOK, SARBROOK ISLAND
Shore Gardens

Plot Date: **4/20/21**

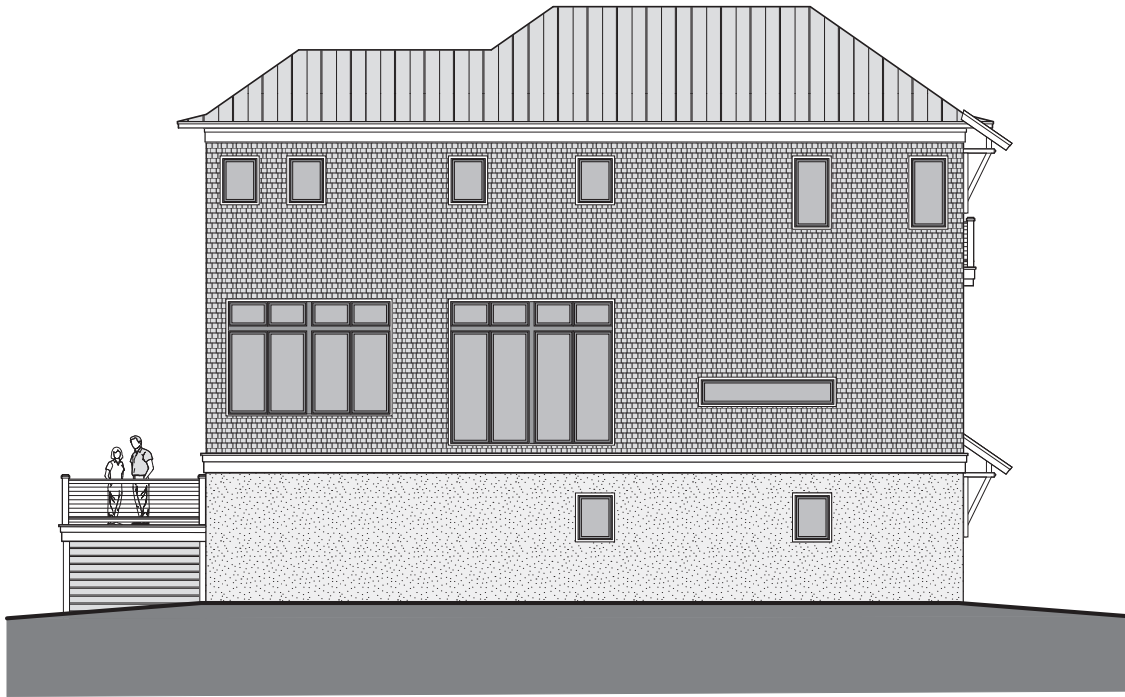
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Drawn: RB

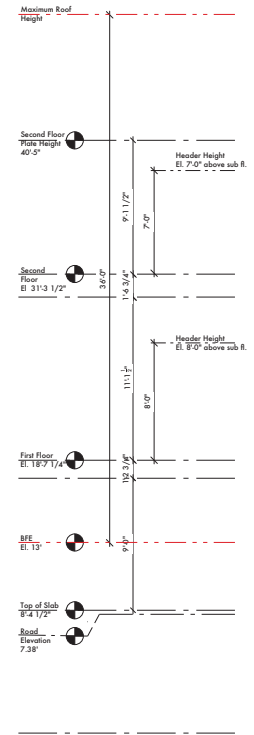
Drawing Title: **Second Floor Plan**

Drawing No.: **A1.2**

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1 Left Side Elevation
Scale: 1/4" = 1'-0"



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Stamps

NOT FOR CONSTRUCTION

STOYANOFF RESIDENCE
NEW CONSTRUCTION
LOT 719
VILLAGE AT SUBROOK, SUBROOK ISLAND
Smithfield

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80891903 • swallowtailva.com
818 Lee Ave, Smithfield, VA 24083

Plot Date: 4/20/21

Checked: RB

Drawn: RB

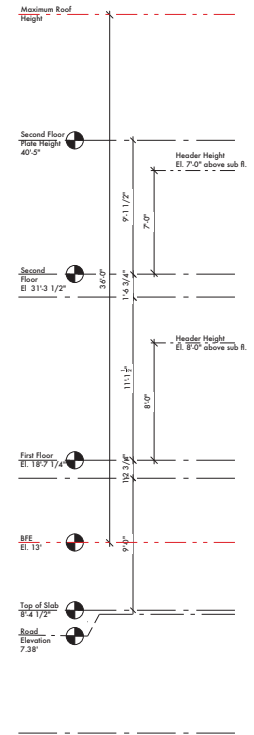
Drawing Title: **Front Elevation**

Drawing No.: **A2.0**

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1 Front Elevation
Scale: 1/4" = 1'-0"



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NOT FOR CONSTRUCTION

STOYANOFF RESIDENCE
NEW CONSTRUCTION
LOT 119
VILLAGE AT SUBROOK, SUBROOK ISLAND
Smith Gardens

SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
40895940 • swallowtailarch.com
818 Cole Ave, Summerville, SC 29983

Plot Date: **4/20/21**

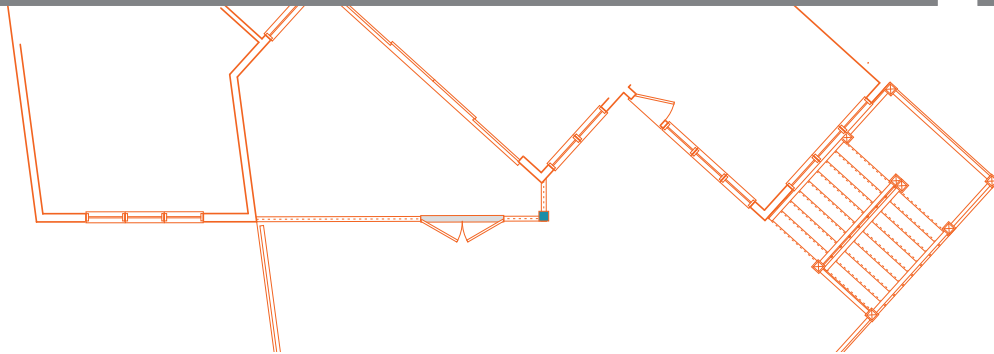
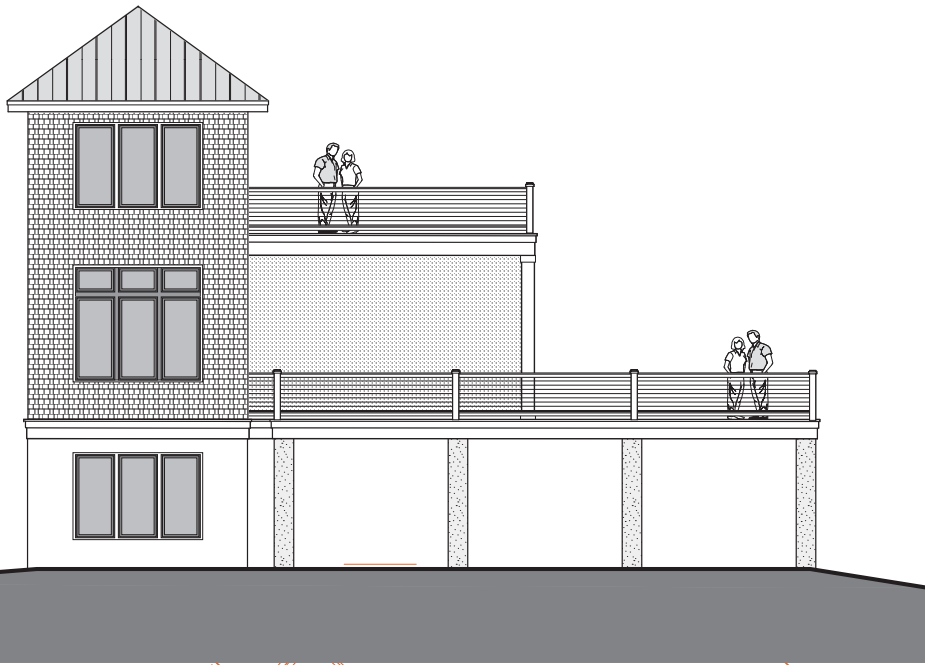
Checked: RB

Drawn: RB

Drawing Title:
Left Side Elevation

Drawing No.:
A2.1

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 408959403 • swallowtailarch.com
 818 Cole Ave, Summerville, SC 29983

AND

STOYA NEW CONST
 LOT 119
 VILLAGE AT 550
 SMITH COLUMBIA

Plot Date: 4/20/21
 Checked: RB
 Drawn: RB
 Drawing Title: Rear Elevation

Drawing No. **A2.2**

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ATTACHMENT #3

Village at Seabrook PUD (Ord. 2020-01)

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

ADOPTED FEBRUARY 25, 2020

AN ORDINANCE ADOPTING A SECOND AMENDMENT TO THE PLANNED UNIT DEVELOPMENT FOR THE VILLAGE AT SEABROOK (FORMERLY KNOWN AS "AREA SIX" AND THE "LAKE ENTRY TRACT")

WHEREAS, on February 22, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-01, entitled "An Ordinance to Adopt a Planned Unit Development Within Area Six (Lake Entry Tract)"; and

WHEREAS, on June 5, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-08, entitled "An Ordinance to Amend the Planned Unit Development Within Area Six for the Lake Entry Tract (Developed as the Village at Seabrook)"; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island now wish to amend the Planned Unit Development ordinance for Lake Entry Tract, now known as the "Village at Seabrook," so as to modify the setback requirements and other development standards related to the Village at Seabrook; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island believe it is fitting and proper to amend the requirements of the Planned Unit Development for the Village at Seabrook so as to clarify and standardize the requirements for future development; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island advertised and held a public hearing on the proposed amendments during a duly called meeting on February 25, 2020, with public comments duly noted;

NOW, THEREFORE, pursuant to the authority granted by the Constitution and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE MAYOR AND COUNCIL FOR THE TOWN OF SEABROOK ISLAND:**

SECTION 1. Purpose

This ordinance is adopted to amend the Planned Unit Development for the Village at Seabrook (formerly known as "Area Six" and the "Lake Entry Tract"), which was established by Ordinance 2000-01 on February 22, 2000, and amended by Ordinance 2000-08 on June 5, 2000.

SECTION 2. PUD Amended

The Village at Seabrook PUD (Application #1739 as amended) (Exhibit A) is hereby approved and adopted. The approved amendments to the application which shall constitute the PUD for this property are shown on the map attached as Exhibit B and incorporated herein by reference; provided, however, the Land Use Summary contained within the attached Exhibit B is hereby amended to read as follows:

LAND USE SUMMARY

TMS #: Formerly known as 147-00-00-009

Total Area (Including Lake): 42.219 AC

- Common Area and Lake: 8.33 AC
- Seabrook Island Road: 2.5 AC
- Residential: 22.84 AC
- Buffers: 3.0 AC
- Residual Tract (Ground Lease): 5.54 AC

Proposed Land Use: Detached Multi-Family Residential

Minimum Lot Size: 6,000 S.F.

Maximum Lot Coverage: 40%

Setbacks:

- Front Yard Setbacks: The minimum front yard setback shall be 30 feet from the street right-of-way; provided, however:
 - For corner lots wherein one street frontage is a cul-de-sac street, the minimum front yard setbacks shall be 30 feet from the cul-de-sac street right-of-way and 20 feet from the intersecting street right-of-way; and
 - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way.
- Side Yard Setbacks: The minimum side yard setback shall be 7.5 feet from all side property lines; provided, however:
 - In instances where an existing structure on a neighboring lot is situated less than 7.5 feet from the shared property line, a larger setback shall be required in order to ensure a minimum separation of at least 15 feet between structures; and
 - Accessory structures, including but not limited to HVAC and generator equipment and associated stands, which were lawfully in existence as of February 25, 2020, may be replaced; provided, no part of the new equipment and/or stand may be situated any closer to the side property line than the equipment and/or stand which it will replace; and provided, the replacement equipment and/or stand is installed no more than ninety (90) days following removal of the equipment and/or stand which it will replace.

- Rear Yard Setbacks: The minimum rear yard setback requirement shall be 25 feet from the rear property line; provided, however:
 - For lots abutting an open space area (lake, lagoon, golf course, trail, etc.), an uncovered deck may encroach no more than 10 feet into the required rear yard setback;
 - For pie-shaped lots that do not have a defined rear property line from which to apply a rear yard setback, the rear yard setback shall be measured from the point where the side property lines intersect at the rear of the property; and
 - Pursuant to Section 7.60.10.10 of the DSO, corner lots are defined to have two front yards and two side yards. Therefore, a rear yard setback shall not be required for any corner lot.

The Lake Entry Tract PUD is subject to all of the requirements of the Town Code and DSO; provided, however, all detached residential units within the Village at Seabrook shall be treated as “single-family detached residential units” and, therefore, shall not be subject to the architectural review requirements for multi-family development, as outlined in Section 14 of the DSO, as long as the architectural plans have been reviewed and approved by a duly constituted architectural review board prior to the issuance of a zoning permit by the town. In the event of conflict between this ordinance and the Town Code and/or DSO, the provisions of this ordinance shall prevail. The applicant further agrees that all roads within the PUD as well as the six-acre lake shall be deeded to the Seabrook Island Property Owner’s Association.

SECTION 3. Codification

The Development Standards Ordinance of the Town of Seabrook Island, South Carolina; Article 6, Approved Planned Developments; Section 6.80, The Village at Seabrook, a/k/a Lake Entry Tract, PDD, is hereby amended so as to replace the existing language in Section 6.80 with the language contained in Section 2 of this ordinance.

SECTION 4. Severability

If any section, subsection, paragraph, clause, or provision of this ordinance shall be deemed to be unconstitutional, unenforceable, or otherwise invalid by the final decision of a court of competent jurisdiction, it shall be construed to have been the legislative intent of Town Council to pass said ordinance without such unconstitutional provision, and the validity of all remaining sections, subsections, paragraphs, clauses, or provisions of said ordinance shall not be affected thereby. If said ordinance, or any provision thereof, is held by the final decision of a court of competent jurisdiction to be inapplicable to any person, group of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances.

SECTION 5. Conflicting Ordinances Repealed

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.


SECTION 6. Effective Date.

This ordinance shall be effective from and after the date of adoption.

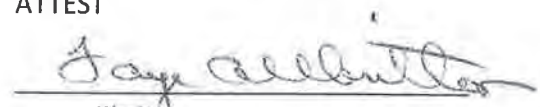
SIGNED AND SEALED this 28th day of February, 2020, having been duly adopted by the Town Council for the Town of Seabrook Island on the 25th day of February, 2020.

First Reading: January 28, 2020
Public Hearing: February 25, 2020
Second Reading: February 25, 2020

TOWN OF SEABROOK ISLAND


John Gregg, Mayor

ATTEST


Faye Allbritton, Town Clerk

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit A

PUD Application (As Amended)

Town of Seabrook Island - Zoning Permit

Permit Date: 03/27/1997 Permit #, Town: 1739 License #: 0
TMS Number: 147-00-00-009 Thru: And: Paid Date: 03/27/1997
App Fee: \$820.00 Cash: No Check #: 1008

Applicant Name: Seabrook Island I.L.I.C. Phone:
Contact Name: Hank Hofford or Dave Savitz
App Address1: 17 Lockwood Dr. The Rice Mill
App Address2:
App City: Charleston St: SC Zip: 29402

Property Owner: Seabrook Island I.L.I.C. Phone: 722-8200
Owner Address1: P.O. Box 1707
Owner Address2:
Owner City: Charleston St: SC Zip: 29455

Property Location: Lot: Block:
Property Address: 56 acre lake entry tract

Purpose: Submittal of a Planned Unit Development for property presently known as the Lake Entry Site. This property is just past the gate on the left leading into the Island.

Work Value: \$0.00 Const Cost: \$0.00 Flood Elev: 13 Zone: A8

Architectural Review Board:

Comments: Requires Recommendation of Planning Commission and approval of Town Council

The Town Council voted on June 24, 1997 to accept the Planning Commission recommendation that this application be denied because it did not meet sec 8.10.0 **** March 22, 2000, The Town Council voted to approve the amended PUD which changes the development from a Health Care Facility to a development of 106 Multi-Family lots. ****
Amendment: 2/4/2000 to amend this application for a planned development of a health care facility to a planned multi-family development of 106 units.

This Zoning Permit is valid for six (6) months. The action for which this permit was obtained must be taken within that time period.
If this zoning permit is for issuance of a building permit, such building permit is valid for a period of one (1) year as described in the town code.
Any extentions, alterations, or amendments must be approved in writing by the Town of Seabrook Island Zoning Administration.

I hereby certify that the above information and any plan or drawing submitted herewith are true and accurate indications of existing or proposed improvements to the above identified property.

Owner/Applicant's Signature
Wednesday, January 12, 2000

John M. Smith
Zoning Administrator
Wednesday, January 12, 2000

APPROVED BY TOWN COUNCIL
OK J.M.S. 25, 2000
MARCH 22, 2000
P.M.D.

John M. Smith
Printed Name

Exhibit "A"

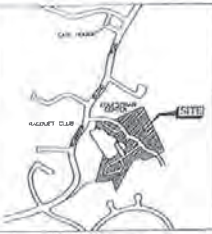
TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit B

Village at Seabrook Project Map (As Amended)

Exhibit B



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD
C1	428.97	355.86	47°31'49"	189.89	245.74
C2	30.00	27.80	27°30'52"	16.72	25.73
C3	308.97	112.84	22°24'41"	58.73	111.34
C4	750.00	24.12	80°31'48"	16.92	25.88
C5	597.62	314.03	30°23'22"	192.36	323.36
C6	584.84	57.27	03°09'26"	16.32	116.36
C7	720.00	185.74	31°29'37"	203.61	390.76

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 32°24'41" W	21.86
L2	N 50°43'31" W	25.47
L3	N 17°18'50" W	33.85
L4	E 58°38'48" W	92.90
L5	N 27°06'50" W	39.88
L6	N 32°04'26" W	96.59
L7	S 31°18'07" W	63.78
L8	N 20°20'53" W	45.83
L9	N 34°24'37" W	53.30
L10	S 22°01'40" W	72.61
L11	E 28°14'33" W	31.78
L12	S 93°27'01" W	128.89
L13	E 89°18'18" W	87.44
L14	N 02°05'54" W	116.67
L15	S 75°26'04" W	115.71
L16	S 40°30'19" W	118.56

OWNER:
SEABROOK ISLAND I, LLC
P.O. BOX 1707
CHARLESTON, SC 29402

CONTRACTOR:
BENNETT HOFFORD CONSTRUCTION CO

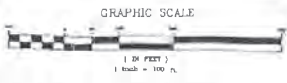
LAND SURVEYOR:
CLAUDIA H. HARRIS, R.L.S.
CHARLESTON, SC

DATE: 03/11/2021



Land Use Summary
See Ordinance 2020-01

TOPOGRAPHIC AND TREE SURVEY INFORMATION PROVIDED BY C. ROBERT GEORGE AND ASSOCIATES, INC. MARCH 1997 (UPDATED OCTOBER 1999)



HLA HOFFMAN LESTER ASSOCIATES, INC.
Land Planning • Civil Engineering • Surveying • Architecture
Professional Consulting • Land Planning

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AMENDMENT TO P.U.D.
AND LAND USE PLAN
VILLAGE AT SEABROOK
LAKE ENTRY TRACT
SEABROOK ISLAND, SOUTH CAROLINA

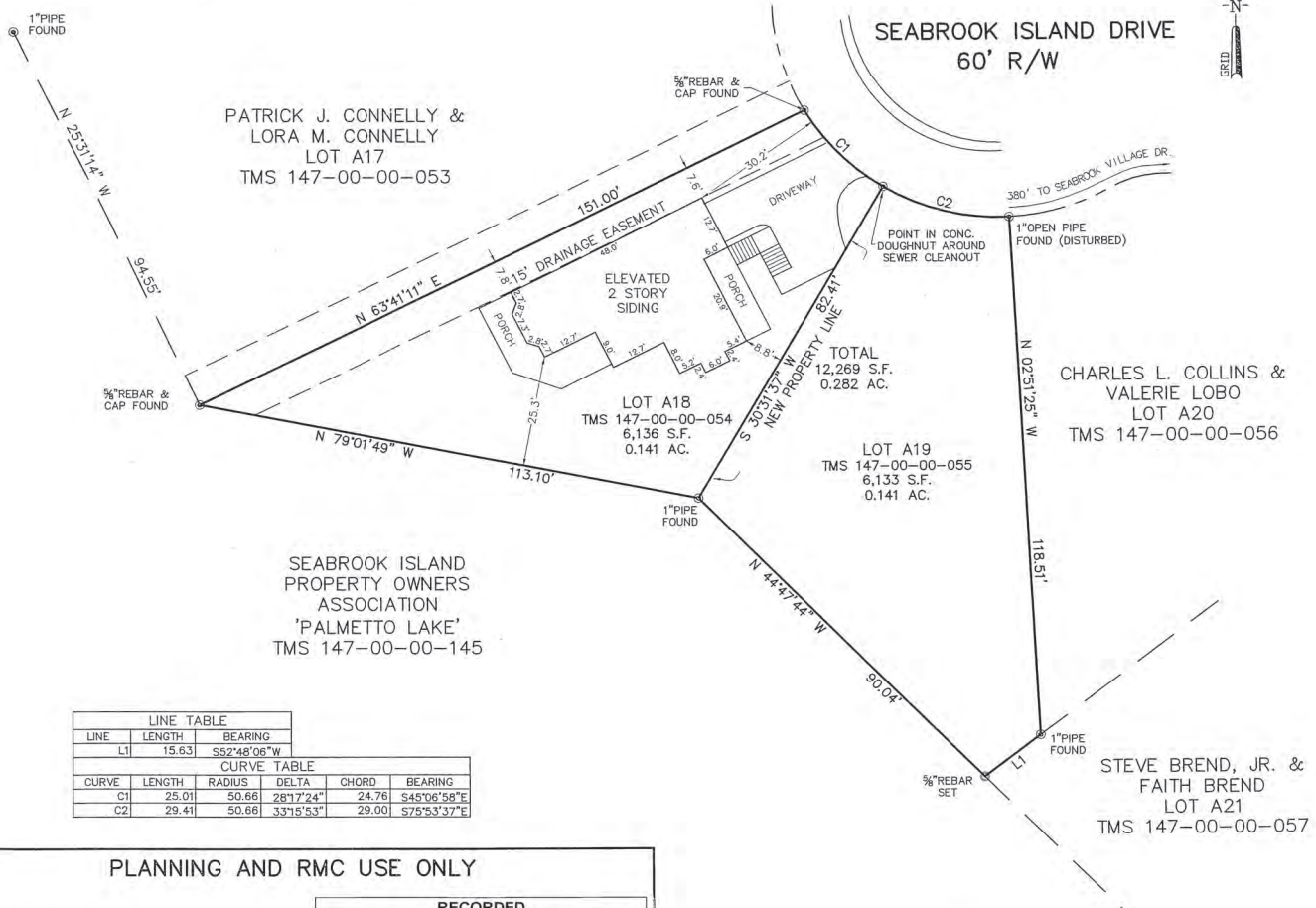
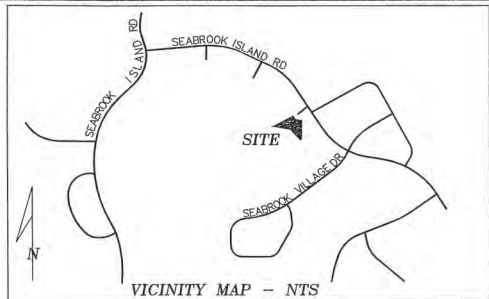
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DATE	12-28-00
SCALE	1"=100'
DESIGN	DLL
DRAWN	DRE/JAB
CHECK	
REVISIONS	



ATTACHMENT #4

Subdivision Plat (2015)

THE DRAWING HEREON IS THE PROPERTY OF ATLANTIC SURVEYING AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT. WILL BE SUBJECT TO LEGAL ACTION.



NOTES & REFERENCES:

1. REFERENCE PLAT BY G. ROBERT GEORGE DATED NOV. 13, 2001 RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE IN PLAT BOOK EF AT PAGE 245.
2. PROPERTY OWNED BY ETHAN H. MORRIS & CARLIE MORRIS
3. CHARLESTON COUNTY TMS 147-00-00-054 & 055
4. ACCORDING TO FLOOD INSURANCE RATE MAP 45015C PANEL 0560D DATED 10/16/03, THIS PROPERTY LIES IN FLOOD ZONE AE WITH A BASE FLOOD ELEVATION OF 13.
5. THE EXISTENCE OR NON EXISTENCE OF JURISDICTIONAL WETLANDS WAS NOT DETERMINED.
6. THE WORD "CERTIFY" IS AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR. IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY.
7. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

LINE TABLE				
LINE	LENGTH	BEARING		
L1	15.63	S52°48'06"W		

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	25.01	50.66	281°7'24"	24.76	S45°06'58"E
C2	29.41	50.66	337°5'53"	29.00	S75°53'37"E

PLANNING AND RMC USE ONLY

APPROVED AS SUBMITTED
Charlie Lybrand 4/24/15
 ZONING ADMINISTRATOR DATE

NO AMENDMENTS, ALTERATIONS OR CHANGES TO THESE PLANS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE TOWN OF SEABROOK ISLAND

RECORDED

DATE: 4/24/2015 TIME: 11:41:13 AM
 Book-Page S15 0102 DocType Small Plat
 Charlie Lybrand, Register, Charleston County, SC

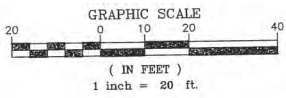
Record Fee \$10.00
 Postage \$1.00
 TOTAL \$11.00

Filed By: TOWN OF SEABROOK ISLAND
 2001 SEABROOK ISLAND RD.
 SEABROOK ISLAND SC 29455

Location: VILLAGE AT SEABROOK



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE RE-QUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCRoACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



ATLANTIC SURVEYING, INC.
 828 WAPPOO ROAD, SUITE 204
 CHARLESTON, SOUTH CAROLINA 29407
 (843) 763-6688; (843) 768-7411 FAX
 www.atlanticsurvey.com

Atlantic
Surveying, Inc.

**PLAT TO RESUBDIVIDE LOT A18 & A19
 RECREATE LOTS A18 & A19
 THE VILLAGE AT SEABROOK
 TOWN OF SEABROOK ISLAND
 CHARLESTON COUNTY, SC**

DRAWING TITLE

NO.	REVISED	DATE	BY

SCALE: 1" = 20'
 LAB NO. 12-11948
 DATE JAN. 15, 2015

SURVEYED BY JKD
 CHECKED BY SD
 APPROVED BY CBN
 DRAWN BY CBN

SHT-NO



ATTACHMENT #5

Property Photos







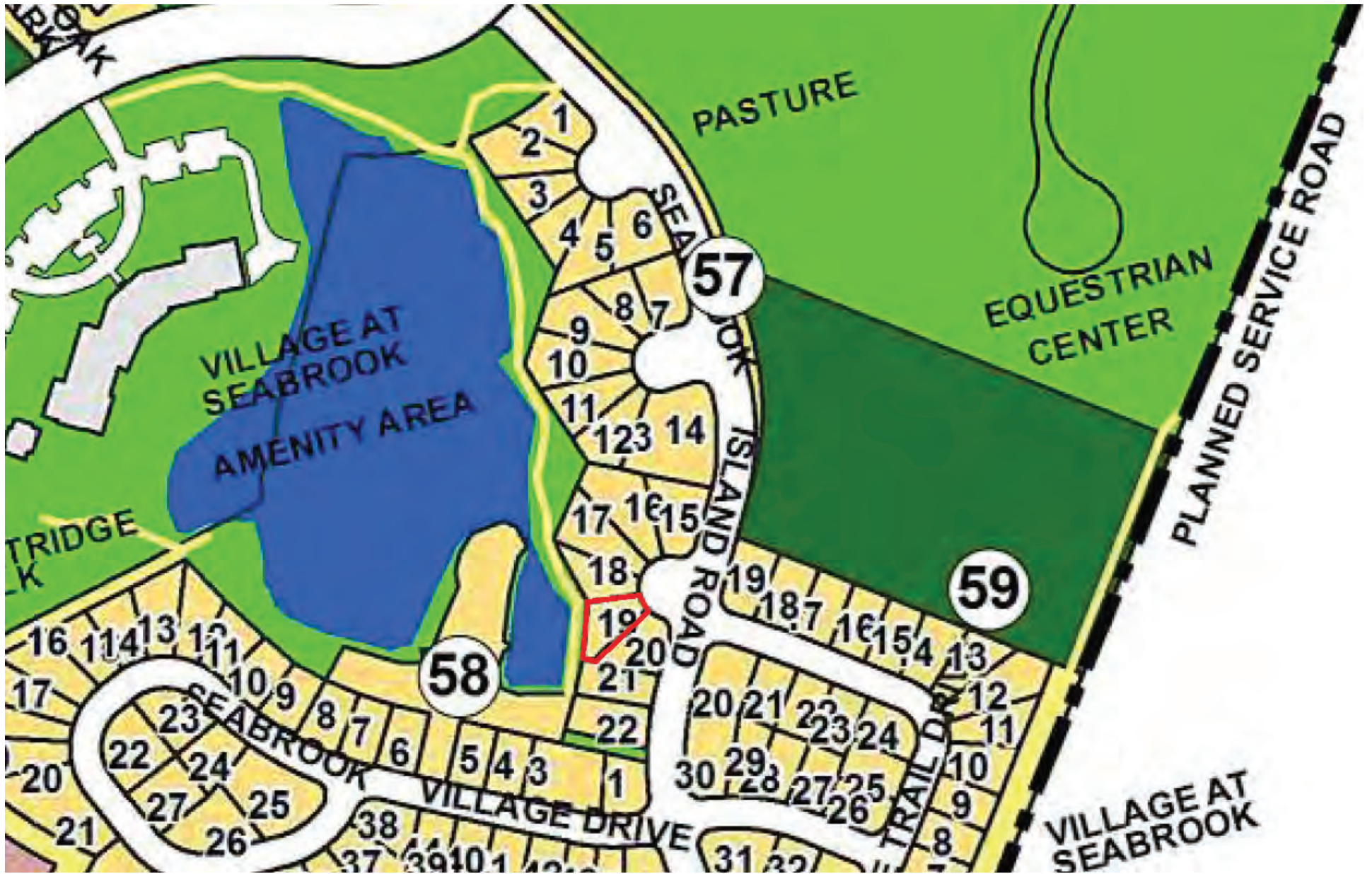






ATTACHMENT #6

Zoning Map





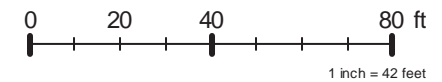
ATTACHMENT #7

Aerial Image



2263 SEABROOK ISLAND ROAD

#



Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

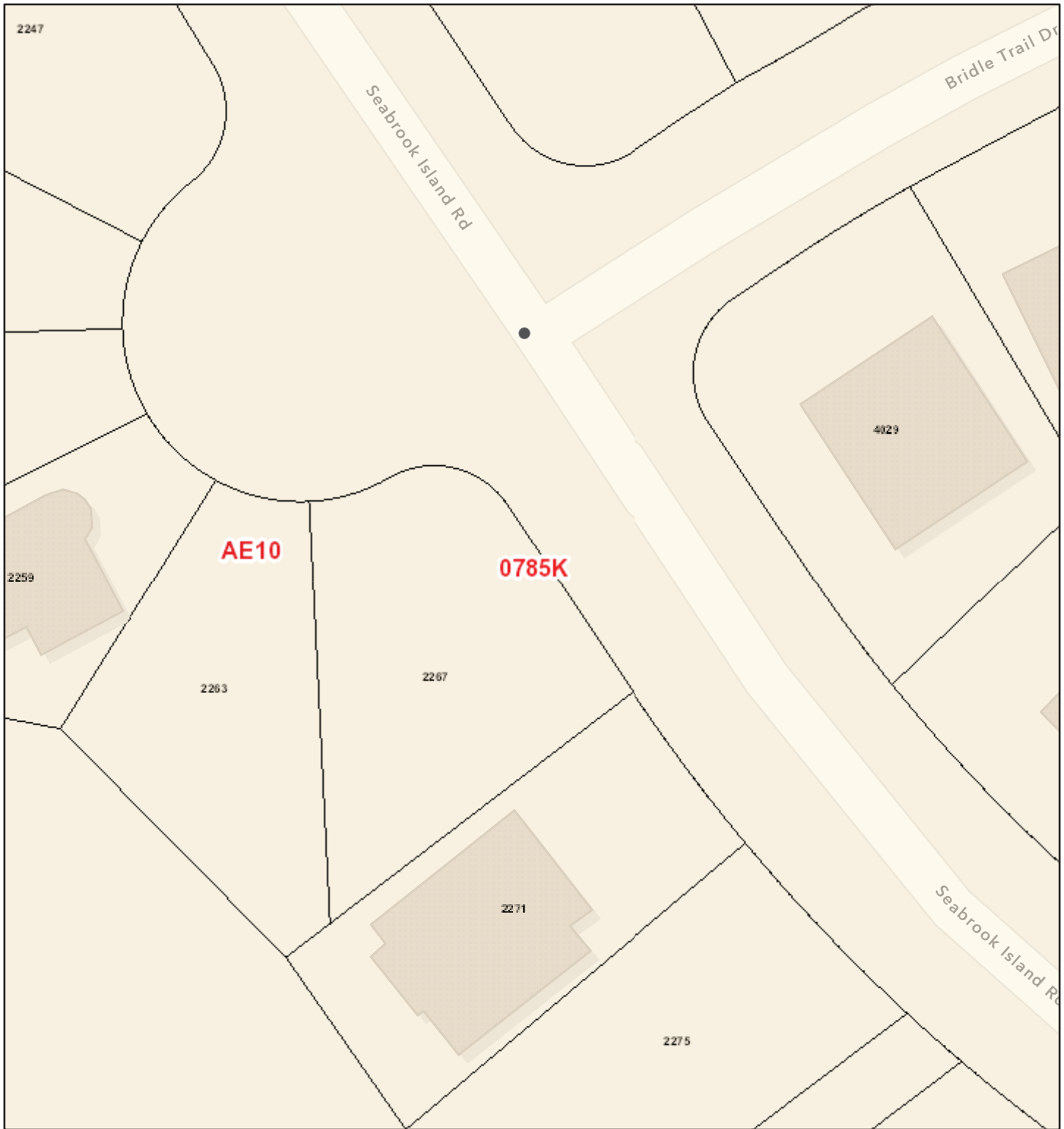
Author: Charleston County SC
Date: 5/10/2021



ATTACHMENT #8















FEMA Base Flood Elevation

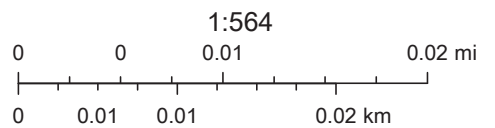
2263 Seabrook Island Road



6/2/2021, 2:31:15 PM

CURRENT FLOOD ZONE (effective 1/29/2021)

 A	 AE, 14	 AO
 AE	 AE, 15	
 AE, 10	 AE, 5	
 AE, 11	 AE, 6	
 AE, 12	 AE, 7	
 AE, 13	 AE, 8	
	 AE, 9	



Esri Community Maps Contributors, City of Charleston, Charleston County GIS, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA



ATTACHMENT #9

Title to Real Estate



BP0961248

PGS:

6

PREPARED BY:
Buist, Byars & Taylor, LLC
130 Gardener's Circle
PMB# 138
Johns Island, SC 29455
File No. 7693.0001

STATE OF SOUTH CAROLINA)
)
) TITLE TO REAL ESTATE
COUNTY OF CHARLESTON)

KNOW ALL MEN BY THESE PRESENTS, that **Ethan H. Morris and Carlie Morris a/k/a Carla Morris** ("Grantor"), in the State aforesaid, for/and in consideration of the sum of SIXTY FIVE THOUSAND AND 00/100 DOLLARS (\$65,000.00), to us in hand paid at and before the sealing of these Presents by **Paul Mark Stoyanoff and Jana Kay Stoyanoff**, in the State aforesaid, the receipt whereof is hereby acknowledged, have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said **Paul Mark Stoyanoff and Jana Kay Stoyanoff, as joint tenants with rights of survivorship, and not as tenants in common**, the following described property, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO
AND INCORPORATED HEREIN BY REFERENCE FOR LEGAL DESCRIPTION.

TMS Number: 147-00-00-151
Address of Grantee(s): 1908 Marsh Oak Ln.
 Seabrook Island, SC 29455

This is the same property conveyed to Grantor by deed from Barry W. Cohn dated September 10, 2007, and recorded on September 12, 2007 in Book J638, Page 763, in the Office of the Register of Deeds for Charleston County, South Carolina.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.


TO HAVE AND TO HOLD, all and singular, the said Premises before mentioned unto the said **Paul Mark Stoyanoff and Jana Kay Stoyanoff, as joint tenants with rights of survivorship, and not as tenants in common**, their heirs and assigns, forever.

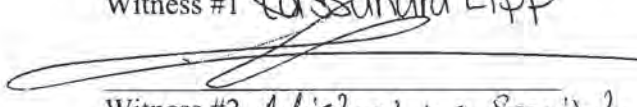
AND subject to the exceptions set forth above, Grantor does hereby bind ourselves and our heirs, executors, and administrators, to warrant and forever defend, all and singular, the premises before mentioned unto the said **Paul Mark Stoyanoff and Jana Kay Stoyanoff**, their heirs and assigns, against us and our heirs, and all persons whomsoever lawfully claiming, or to claim the same or any part thereof.

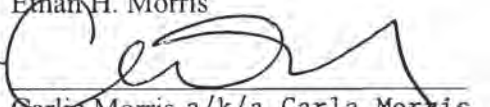
WITNESS our hand and seal this 9th day of February, 2021.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:


Witness #1 Cassandra Lipp

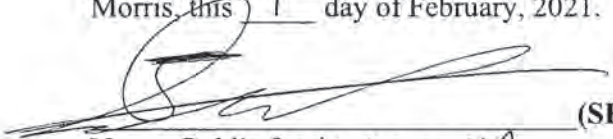

Ethan H. Morris


Witness #2 Michael W. Smith


Carlie Morris a/k/a Carla Morris

STATE OF VIRGINIA)
COUNTY OF FALLS CHURCH)

The foregoing instrument was acknowledged before me by Ethan H. Morris and Carlie Morris* this 9 day of February, 2021.


(SEAL)
Notary Public for VIRGINIA
My commission expires: 12/31/2023



*a/k/a Carla Morris

EXHIBIT A

All that certain piece, parcel or lot of land situate, lying and being in the Town of Seabrook Island, Charleston County, South Carolina, known and designated as Lot A19 as shown on the plat entitled "Plat showing the subdivision of The Village at Seabrook containing 42.328 acre tract, located in the Town of Seabrook Island, Charleston County, South Carolina, prepared for Seabrook Island I, LLC" made by G. Robert George and Associates, Inc. dated November 13, 2001, and recorded on December 19, 2001 in Plat Book EF at pages 245 and 246 in the RMC Office for Charleston County, which said plat is incorporated herein by reference thereto, said lot having such size, shape, dimensions, buttings, and boundings as will by reference to said plat more fully and at large appear.

Said property is subject to all applicable covenants, conditions, restrictions, limitations, obligations and easements of record affecting subject property.

STATE OF SOUTH CAROLINA)
)
COUNTY OF Charleston) AFFIDAVIT

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.

2. The property being transferred is located at Seabrook Island Road, Johns Island, SC 29455, bearing County Tax Map Number 147-00-00-151, was transferred by Ethan H. Morris and Carlie Morris to Paul Mark Stoyanoff and Jana Kay Stoyanoff on 02/15/21.

3. Check one of the following: **The DEED is**
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) EXEMPT from the deed recording fee because _____

(If exempt, please skip items 4-6, and go to item 7 of this affidavit.)

If exempt under exemption #14, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes or No

4. Check one of the following if either item 3(a) or item 3(b) above has been checked.
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$65,000.00.
 - (b) The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) The fee is computed on the fair market value of the realty as established for property tax purpose which is \$ _____.

5. Check YES or NO X to the following; A lien encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. If "YES," the amount of the outstanding balance of this lien or encumbrance is \$ _____.

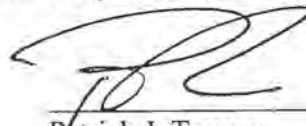
6. The DEED Recording Fee is computed as follows:

- (a) 65,000.00 the amount listed in item 4 above
- (b) _____ the amount listed in item 5 above (no amount place zero)
- (c) _____ Subtract Line 6(b) from Line 6(a) and place the result.

7. The deed recording fee is based on the amount listed on Line 6(c) above and the deed recording fee due is: \$240.50.

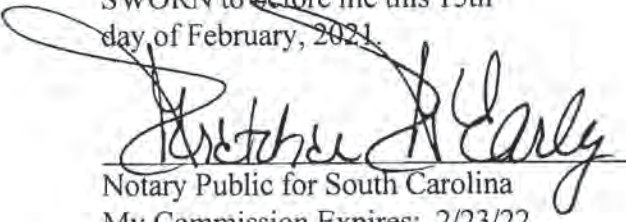
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as: Attorney.

9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.



Patrick J. Townes
Grantor, Grantee, or Legal
Representative connected with this transaction

SWORN to before me this 15th
day of February, 2021.



Notary Public for South Carolina
My Commission Expires: 2/23/22



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

MCCANTS LAW FIRM
 J LYNN MCCANTS
 782 JOHNNIE DODDS BLVD SUITE A
 MT PLEASANT SC 29464 (COURIER)

RECORDED		
Date:	February 17, 2021	
Time:	3:52:43 PM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0961	248	Deed
Michael Miller, Register Charleston County, SC		

MAKER:

MORRIS ETHAN H AL

Note:

RECIPIENT:

STOYANOFF PAUL M AL

of Pages:

Recording Fee	\$ 15.00
State Fee	\$ 169.00
County Fee	\$ 71.50
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 255.50

Original Book:

Original Page:

Drawer
 Clerk

AUDITOR STAMP HERE
 RECEIVED From ROD
 Mar 05, 2021
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 RJB
 REP _____
 03/06/2021
 DATE _____



0961
Book



248
Page



02/17/2021
Recorded Date



6
Pgs



Original Book



Original Page



D
Doc Type



15:52:43
Recorded Time



ATTACHMENT #10

Property Information Card



- WELCOME
- REAL PROPERTY RECORD SEARCH
- REAL PROPERTY BILL SEARCH
- PERSONAL PROPERTY SEARCH
- MOTOR VEHICLE SEARCH
- CHECKOUT
- CONTACT US

\$0.00
[CHECK OUT](#)

- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

Property Information

Current Owner: STOYANOFF PAUL MARK STOYANOFF JANA KAY 1908 MARSH OAK LN SEABROOK ISL SC 29455-6305	Property ID	1470000151
	Physical Address	SEABROOK ISLAND RD
	Property Class	101 - RESID-SFR
	Plat Book/Page	/
	Neighborhood	111413 AD13 The Village at Seabrook
	Deed Acres	0.1400

Legal Description

MapPlatB S15 MapPlatP 0102 SubdivisionName THE VILLAGE AT SEABROOK Lot A19

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0961	248	2/15/2021	MORRIS ETHAN H	STOYANOFF PAUL MARK	S	Ge	\$65,000

- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)



ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 2263 Seabrook Island Road (Variance #173)
DATE: May 11, 2021

Dear Property Owner:

The purpose of this letter is to notify you that the owners of **2263 SEABROOK ISLAND ROAD** have requested a **VARIANCE** from the zoning requirements of the Town’s Development Standards Ordinance (DSO). The purpose of the variance request is **TO ALLOW THE FRONT STEPS OF A PROPOSED SINGLE-FAMILY RESIDENCE TO ENCROACH APPROXIMATELY 5.0 FEET INTO THE REQUIRED 20-FOOT FRONT YARD SETBACK AND APPROXIMATELY 6.4 FEET INTO THE REQUIRED 7.5-FOOT SIDE YARD SETBACK**. A copy of the variance application is enclosed for your information.

The Seabrook Island Board of Zoning Appeals will hold a **VIRTUAL PUBLIC HEARING** on the variance request at the date and time listed below. This notification is being provided to you pursuant to Section § 20.70.40 of the DSO.

PUBLIC HEARING DATE: FRI. JUNE 11, 2021
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: VIRTUAL MEETING VIA ZOOM

For information on how to submit a public comment during (or prior to) the Virtual Public Hearing, please refer to the attached Public Hearing Notice.

The Virtual Public Hearing will be live streamed on the town’s YouTube channel beginning at 2:30 PM at the following address:

LIVE STREAM: <https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>.

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

Joseph M. Cronin
Town Administrator/Zoning Administrator



ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners

VARIANCE NOTIFICATION LIST
2263 SEABROOK ISLAND ROAD

PROPERTY ADDRESS	OWNER(S) OF RECORD	STREET ADDRESS	CITY, STATE & ZIP
2247 SEABROOK ISLAND ROAD	JAMES & JOANNE MOORE	2247 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
2251 SEABROOK ISLAND ROAD	PATRICIE BURKE LEIBACH	2251 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
2255 SEABROOK ISLAND ROAD	PATRICK & LORA CONNELLY	2255 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
2259 SEABROOK ISLAND ROAD	ROBERT & VICTORIA HULETT	4215 HEYWARD PL	INDIANAPOLIS, IN 46250
2267 SEABROOK ISLAND ROAD	CHRISTOPHER & KRISTEN MORTONSON	4324 CENTRAL AVE	WESTERN SPRINGS IL 60558
2271 SEABROOK ISLAND ROAD	HOWARD MINTZ LIVING TRUST & STEPHANIE MINTZ LIVING TRUS	2271 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
2275 SEABROOK ISLAND ROAD	CARL & DONNA KERN	2275 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
2279 SEABROOK ISLAND ROAD	LANCE MION & PATRICIA HOLLOMAN	PO BOX 1010	EAST QUOGUE, NY 11942
4029 BRIDLE TRAIL DRIVE	JUDY STEVENS TRUST	203 LELAND ROAD	BREWSTER, MA 02631
LAKE / AMENITY	VILLAGE AT SEABROOK PROPERTY OWNERS ASSOCIATION	3690 BOHICKET ROAD, STE 1-A	JOHNS ISLAND, SC 29455
SIPOA	SEABROOK ISLAND PROPERTY OWNERS ASSOCIATION	1202 LANDFALL WAY	SEABROOK ISLAND, SC 29455
REGIME	VILLAGE AT SEABROOK PROPERTY OWNERS ASSOCIATION		

* DUPLICATE





ATTACHMENT #13

Public Hearing Notice:
USPS Certified Mail Receipts

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *James & Jeanne Meador*

Street and Apt. No., or PO Box No. *2247 Seabroak Island Rd*

City, State, ZIP+4® *Seabroak Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Restricted Delivery \$

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Adult Signature Restricted Delivery \$

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Total Postage and Fees \$

Sent To *Police Bldg Leibach*

Street and Apt. No., or PO Box No. *2251 Seabroak Island Rd*

City, State, ZIP+4® *Seabroak Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Patrice & Lera Connolly*

Street and Apt. No., or PO Box No. *2055 Seabroak Island Rd*

City, State, ZIP+4® *Seabroak Island, SC 29455*

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Robert & Victoria Hollett*

Street and Apt. No., or PO Box No. *1615 Holloway Place*

City, State, ZIP+4® *Indianapolis, IN 46250*

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Christina & Kyle Matherson*

Street and Apt. No., or PO Box No. *4324 Central Ave*

City, State, ZIP+4® *Western Springs, IL 60558*

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Wendy Mitzi & Stephanie Clark*

Street and Apt. No., or PO Box No. *2271 Seabroak Island Rd*

City, State, ZIP+4® *Seabroak Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Carl & Donna Kern*

Street and Apt. No., or PO Box No. *2075 Seabroak Island Rd*

City, State, ZIP+4® *Seabroak Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Lance Miant Patricia Holleman*

Street and Apt. No., or PO Box No. *PO Box 1010*

City, State, ZIP+4® *East George, AK 11940*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *Judy Stevens Trust*

Street and Apt. No., or PO Box No. *205 Lebar Rd*

City, State, ZIP+4® *Brookline, MA 02631*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *US Post at Seabroak POA*

Street and Apt. No., or PO Box No. *3240 Lebar Rd Ste 1A*

City, State, ZIP+4® *Johns Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To *SI POA*

Street and Apt. No., or PO Box No. *190A Landfall Way*

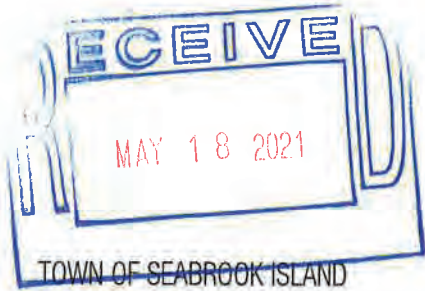
City, State, ZIP+4® *Seabroak Island, SC 29455*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad



TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455

Attn: Faye Albritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina

County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

(copy attached)

appeared in the issues of said newspaper on the following day(s):

05/13/21 Thu PC
05/13/21 Thu CNW

at a cost of \$262.42
Account# 108294
Order# 1939211
P.O. Number:

Subscribed and sworn to before me this 13th day of May 2021

[Signature]
advertising clerk



[Signature]
NOTARY PUBLIC, SC
My commission expires

TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on June 11, 2021. During the meeting, the Board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

APPLICATION # 173

APPLICANT: Paul & Jana Stoyanoff (Owners)

LOCATION:

2263 Seabrook Island Road

TAX MAP #: 147-00-00-151

ZONING DISTRICT: PUD / MF Multi-Family

CODE SECTION: Ord. 2020-01, Sec. 7 (Village at Seabrook PUD) - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way; the minimum side yard setback shall be 7.5 feet from all side property lines

VARIANCE(S)

REQUESTED: To allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback

APPLICATION # 174

APPLICANT: Mark & Lynelle Smith (Owners)

LOCATION: 3056 Seabrook Village Drive

TAX MAP #: 147-00-00-070

ZONING DISTRICT: PUD / MF Multi-Family

CODE SECTION: Ord. 2020-01, Sec. 7 (Village at Seabrook PUD) - The minimum rear yard setback requirement shall be 25 feet from the rear property line

VARIANCE(S)

REQUESTED: To allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback

Copies of the proposed variance requests may be viewed on the town's website at www.townofseabrookisland.org.

Participate in the Virtual Public Hearing:

Individuals who wish to participate in the virtual Public Hearing via Zoom may access the meeting as follows:

To join by computer, tablet or mobile device:

<https://us02web.zoom.us/j/82468933735?pwd=eFE4NHlHMnFVUjRlRkVlSjVVRrMTNKQT09>

To join by phone:

Call (646) 558-8656. Please note that long distance rates may apply.

Meeting ID:

824 6893 3735
Passcode: 363592

Submit a Written Comment:

Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

ONLINE:

<https://www.townofseabrookisland.org>

EMAIL:

jcronin@townofseabrookisland.org

MAIL:

Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

Watch Live Stream Video:

The meeting will be live streamed on the town's YouTube channel beginning at 2:30 pm at <https://www.youtube.com/channel/UC1kF87kNEApHD1e0kGlaGZg>.

More Information:

For more information, please call (843) 768-9121.



ATTACHMENT #15

Public Hearing Notice:
Property Posting



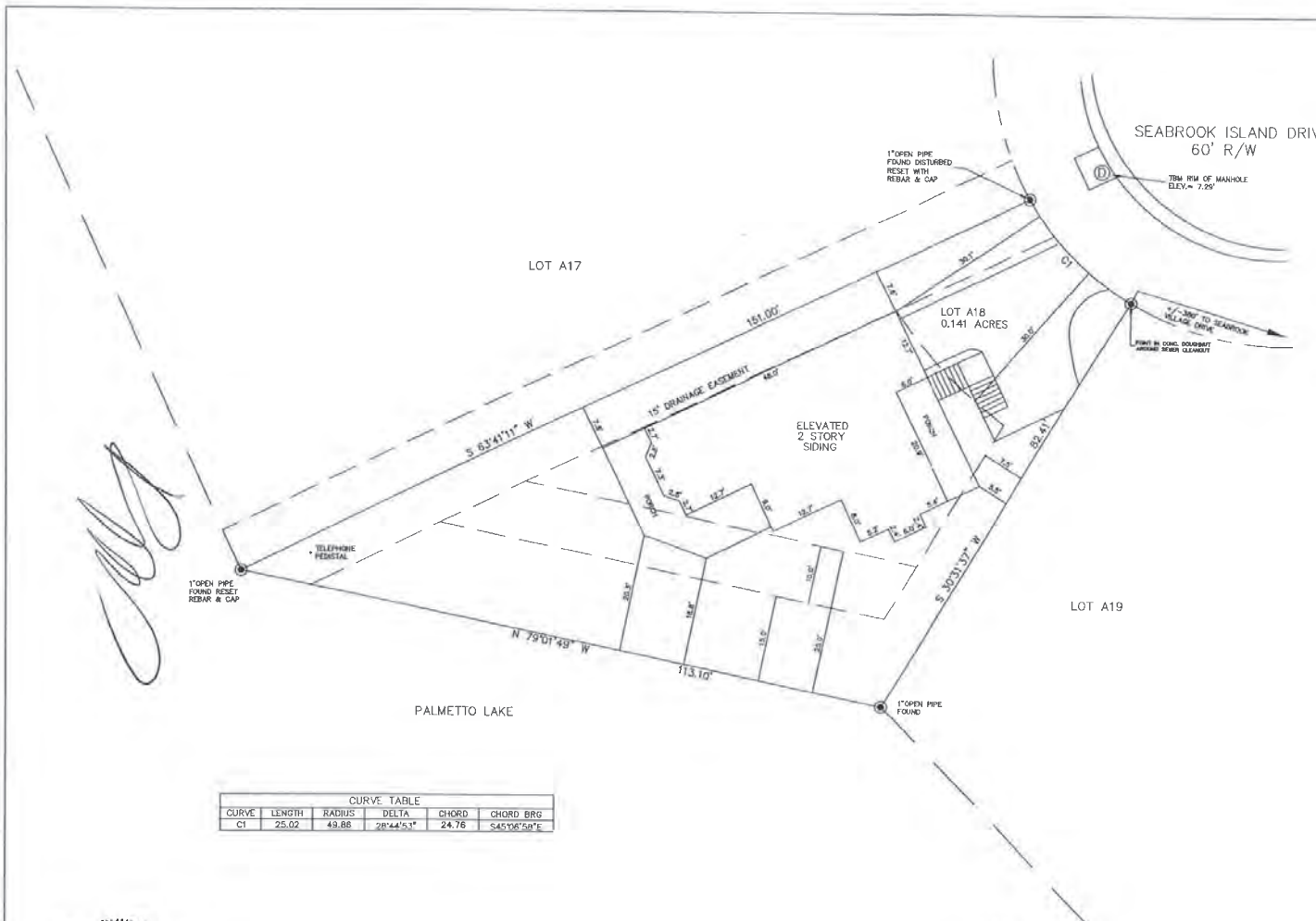
PUBLIC HEARING

Reasoning Request
 Variance Request Approved by Judge Furr
Reduce front yard setback 20' to 15'
Reduce side yard setback 15' to 11'
Hearing Date: June 11, 2021 Time: 2:30
Location: Town Hall - 2001 Seabrook Island Road
Via Zoom
More Information See 11, 12, 13 Case # 173



ATTACHMENT #16

As-Built Drawing for Lot A-18
2259 Seabrook Island Rd
(2009)



NOTES & REFERENCES:

REFERENCE PLAT BY G. ROBERT GEORGE.
 RECORDED IN THE CHARLESTON CO. RMC OFFICE
 IN PLAT BOOK EF PAGE 245.



FINAL SURVEY
 2259 SEABROOK ISLAND ROAD
 TMS 147-00-00-054
 LOT A18
 THE VILLAGE
 TO BE CONVEYED TO ETHAN MORRIS
 SEABROOK ISLAND
 CHARLESTON COUNTY, SC
 DATE: AUGUST 1, 2008 SCALE: 1" = 20'
 REVISED DATE: FEBRUARY 13, 2009
ATLANTIC SURVEYING, INC.

828 WAPPOO ROAD
 P.O. BOX 30604
 CHARLESTON, SOUTH CAROLINA 29417
 PHONE (843)763-6669 FAX (843)766-7411

GRAPHIC SCALE



(IN FEET)
 1 inch = 20 ft.

JOB #07-11948

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BRG
C1	25.02	49.86	28°44'51"	24.76	S45°06'50"E

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCRDACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

James Kelly Davis
 JAMES KELLY DAVIS, R.L.S. No. 9758





ATTACHMENT #17a

Correspondence from Robert Hulett
(03-17-2021)

Neighbors

From: bob hulett rsh12686@yahoo.com
Subject: 2263 Seabrook Island Rd., Seabrook Island SC29455, Paul and Jane Stoyanoff Zoning Variance Request
Date: March 17, 2021 at 10:06 AM
To: Paul Stoyanoff paulstoyanoff@gmail.com

My wife and I are the owners of 2259 Seabrook Island Rd. We support the Stoyanoff's request for a Zoning variance due to the close proximity and limitations of our mutual entrance areas in the Cul de Sac. We have reviewed the survey and Swallowtail's Architectural design.

We look forward to the Stoyanoff's providing an agreeable landscape mitigation strategy to protect and improve both of our landscape and property interests.

Robert Hulett
2259 Seabrook Island Rd.



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 174 – 3056 Seabrook Village Drive
MEETING DATE: June 11, 2021

Variance Application #174

Applicants:	Mark & Lynette Smith (Owners)
Address:	3056 Seabrook Village Drive
Tax Map Number:	147-00-00-070
Zoning District:	PUD / MF Multi-Family Residential
Code Section(s):	Ord. 2020-01, Sec. 2 (Village at Seabrook PUD) - The minimum rear yard setback requirement shall be 25 feet from the rear property line...
Variance Request:	To allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback

Overview

The Town has received a variance application from Mark and Lynette Smith, the owners of Charleston County Tax Map # 147-00-00-070 (hereafter, the “Applicants”). The Applicants are requesting a variance to allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback. The proposed residence will be located at 3056 Seabrook Village Drive (Block 58, Lot B-12).

The subject property is currently vacant. According to Charleston County tax records, the Applicants purchased the property in December 2020. The property is currently zoned Planned Unit Development (PUD)/Multi-Family Subdistrict, and a single-family residence is a permitted use by-right pursuant to the Village at Seabrook PUD.

The PUD ordinance for the Village at Seabrook was last amended on February 25, 2020 (Ord. 2020-01). The PUD requires a minimum setback of 15 feet from the rear property line for open decks and 25 feet for all other structures, including porches. At its closest point, the proposed porch will be located approximately 18.7 feet from the rear property line.

Code Reference:

- a. **Ord. 2020-01, Sec. 2 (Village at Seabrook PUD)**

1. **Rear Yard Setbacks:** The minimum rear yard setback requirement shall be 25 feet from the rear property line; provided, however:
 - a. For lots abutting an open space area (lake, lagoon, golf course, trail, etc.), an uncovered deck may encroach no more than 10 feet into the required rear yard setback;
 - b. For pie-shaped lots that do not have a defined rear property line from which to apply a rear yard setback, the rear yard setback shall be measured from the point where the side property lines intersect at the rear of the property; and
 - c. Pursuant to Section 7.60.10.10 of the DSO, corner lots are defined to have two front yards and two side yards. Therefore, a rear yard setback shall not be required for any corner lot.

Aside from the encroachment of the porch into the rear yard setback, the proposed home will comply with all other setback requirements.

In order to allow for construction of the proposed residence, the Applicants are requesting the following variance from the requirements of the DSO:

TYPE	REQUIRED PER PUD	VARIANCE (REQUESTED)
Rear Yard Setback	25 feet (Ord. 2020-01, § 2)	Reduce the rear yard setback requirement from 25 feet to approximately 18.7 feet (6.3-foot encroachment)

In their application, the Applicants are requesting relief from the rear yard setback requirement for the following reasons:

- a) There are several grand trees on the property which have resulted in the home being moved further toward the rear of the lot; and
- b) The encroachment will be situated along the shared property line with the Village’s common open space.

Staff Comments

As a matter of practice, the town’s Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on June 11, 2021. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town's DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on June 11, 2021 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin

Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 78-81
2	Site Plan & Architectural Drawings	p. 82-89
3	Village at Seabrook PUD (Ord. 2020-01)	p. 90-98
4	Subdivision Plat (2001)	p. 99-101
5	Property Photos	p. 102-109
6	Zoning Map	p. 110-111
7	Aerial Image	p. 112-113
8	FEMA Base Flood Elevations	p. 114-115
9	Title to Real Estate	p. 116-121
10	Property Information Card	p. 122-123
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 124-125
12	Public Hearing Notice – List of Neighboring Property Owners	p. 126-127
13	Public Hearing Notice – USPS Certified Mail Receipts	p. 128-129
14	Public Hearing Notice – Post and Courier Legal Ad	p. 130-131
15	Public Hearing Notice – Property Posting	p. 132-133
Other Information		
--	None	--
Written Correspondence Regarding the Proposed Variance Request		
16a	Correspondence from SIPOA ARC (04-19-2021)	p. 134-135



ATTACHMENT #1

Variance Application



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island’s Development Standards Ordinance (hereafter, the “DSO”) must submit a written application, along with a \$300.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	3056 Seabrook Village Drive AKA Lot B12				
Tax Map Number	170-00	Block	00	Lot	070
Lot Size (Square Feet)	7,330 sq ft				
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes	<input checked="" type="checkbox"/>	No	
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)	<input checked="" type="checkbox"/>	Yes		No	

2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	Mark & Lynette C Smith
Applicant Address	205 N Main St Allentown, Pa 18104
Applicant Phone Number	610-509-1550
Applicant Email Address	malhawk@gmail.com
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	

3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)	Same as above		
Owner Mailing Address			
Owner Phone Number			
Owner Email Address			
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.			
Owner Signature(s)		Date	
		Date	

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and correct to the best of my (our) knowledge.

Applicant Signature(s)	DocuSigned by: F6FFCACA9FBD4F9...	Date	4/28/2021
	DocuSigned by: 680DED6C768E424...	Date	4/28/2021

OFFICE USE ONLY

Date Filed:	Variance Application #:	Hearing Date:
-------------	-------------------------	---------------

5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

Build a single family dwelling on subject lot.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town’s DSO:

1) DSO Section Reference(s): 7.60.20.30. Rear: Twenty-five (25) feet

2) DSO Requirement(s): 25 foot setback of the lot line in the rear of the property

C. The application of the zoning requirements of the town’s DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

The problem is that we have several “grand trees” that we are not allowed to remove due to conservation restrictions. This restriction has us moving the house to a location just feet back.

2) These conditions do not generally apply to other property in the vicinity as shown by:

Attached plot plan. This lot has more Grand trees than all the other lots.

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

The placement of the house to accommodate all set back regulations.

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

It would be a relief of just a few square feet of a rear covered porch. The corner of this porch extends 6’3” and is in the middle of the lot (see attached plot plan). This would not interfere with any neighbor or common area. It would be impossible to tell from anywhere that is variance. The integral and aesthetic aspects of the home would be compromised. It is an important feature of the home. There was a decision that granted this exact variance at the January 21, 2021 hearing. Variance #171 by Robert & Cheryl Schuldt (Owners), Ron Welch

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered “complete” until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$300.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

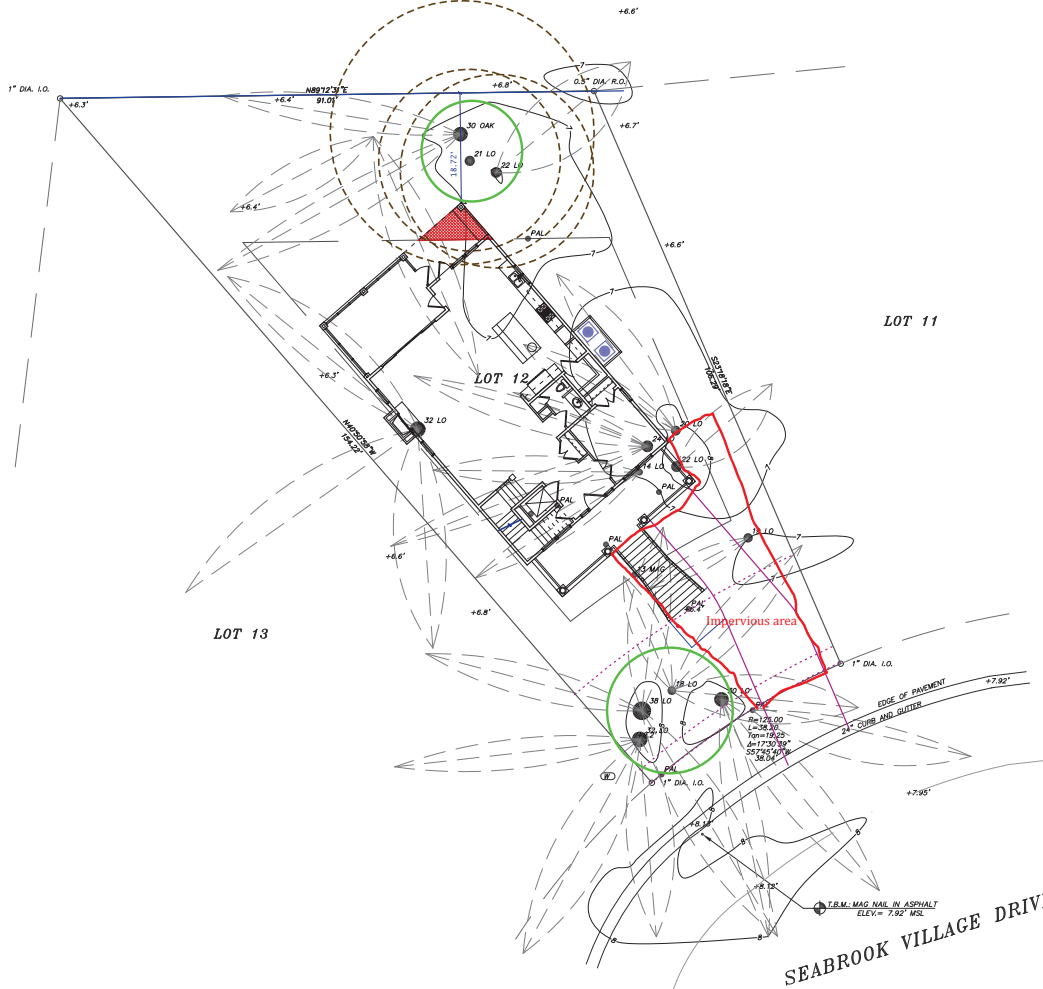


ATTACHMENT #2

Site Plan & Architectural Drawings



LAGOON



LEGEND

- 8" DIA. LIVE OAK
- PALMETTO
- 10" DIA. MANHOLE
- 8" DIA. OAK
- TELEPHONE PEDESTAL
- CABLE TV
- ELECTRICAL TRANSFORMER
- SPOT ELEVATION
- CONTOUR ELEVATION
- WATER STUB OUT
- LIMB INFLUENCE
- IRON OLD
- IRON NEW
- CONCRETE MONUMENT OLD
- ROD OLD
- ROD NEW
- CALCULATED POINT

NOTES

1. REF: PLAT BOOK ET, PAGE 246
2. BEARINGS ARE MAGNETIC AND ARE SUBJECT TO LOCAL ATTRACTION
3. AREA CALCULATED BY THE COORDINATE METHOD
4. ELEVATIONS AND CONTOURS REFER TO MEAN SEA LEVEL
5. DATUM = NAD 83
6. PRESENTLY OWNED BY KIEHN FAMILY TRUST
7. THE PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AS EL. 13 SHOWN ON COMMUNITY PANEL #5019C-0785U DATED NOV. 17, 2004
8. TOTAL AREA OF PROPERTY IS 7,330 SQ.FT. OR 0.16 ACRES.



NO.	DATE	REVISION DESCRIPTION

ANDERSON & ASSOCIATES
 LAND SURVEYING AND PLANNING, INC.
 P.O. BOX 87, JOHNS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA 29457
 PHONE (843)571-0900

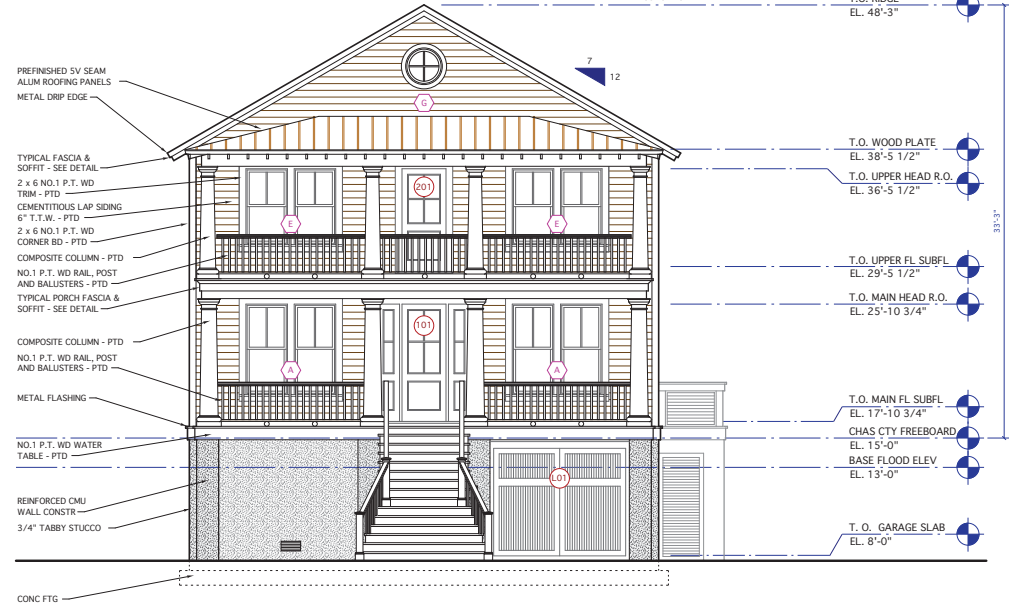


SCALE: 1" = 10' - 0"
 DATE: JULY 6, 2020

TITLE: TREE AND TOPOGRAPHIC SURVEY LOT B12, THE VILLAGE AT SEABROOK, TOWN OF SEABROOK ISLAND, CHARLESTON COUNTY, S.C.
 DRAWING NUMBER: 9609.DWG



2 LEFT SIDE ELEVATION



1 FRONT ELEVATION

The Smith Residence

Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

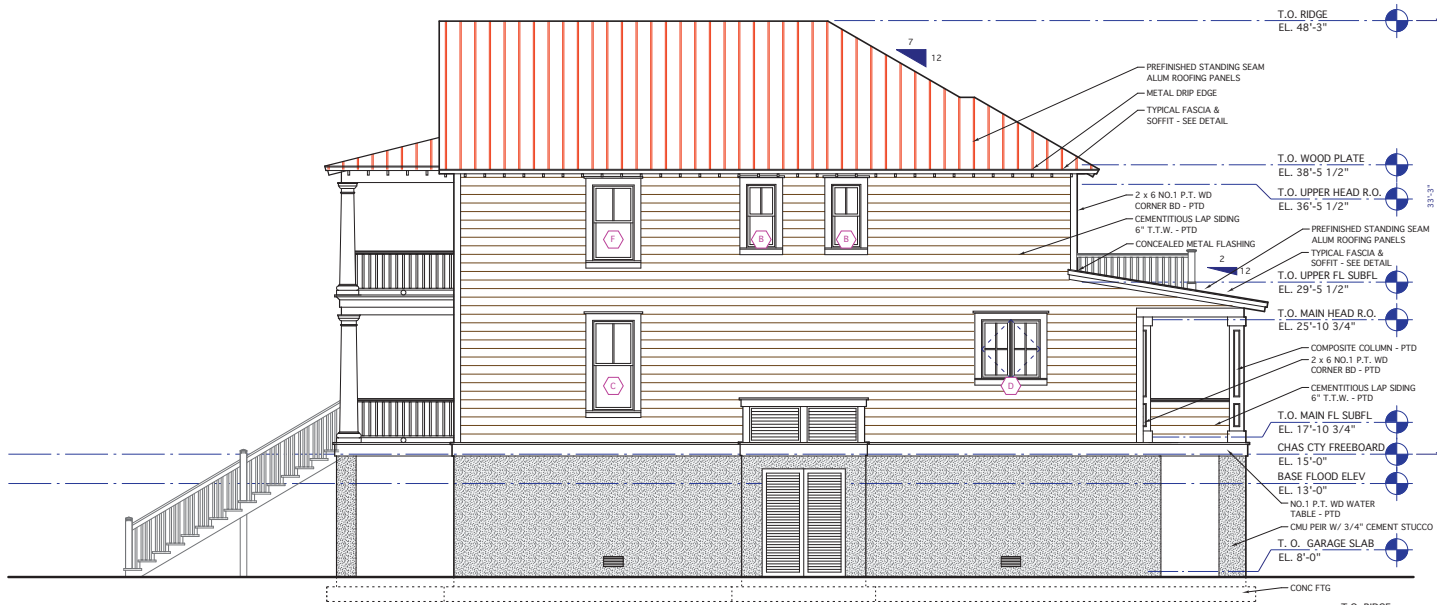
EXTERIOR ELEVATIONS

MICHAEL E. KARAMUS
ARCHITECT, L.L.C.
P. O. Box 220709
Charleston, SC 29413

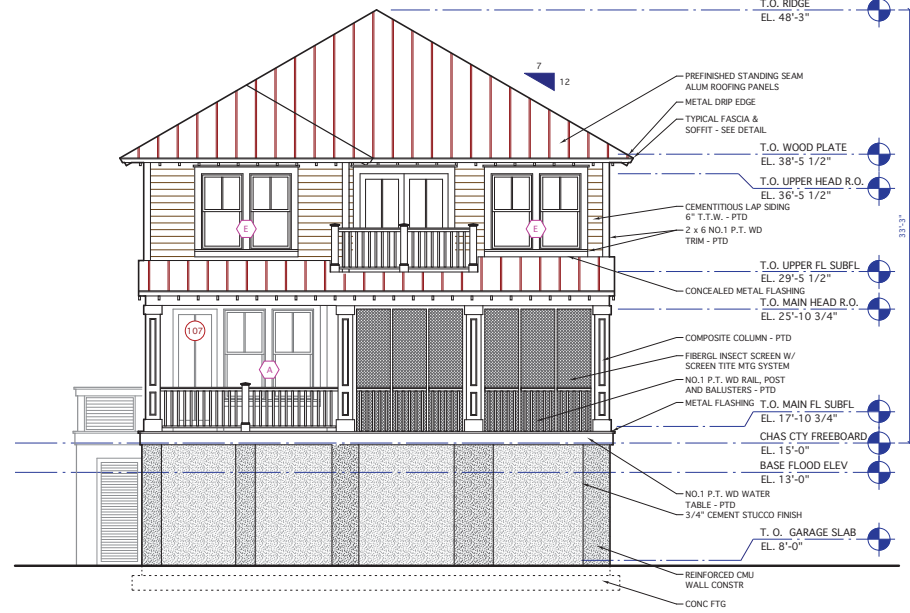


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ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF MICHAEL E. KARAMUS ARCHITECT, L.L.C.

Scale: 1/4"=1'-0"	Drawn: MK	Checked: MK
Date: APRIL 20, 2021	Drawing No.: A2.1	
Commission No.: SC 21XX		



2 RIGHT SIDE ELEVATION
A2.2



1 REAR ELEVATION
A2.2

The Smith Residence

Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

EXTERIOR ELEVATIONS

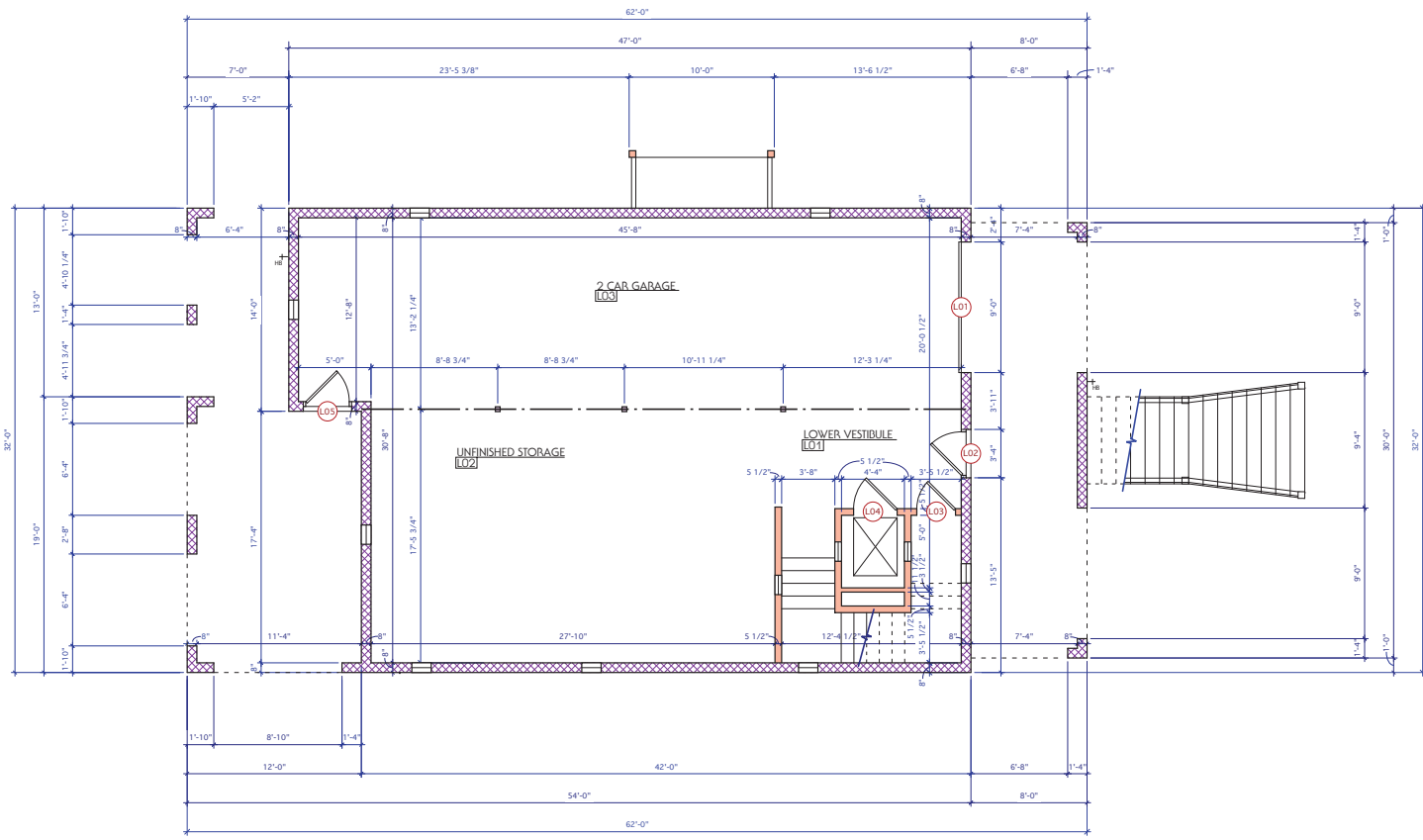
MICHAEL E. KARAMUS
ARCHITECT, L.L.C.

P. O. Box 222050
Charleston, SC 29413

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Scale:	1/4"=1'-0"	Drawn:	MK	Checked:	MK
Date:	APRIL 20, 2021	Drawing No.:	A2.2		
Commission No.:	SC 21XX				



1 LOWER LEVEL PLAN
A1.1

The Smith Residence

Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

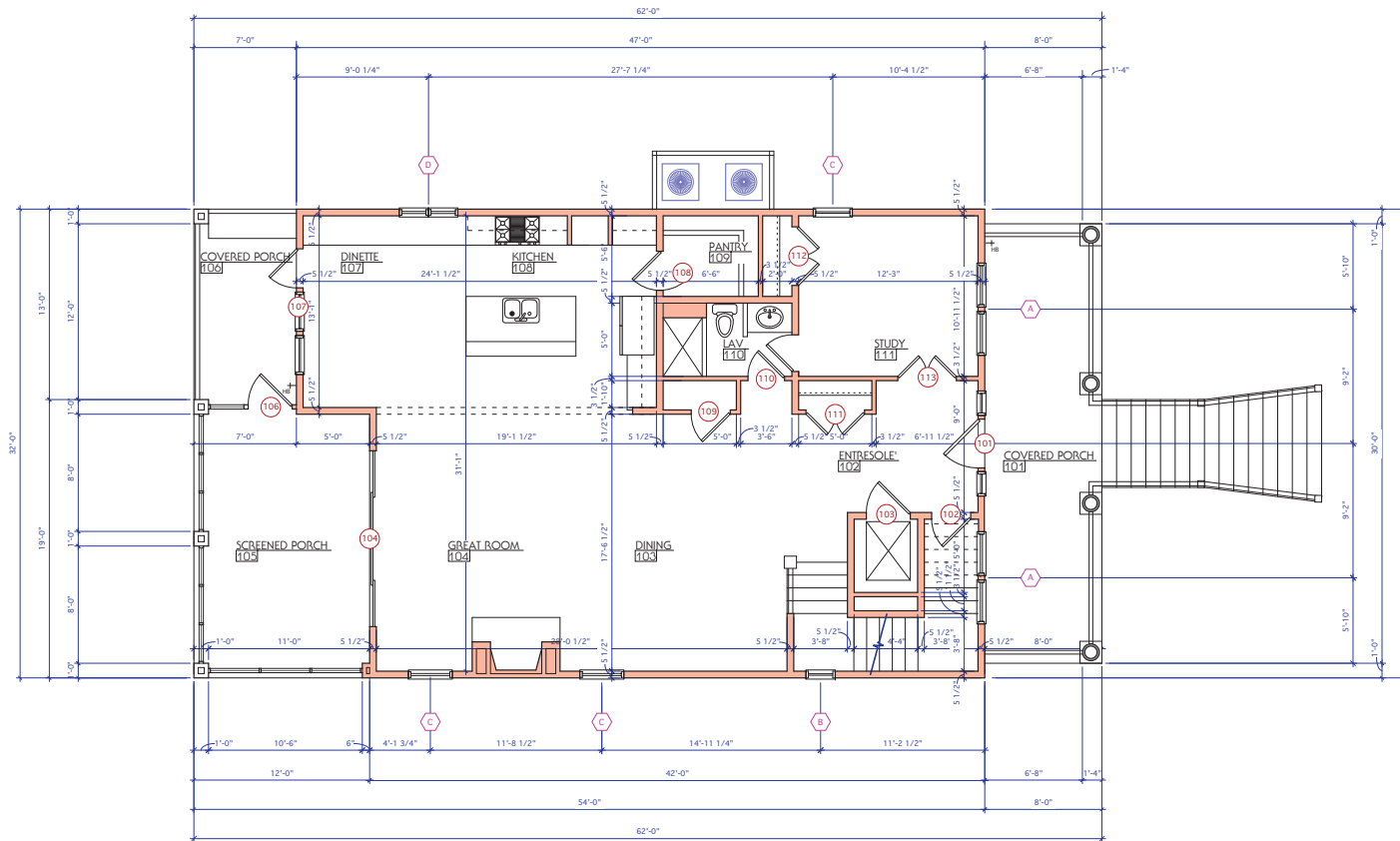
LOWER LEVEL PLAN

MICHAEL E. KARAMUS
ARCHITECT, L.L.C.
P. O. Box 222050
Charleston, SC 29413



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HEREIN IS CONFIDENTIAL. WITH LETTER AND VISUAL ID AND SHALL REMAIN THE PROPERTY
OF MICHAEL E. KARAMUS ARCHITECT, L.L.C.

Scale: 1/4"=1'-0"	Drawn: MK	Checked: MK
Date: APRIL 20, 2021	Drawing No.: A1.1	
Commission No.: SC 21XX		



The Smith Residence

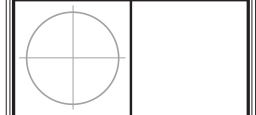
Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

HEATED AREA: 1378 S.F.
COVERED/SCREENED AREA: 331 S.F./223 S.F.
OPEN DECK AREA: 168 S.F.

MAIN FLOOR PLAN

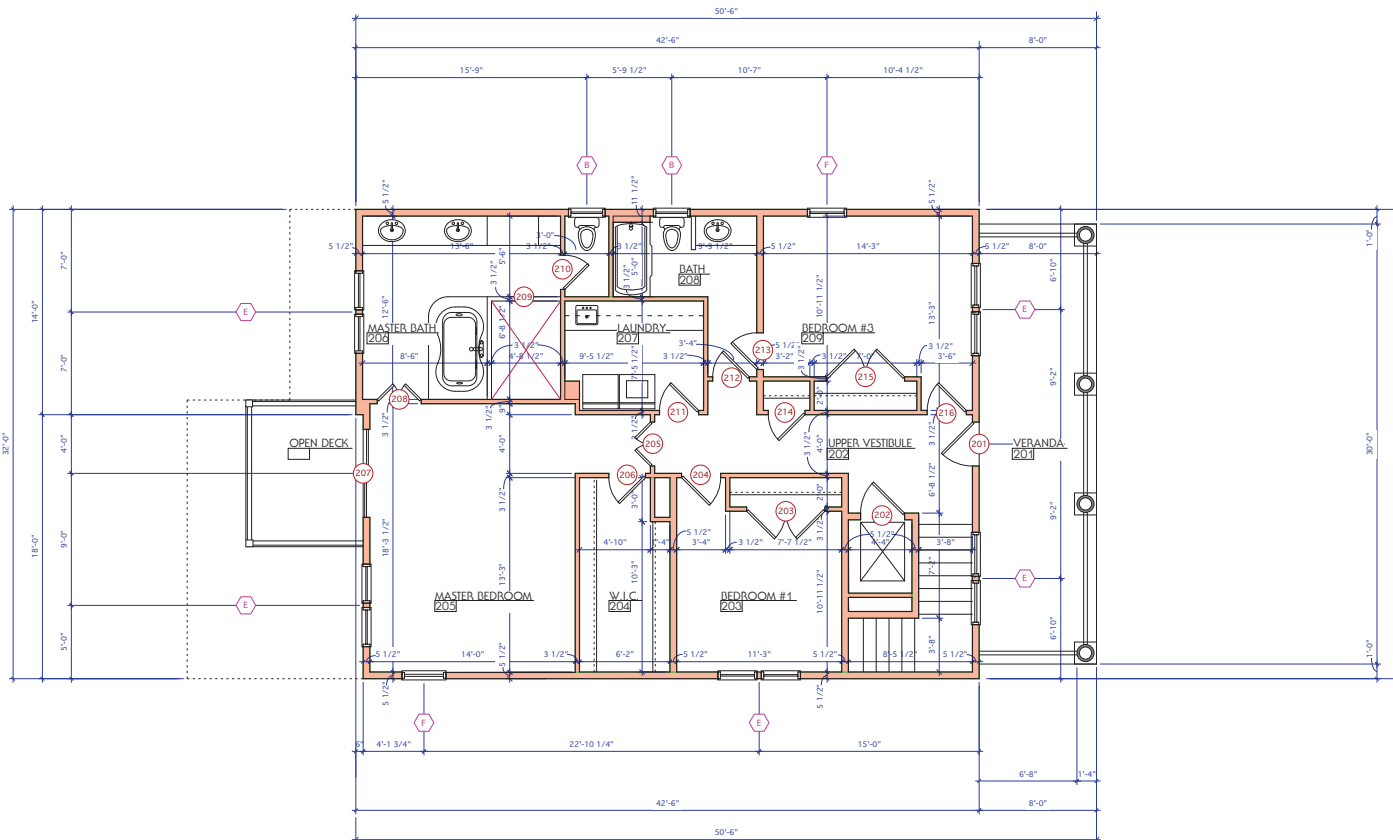
MICHAEL E. KARAMUS
ARCHITECT, L.L.C.
P. O. Box 222050
Charleston, SC 29413



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Scale: 1/4"=1'-0"	Drawn: MK	Checked: MK
Date: APRIL 20, 2021	Drawing No.:	
Commission No.:	A1.2	
SC 21XX		

1 MAIN FLOOR PLAN
A1.2



1 UPPER FLOOR PLAN
A1.3

The Smith Residence

Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

HEATED AREA: 1192 S.F.
COVERED / SCREENED AREA: 240 S.F.
OPEN DECK AREA: 80 S.F.

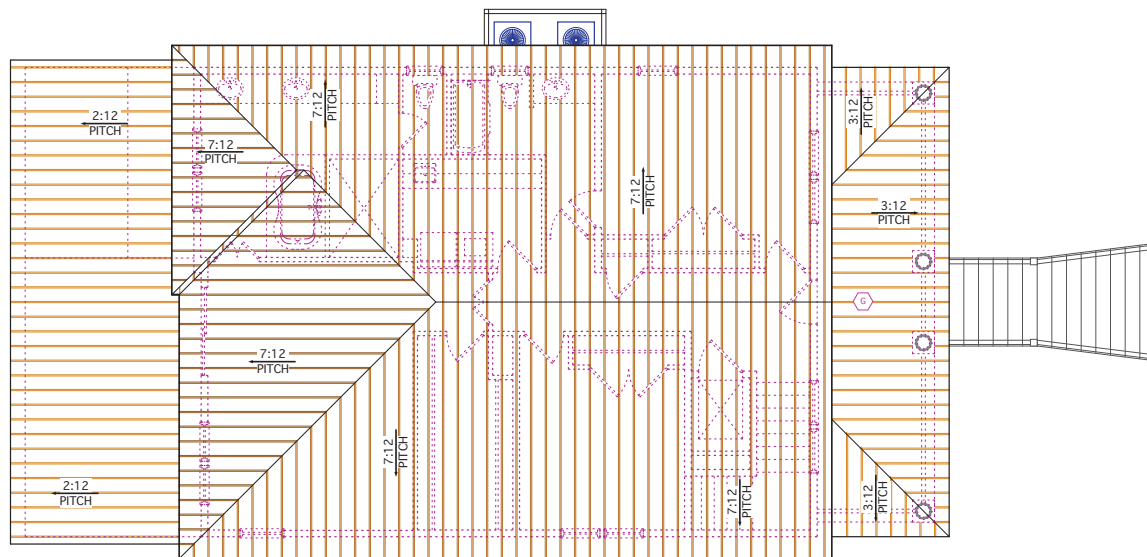
UPPER FLOOR PLAN

MICHAEL E. KARAMUS
ARCHITECT, L.L.C.
P. O. Box 222050
Charlotte, NC 28220-0113



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Scale: 1/4"=1'-0"	Drawn: MK	Checked: MK
Date: APRIL 20, 2021	Drawing No.:	
Commission No.:	A1.3	
SC 21XX		



1 ROOF PLAN
A1.4

The Smith Residence

Mr. & Mrs. Mark Smith
3056 Seabrook Village Dr
Seabrook Island, SC

Revisions:

ROOF PLAN

MICHAEL E. KARAMUS
ARCHITECT, LLC

P. O. Box 222050
Charleston, SC 29413

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 OF MICHAEL E. KARAMUS ARCHITECT, L.L.C.

Scale:	1/4"=1'-0"	Drawn:	MK	Checked:	MK
Date:	APRIL 20, 2021	Drawing No.:	A1.4		
Commission No.:	SC 21XX				



ATTACHMENT #3

Village at Seabrook PUD (Ord. 2020-01)

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

ADOPTED FEBRUARY 25, 2020

AN ORDINANCE ADOPTING A SECOND AMENDMENT TO THE PLANNED UNIT DEVELOPMENT FOR THE VILLAGE AT SEABROOK (FORMERLY KNOWN AS "AREA SIX" AND THE "LAKE ENTRY TRACT")

WHEREAS, on February 22, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-01, entitled "An Ordinance to Adopt a Planned Unit Development Within Area Six (Lake Entry Tract)"; and

WHEREAS, on June 5, 2000, the Mayor and Council for the Town of Seabrook Island adopted Ordinance 2000-08, entitled "An Ordinance to Amend the Planned Unit Development Within Area Six for the Lake Entry Tract (Developed as the Village at Seabrook)"; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island now wish to amend the Planned Unit Development ordinance for Lake Entry Tract, now known as the "Village at Seabrook," so as to modify the setback requirements and other development standards related to the Village at Seabrook; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island believe it is fitting and proper to amend the requirements of the Planned Unit Development for the Village at Seabrook so as to clarify and standardize the requirements for future development; and

WHEREAS, the Mayor and Council for the Town of Seabrook Island advertised and held a public hearing on the proposed amendments during a duly called meeting on February 25, 2020, with public comments duly noted;

NOW, THEREFORE, pursuant to the authority granted by the Constitution and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE MAYOR AND COUNCIL FOR THE TOWN OF SEABROOK ISLAND:**

SECTION 1. Purpose

This ordinance is adopted to amend the Planned Unit Development for the Village at Seabrook (formerly known as "Area Six" and the "Lake Entry Tract"), which was established by Ordinance 2000-01 on February 22, 2000, and amended by Ordinance 2000-08 on June 5, 2000.

SECTION 2. PUD Amended

The Village at Seabrook PUD (Application #1739 as amended) (Exhibit A) is hereby approved and adopted. The approved amendments to the application which shall constitute the PUD for this property are shown on the map attached as Exhibit B and incorporated herein by reference; provided, however, the Land Use Summary contained within the attached Exhibit B is hereby amended to read as follows:

LAND USE SUMMARY

TMS #: Formerly known as 147-00-00-009

Total Area (Including Lake): 42.219 AC

- Common Area and Lake: 8.33 AC
- Seabrook Island Road: 2.5 AC
- Residential: 22.84 AC
- Buffers: 3.0 AC
- Residual Tract (Ground Lease): 5.54 AC

Proposed Land Use: Detached Multi-Family Residential

Minimum Lot Size: 6,000 S.F.

Maximum Lot Coverage: 40%

Setbacks:

- Front Yard Setbacks: The minimum front yard setback shall be 30 feet from the street right-of-way; provided, however:
 - For corner lots wherein one street frontage is a cul-de-sac street, the minimum front yard setbacks shall be 30 feet from the cul-de-sac street right-of-way and 20 feet from the intersecting street right-of-way; and
 - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way.
- Side Yard Setbacks: The minimum side yard setback shall be 7.5 feet from all side property lines; provided, however:
 - In instances where an existing structure on a neighboring lot is situated less than 7.5 feet from the shared property line, a larger setback shall be required in order to ensure a minimum separation of at least 15 feet between structures; and
 - Accessory structures, including but not limited to HVAC and generator equipment and associated stands, which were lawfully in existence as of February 25, 2020, may be replaced; provided, no part of the new equipment and/or stand may be situated any closer to the side property line than the equipment and/or stand which it will replace; and provided, the replacement equipment and/or stand is installed no more than ninety (90) days following removal of the equipment and/or stand which it will replace.

- Rear Yard Setbacks: The minimum rear yard setback requirement shall be 25 feet from the rear property line; provided, however:
 - For lots abutting an open space area (lake, lagoon, golf course, trail, etc.), an uncovered deck may encroach no more than 10 feet into the required rear yard setback;
 - For pie-shaped lots that do not have a defined rear property line from which to apply a rear yard setback, the rear yard setback shall be measured from the point where the side property lines intersect at the rear of the property; and
 - Pursuant to Section 7.60.10.10 of the DSO, corner lots are defined to have two front yards and two side yards. Therefore, a rear yard setback shall not be required for any corner lot.

The Lake Entry Tract PUD is subject to all of the requirements of the Town Code and DSO; provided, however, all detached residential units within the Village at Seabrook shall be treated as “single-family detached residential units” and, therefore, shall not be subject to the architectural review requirements for multi-family development, as outlined in Section 14 of the DSO, as long as the architectural plans have been reviewed and approved by a duly constituted architectural review board prior to the issuance of a zoning permit by the town. In the event of conflict between this ordinance and the Town Code and/or DSO, the provisions of this ordinance shall prevail. The applicant further agrees that all roads within the PUD as well as the six-acre lake shall be deeded to the Seabrook Island Property Owner’s Association.

SECTION 3. Codification

The Development Standards Ordinance of the Town of Seabrook Island, South Carolina; Article 6, Approved Planned Developments; Section 6.80, The Village at Seabrook, a/k/a Lake Entry Tract, PDD, is hereby amended so as to replace the existing language in Section 6.80 with the language contained in Section 2 of this ordinance.

SECTION 4. Severability

If any section, subsection, paragraph, clause, or provision of this ordinance shall be deemed to be unconstitutional, unenforceable, or otherwise invalid by the final decision of a court of competent jurisdiction, it shall be construed to have been the legislative intent of Town Council to pass said ordinance without such unconstitutional provision, and the validity of all remaining sections, subsections, paragraphs, clauses, or provisions of said ordinance shall not be affected thereby. If said ordinance, or any provision thereof, is held by the final decision of a court of competent jurisdiction to be inapplicable to any person, group of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances.

SECTION 5. Conflicting Ordinances Repealed

All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.


SECTION 6. Effective Date.

This ordinance shall be effective from and after the date of adoption.

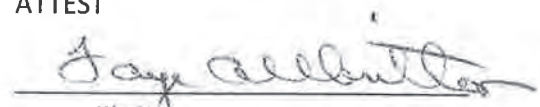
SIGNED AND SEALED this 28th day of February, 2020, having been duly adopted by the Town Council for the Town of Seabrook Island on the 25th day of February, 2020.

First Reading: January 28, 2020
Public Hearing: February 25, 2020
Second Reading: February 25, 2020

TOWN OF SEABROOK ISLAND


John Gregg, Mayor

ATTEST


Faye Allbritton, Town Clerk

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit A

PUD Application (As Amended)

Town of Seabrook Island - Zoning Permit

Permit Date: 03/27/1997 Permit #, Town: 1739 License #: 0
TMS Number: 147-00-00-009 Thru: And: Paid Date: 03/27/1997
App Fee: \$820.00 Cash: No Check #: 1008

Applicant Name: Seabrook Island I.L.I.C. Phone:
Contact Name: Hank Hofford or Dave Savitz
App Address1: 17 Lockwood Dr. The Rice Mill
App Address2:
App City: Charleston St: SC Zip: 29402

Property Owner: Seabrook Island I.L.I.C. Phone: 722-8200
Owner Address1: P.O. Box 1707
Owner Address2:
Owner City: Charleston St: SC Zip: 29455

Property Location: Lot: Block:
Property Address: 56 acre lake entry tract

Purpose: Submittal of a Planned Unit Development for property presently known as the Lake Entry Site. This property is just past the gate on the left leading into the Island.

Work Value: \$0.00 Const Cost: \$0.00 Flood Elev: 13 Zone: A8

Architectural Review Board:

Comments: Requires Recommendation of Planning Commission and approval of Town Council

The Town Council voted on June 24, 1997 to accept the Planning Commission recommendation that this application be denied because it did not meet sec 8.10.0 **** March 22, 2000, The Town Council voted to approve the amended PUD which changes the development from a Health Care Facility to a development of 106 Multi-Family lots. ****
Amendment: 2/4/2000 to amend this application for a planned development of a health care facility to a planned multi-family development of 106 units.

This Zoning Permit is valid for six (6) months. The action for which this permit was obtained must be taken within that time period.
If this zoning permit is for issuance of a building permit, such building permit is valid for a period of one (1) year as described in the town code.
Any extentions, alterations, or amendments must be approved in writing by the Town of Seabrook Island Zoning Administration.

I hereby certify that the above information and any plan or drawing submitted herewith are true and accurate indications of existing or proposed improvements to the above identified property.

Owner/Applicant's Signature
Wednesday, January 12, 2000

John M. Smith
Zoning Administrator
Wednesday, January 12, 2000

APPROVED BY TOWN COUNCIL
OK J.M.S. 25, 2000
MARCH 22, 2000
P.M.D.

John M. Smith
Printed Name

Exhibit "A"

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2020-01

Exhibit B

Village at Seabrook Project Map (As Amended)



ATTACHMENT #4

Subdivision Plat (2001)

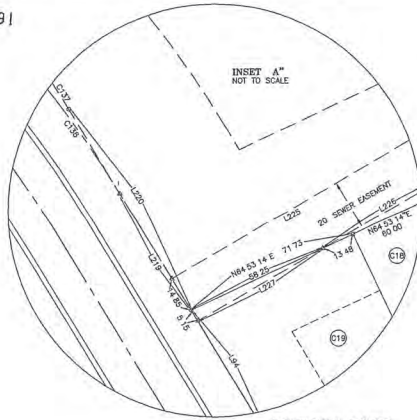
REFERENCES

1. PLAT SHOWING SUBDIVISION OF A 16.424 ACRE TRACT OWNED BY SEABROOK ISLAND DEVELOPMENT GROUP BY DANIEL C. FORSBERG DATED APRIL 8 1997 RECORDED IN PLAT BOOK 581 PAGE 55
2. PLAT OF A 56.150 ACRE TRACT AND A 1.452 ACRE BUFFER ZONE OWNED BY SEABROOK ISLAND COMPANY BY JOSEPH W. WILLIAMS III DATED AUGUST 21 1985 RECORDED IN PLAT BOOK 67 PAGE 32
3. FRESHWATER WETLANDS CERTIFICATION N/R SAC-811-92-0949 DATED JANUARY 7 1993 BY THE REGULATORY BRANCH OF THE U.S. ARMY CORPS OF ENGINEERS AND REVISION SURVEY PLAT DATED SEPTEMBER 30 1992 AND REVISED OCTOBER 8 1992 ENTITLED "ACTUAL LAND TITLE SURVEY SHOWING 56.414 ACRES BY ENGINEERING SURVEYING AND PLANNING INC.
4. PRELIMINARY LOT LAYOUT & EXISTING WETLANDS THE ROOKERY AT SEABROOK ISLAND DATED JANUARY 27 1995 BY A.H. SHRACK & ASSOCIATES INC. DRAWING IS UNRECORDED
5. PLAT SHOWING THE RESUBDIVISION OF A 56.150 ACRE TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND DATED MARCH 29 1993 BY G. ROBERT GEORGE & ASSOCIATES INC. RECORDED ON SEPTEMBER 17 1995 IN THE REC. OFFICE OF CHARLESTON COUNTY IN PLAT BOOK 68 AT PAGE 327
6. CHARLESTON COUNTY TAX MAP 147-00-00
7. PRELIMINARY PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK CONTAINING 42.328 ACRE TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND DATED MAY 25 2000 BY G. ROBERT GEORGE & ASSOCIATES INC. RECORDED ON IN THE REC. OFFICE OF CHARLESTON COUNTY IN PLAT BOOK 122 PAGE 41

LEGEND

- PROPERTY LINE AND IRON PIN SET
- PROPERTY LINE PMI NOT SET DUE TO SENSOR O.D.
- PROPERTY LINE AND IRON PIN FOUND
- TRAVERSE POINT ON LINE
- - - ADJACENT RIGHT-OF-WAY LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT LINE
- - - NEW DRAINAGE EASEMENT LINE
- - - JURISDICTIONAL FRESHWATER WETLANDS
- - - APPROXIMATE FLOOD ZONE BOUNDARY
- - - LAGOON PERIMETER COMMON AREA

PL L 391 PG 591



Charleston South Carolina
Office of Register Means Conveyance
Plat recorded this 12 day of December 2001 at
1:21 o'clock in Plat Book 122 Page 245 and tracing cloth
copy filed in File 2-Drawer Folder 25 - Drawing No. 38
Original plat (a White Print) delivered to Town of Seabrook, S.C.
Sheet L-2

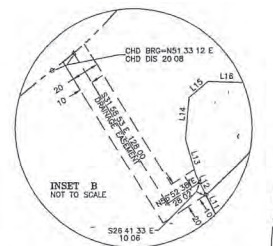
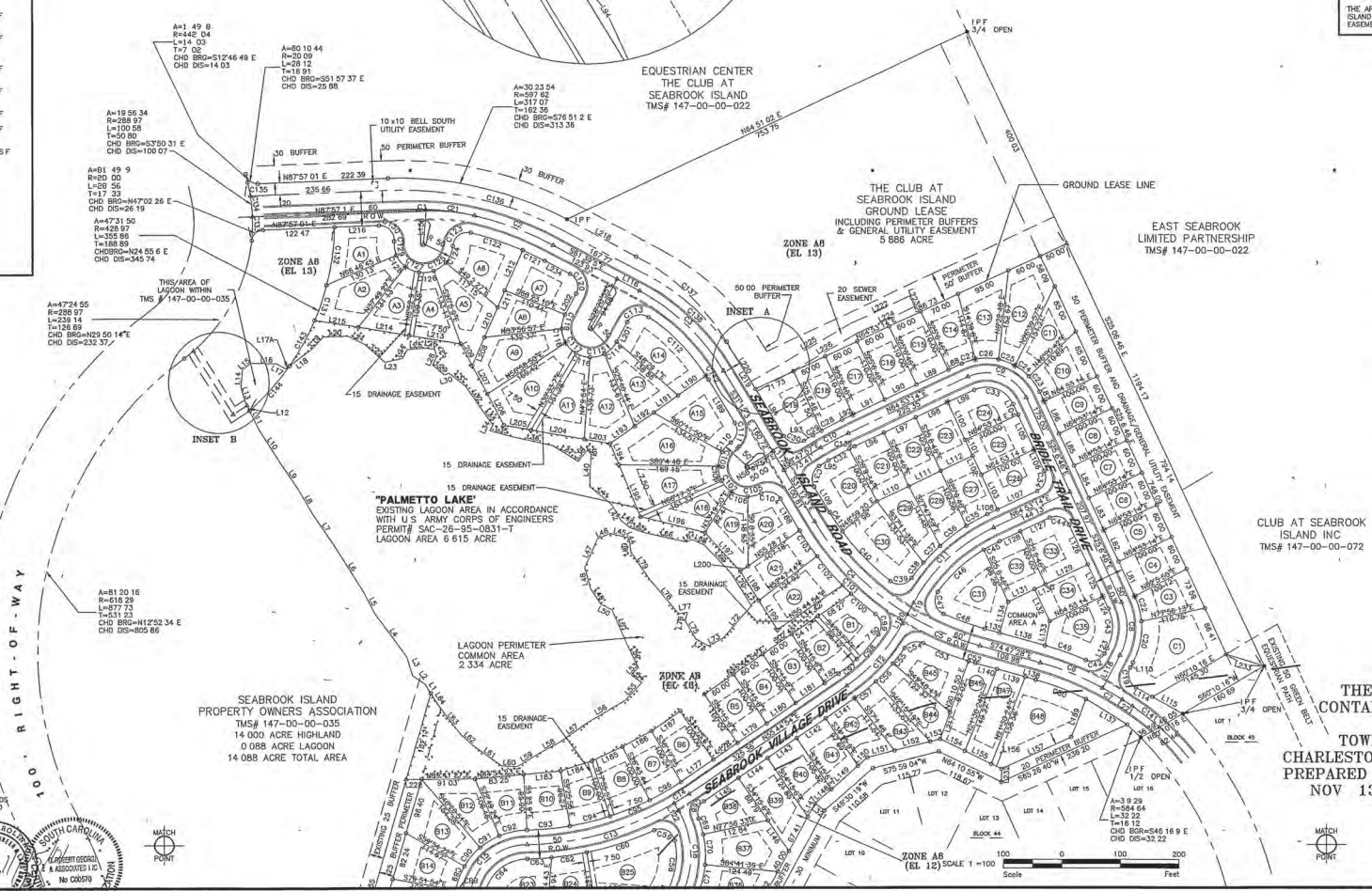
Chad Johnson
Register Means Conveyance



NOTICE
THE APPROVAL OF THIS PLAT IN NO WAY GUARANTEES THE TOWN OF SEABROOK ISLAND TO ACCEPT FOR CONTINUED MAINTENANCE ANY OF THE ROADS OR EASEMENTS SHOWN HEREON.

LAND USE SUMMARY

TMS#	147-00-00-009
GROUND LEASE AREA	5.886 ACRE
TOTAL PERIMETER BUFFER AREA	116.756 80 S.F.
COMMON AREA	0.122 ACRE
TOTAL RESIDENTIAL	794.285 86 S.F.
ROADWAY RIGHT-OF-WAY AREA	6.457 ACRE
LAGOON PERIMETER COMMON AREA	2.334 ACRE
LAGOON AREA	6.615 ACRE
TOTAL AREA INCLUDING LAGOON	42.328 ACRE
PROPOSED LAND USE	DETACHED MULTIFAMILY * RESIDENTIAL
MINIMUM LOT SIZE	6,000 S.F.
MAXIMUM LOT COVERAGE	40%
SETBACK:	30 FRONT 15 SIDE (TO TOTAL 15) 5 REAR
LOT REQUIRING 25% LOTLINE SETBACK:	AT A6 A4 B38 C19 & C28



FLOOD ZONE DATA
THIS PROPERTY IS IN FLOOD ZONES AB (ELEV. 13) AND AB (ELEV. 12) AS INDICATED ON THE FLOOD INSURANCE RATE MAP IN ACCORDANCE WITH THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN

I DO HEREBY CERTIFY THAT THE METHOD OF AREA DETERMINATION HAS BEEN COMPLETED USING THE PRINCIPLES OF COORDINATE GEOMETRY

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN

SURVEY PRECISION IS IN EXCESS OF 1/10,000



TOWN OF SEABROOK ISLAND
DATE 12/13/2001
APPROVED BY *Deborah Smith*
ZONING ADMINISTRATOR
TOWN OF SEABROOK ISLAND
CLUB AT SEABROOK ISLAND INC
TMS# 147-00-00-072

PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK CONTAINING 42.328 ACRE TRACT LOCATED IN THE TOWN OF SEABROOK ISLAND CHARLESTON COUNTY, SOUTH CAROLINA PREPARED FOR SEABROOK ISLAND I, LLC NOV 13, 2001 SCALE 1"=100' SHEET 1 OF 2

G. ROBERT GEORGE AND ASSOCIATES INC.
CONSULTING ENGINEERS LANDSCAPE ARCHITECTS
PLANNERS AND LAND SURVEYORS
P.O. BOX 38168 (803) 556-4261
CHARLESTON SOUTH CAROLINA 29417-2168

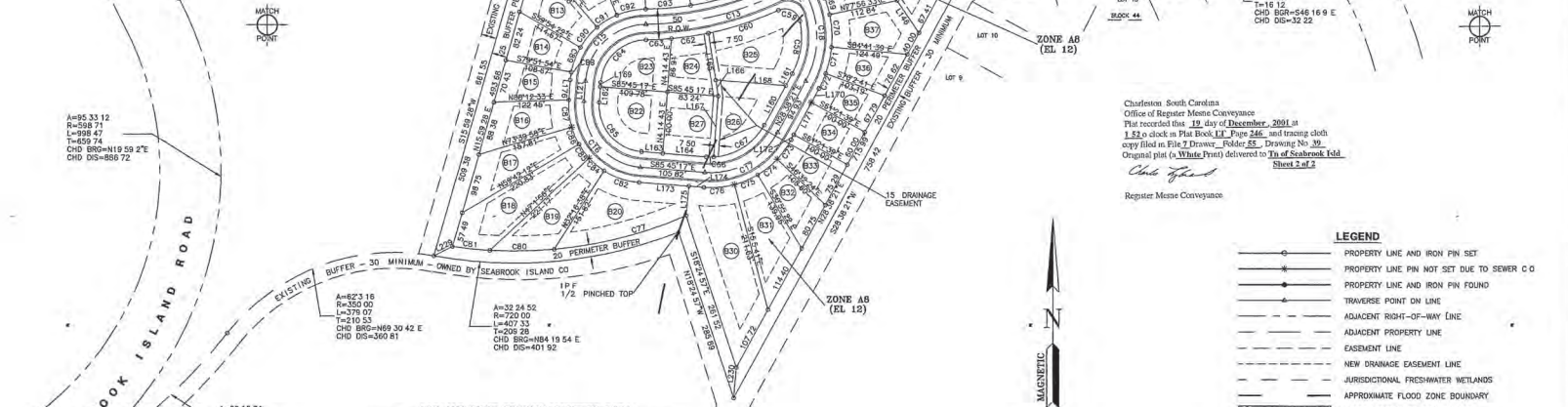
JOB NO 1171-41 THL DRAWING 1171-4F-PLAT DWG

DL K 391P6592

CURVE TABLE

NUMBER	DELTA	CHORD BRG	RADIUS	LENGTH	TANGENT	CHD LENGTH
C1	210.29	N 89 02' 16" E	362.36	13.75	6.88	13.75
C2	13 03 07	N 89 08' 08" W	546.00	14.83	14.83	14.83
C3	207.02	N 40 25' 24" W	375.00	19.30	102.06	196.89
C4	57 14 25	N 45 25' 25" W	470.00	22.45	115.21	224.02
C5	18 18 41	N 56 38' 08" E	475.00	15.23	68.07	134.77
C6	17 07 07	N 61 25' 25" W	500.00	15.27	71.51	144.82
C7	432.31	S 58 21' 05" E	500.00	39.64	19.83	39.63
C8	83 29 28	N 01 37' 57" E	100.00	63.36	50.99	96.00
C9	90 00.00	N 70 06' 46" W	75.00	117.81	75.00	106.07
C10	90 00.00	N 61 50 36 W	500.00	53.35	25.96	53.10
C11	52 22 44	S 46 41 52 W	300.00	160.48	98.57	187.30
C12	57 37 47	N 45 07 42 E	300.00	142.63	79.89	141.29
C13	30 10 32	N 74 21 25 E	500.00	263.33	134.80	260.30
C14	27 14 45	N 57 39 47 E	500.00	30.80	15.40	30.79
C15	85 12 29	S 46 50 57 W	100.00	146.72	91.87	135.39
C16	90 00.00	S 45 45 17 W	100.00	157.68	100.00	141.42
C17	65 36 22	N 81 28 32 E	125.00	143.13	89.57	135.44
C18	59 22 49	N 01 02 30 W	150.00	152.41	95.49	146.52
C19	89 37 33	S 16 26 07 E	25.00	30.11	24.84	30.24
C20	90 00.00	N 01 51 58 E	125.00	78.05	49.05	71.05
C21	13 13 18	N 83 16 31 W	362.36	53.62	26.00	53.62
C22	207 02.00	N 14 52 45 W	125.00	44.65	22.57	44.42
C23	18 26 47	N 56 26 24 W	100.00	32.00	16.24	32.06
C24	17 15 14	N 82 11 10 W	100.00	30.11	15.17	30.00
C25	17 15 14	N 80 28 24 W	100.00	30.11	15.17	30.00
C26	23 04 28	N 89 30 14 W	100.00	40.27	20.14	40.00
C27	13 28 19	S 71 52 22 E	500.00	12.25	6.13	12.25
C28	41 09 54	S 62 43 17 W	525.00	39.69	19.85	39.68
C29	14 52 23	S 50 40 36 W	525.00	16.09	8.05	16.09
C30	90 00.00	S 76 12 03 E	25.00	39.27	25.00	39.26
C31	90 00.00	S 76 12 03 E	25.00	39.27	25.00	39.26
C32	453.07	S 51 14 31 W	475.00	40.50	20.26	40.49
C33	90 00.00	N 70 08 48 W	500.00	75.54	38.00	70.71
C34	90 00.00	N 15 53 14 E	25.00	39.27	25.00	39.26
C35	71 2 29	S 81 16 30 W	500.00	11.24	5.62	11.24
C36	9 51 53	S 52 43 49 W	325.00	58.98	28.95	58.99
C37	7 58 01	S 62 43 49 W	325.00	58.98	28.95	58.99
C38	5 51 52	S 37 43 56 W	325.00	33.28	16.65	33.29
C39	8 28 48	S 37 43 56 W	325.00	33.28	16.65	33.29
C40	15 16 45	S 43 52 19 E	445.00	118.54	59.82	118.19
C41	8 28 48	S 43 52 19 E	445.00	118.54	59.82	118.19
C42	84 49 52	N 70 47 35 E	25.00	37.01	22.84	37.01
C43	13 13 18	N 01 57 57 E	75.00	70.02	37.00	67.00
C44	90 00.00	N 70 08 48 W	125.00	39.00	19.50	39.00
C45	82 24 44	S 41 39 57 E	275.00	54.92	15.48	54.92
C46	23 02 39	S 69 26 40 E	275.00	107.40	54.92	107.40
C47	10 16 15	N 14 34 17 E	25.00	44.19	20.47	38.86
C48	23 02 39	S 69 26 40 E	275.00	107.40	54.92	107.40
C49	80 00.00	N 70 47 28 W	530.00	74.00	37.05	73.34
C50	11 11 13	N 89 22 22 E	475.00	11.22	5.61	11.22
C51	1 21 29	S 74 08 44 E	505.00	11.97	5.99	11.97
C52	6 43 46	S 62 43 49 E	505.00	11.97	5.99	11.97
C53	81 23 30	S 75 18 02 W	25.00	35.53	25.00	35.53
C54	80 00.00	N 44 40 19 E	445.00	118.54	59.82	118.19
C55	72 4 45	N 44 02 19 E	325.00	42.05	21.05	42.02
C56	80 00.00	N 08 16 28 W	125.00	68.86	40.40	87.00
C57	40 43 44	N 81 44 48 W	125.00	68.86	40.40	87.00
C58	40 43 44	N 81 44 48 W	125.00	68.86	40.40	87.00
C59	13 13 18	N 01 57 57 E	75.00	70.02	37.00	67.00
C60	13 13 18	N 01 57 57 E	75.00	70.02	37.00	67.00
C61	43 03 53	N 87 11 45 E	525.00	121.23	60.88	120.86
C62	18 51 28	N 87 11 45 E	525.00	121.23	60.88	120.86
C63	90 00.00	S 40 45 17 E	75.00	117.81	75.00	106.07
C64	90 00.00	S 40 45 17 E	75.00	117.81	75.00	106.07
C65	86 36 13	N 37 56 27 E	100.00	102.28	56.12	97.88
C66	77 21 49	N 37 56 27 E	100.00	102.28	56.12	97.88
C67	91 30 30	N 1 32 49 W	175.00	58.80	29.40	58.80
C68	91 30 30	N 1 32 49 W	175.00	58.80	29.40	58.80
C69	17 21 49	N 03 22 33 W	175.00	58.80	29.40	58.80
C70	17 21 49	N 03 22 33 W	175.00	58.80	29.40	58.80
C71	84 10 02	N 24 17 50 E	175.00	28.52	13.29	28.50
C72	84 10 02	N 24 17 50 E	175.00	28.52	13.29	28.50
C73	14 01 15	N 51 16 07 E	150.00	40.89	20.57	40.69
C74	13 57 02	N 51 16 07 E	150.00	40.89	20.57	40.69
C75	14 01 15	N 51 16 07 E	150.00	40.89	20.57	40.69
C76	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C77	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C78	8 36 30	N 89 00 19 E	700.00	22.95	10.59	22.90
C79	8 36 30	N 89 00 19 E	700.00	22.95	10.59	22.90
C80	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C81	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C82	28 01 56	S 71 44 20 E	125.00	61.16	31.00	60.55
C83	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C84	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C85	28 01 56	S 71 44 20 E	125.00	61.16	31.00	60.55
C86	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C87	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C88	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C89	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C90	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C91	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C92	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C93	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C94	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C95	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C96	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C97	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C98	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C99	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83
C100	18 20 24	N 84 34 31 E	150.00	50.83	25.90	50.83

SEABROOK ISLAND
PROPERTY OWNERS ASSOCIATION
TMS# 147-00-00-035
14 000 ACRE HIGHLAND
0 088 ACRE LAGOON
14 088 ACRE TOTAL AREA



LOT AND RIGHT-OF-WAY PERMETER DATA

NUMBER	DISTANCE	BEARING	NUMBER	DISTANCE	BEARING
L81	64.87	S 25 06 46 E	L158	57.18	N 04 35 22 E
L82	60.00	N 39 48 16 W	L159	89.16	S 32 30 46 E
L83	60.00	N 39 48 16 W	L160	72.80	S 32 30 46 E
L84	60.00	N 39 48 16 W	L161	25.13	S 38 30 21 W
L85	60.00	N 39 48 16 W	L162	23.00	N 01 14 53 E
L86	60.00	N 39 48 16 W	L163	34.78	N 05 45 17 E
L87	18.09	S 25 06 46 E	L164	1.04	N 09 02 05 W
L88	25.00	N 64 53 14 E	L165	77.34	N 09 02 05 W
L89	60.00	N 64 53 14 E	L166	11.91	N 09 02 05 W
L90	60.00	N 64 53 14 E	L167	99.25	N 04 14 43 E
L91	60.00	N 64 53 14 E	L168	114.85	N 04 14 43 E
L92	35.00	N 64 53 14 E	L169	7.10	N 04 14 43 E
L93	18.61	N 64 53 14 E	L170	9.14	N 08 28 21 E
L94	64.87	S 25 06 46 E	L171	60.00	N 38 30 21 E
L95	47.07	N 17 29 31 W	L172	9.14	N 08 28 21 E
L96	65.35	N 64 53 14 E	L173	24.14	N 08 28 21 E
L97	60.00	N 64 53 14 E	L174	24.98	N 08 28 21 E
L98	60.00	N 64 53 14 E	L175	48.01	N 08 28 21 E
L99	60.00	N 64 53 14 E	L176	18.09	N 08 28 21 E
L100	70.00	N 25 06 46 E	L177	68.92	N 08 28 21 E
L101	60.00	N 25 06 46 E	L178	59.00	N 08 28 21 E
L102	35.00	N 25 06 46 E	L179	60.00	N 08 28 21 E
L103	60.00	N 25 06 46 E	L180	60.00	N 08 28 21 E
L104	20.00	N 25 06 46 E	L181	60.00	N 08 28 21 E
L105	60.00	N 25 06 46 E	L182	28.44	N 08 28 21 E
L106	40.00	N 25 06 46 E	L183	63.45	N 08 28 21 E
L107	70.00	N 25 06 46 E	L184	58.98	N 08 28 21 E
L108	19.13	N 64 53 14 E	L185	60.00	N 08 28 21 E
L109	59.81	S 31 12 03 E	L186	56.00	N 08 28 21 E
L110	60.00	N 64 53 14 E	L187	52.40	N 08 28 21 E
L111	60.00	N 64 53 14 E	L188	64.00	N 08 28 21 E
L112	60.00	N 64 53 14 E	L189	65.89	N 08 28 21 E
L113	9.74	N 64 53 14 E	L190	58.43	N 08 28 21 E
L114	32.16	N 64 53 14 E	L191	60.00	N 08 28 21 E
L115	58.99	N 64 53 14 E	L192	39.97	N 08 28 21 E
L116	43.94	S 01 39 05 E	L193	01.02	N 08 28 21 E
L117	37.42	N 19 4	L194	38.46	N 08 28 21 E
L118	62.60	N 19 4	L195	69.00	N 08 28 21 E
L119	22.33	N 29 30 30 E	L196	113.11	N 08 28 21 E
L120	18.09	N 29 30 30 E	L197	54.54	N 08 28 21 E
L121	32.10	N 04 14 43 E	L198	58.97	N 08 28 21 E
L122	18.09	N 29 30 30 E	L199	60.00	N 08 28 21 E
L123	9.85	N 29 30 30 E	L200	15.63	N 08 28 21 E
L124	60.00	N 29 30 30 E	L201	36.96	N 08 28 21 E
L125	37.04	N 29 30 30 E	L202	42.00	N 08 28 21 E
L126	60.00	N 29 30 30 E	L203	47.02	N 08 28 21 E
L127	31.04	N 29 30 30 E	L204	16.16	N 08 28 21 E
L128	39.13	N 64 53 14 E	L205	49.07	N 08 28 21 E
L129	60.00	N 64 53 14 E	L206	54.54	N 08 28 21 E
L130	20.00	N 64 53 14 E	L207	50.00	N 08 28 21 E
L131	30.00	N 64 53 14 E	L208	54.54	N 08 28 21 E
L132	60.00	N 64 53 1			



ATTACHMENT #5

Property Photos











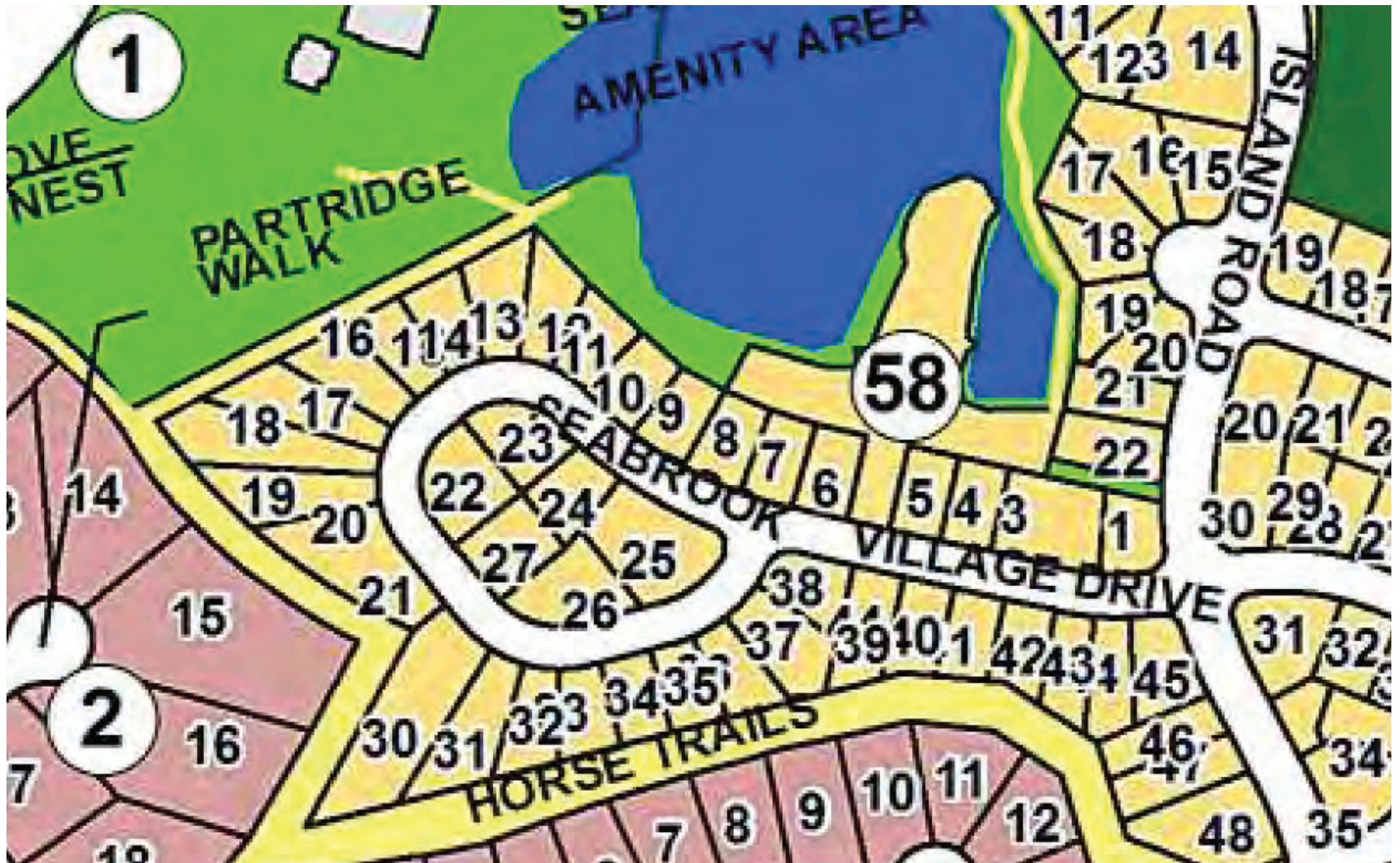






ATTACHMENT #6

Zoning Map





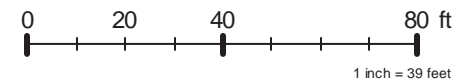
ATTACHMENT #7

Aerial Image



3056 SEABROOK VILLAGE DRIVE

#



Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

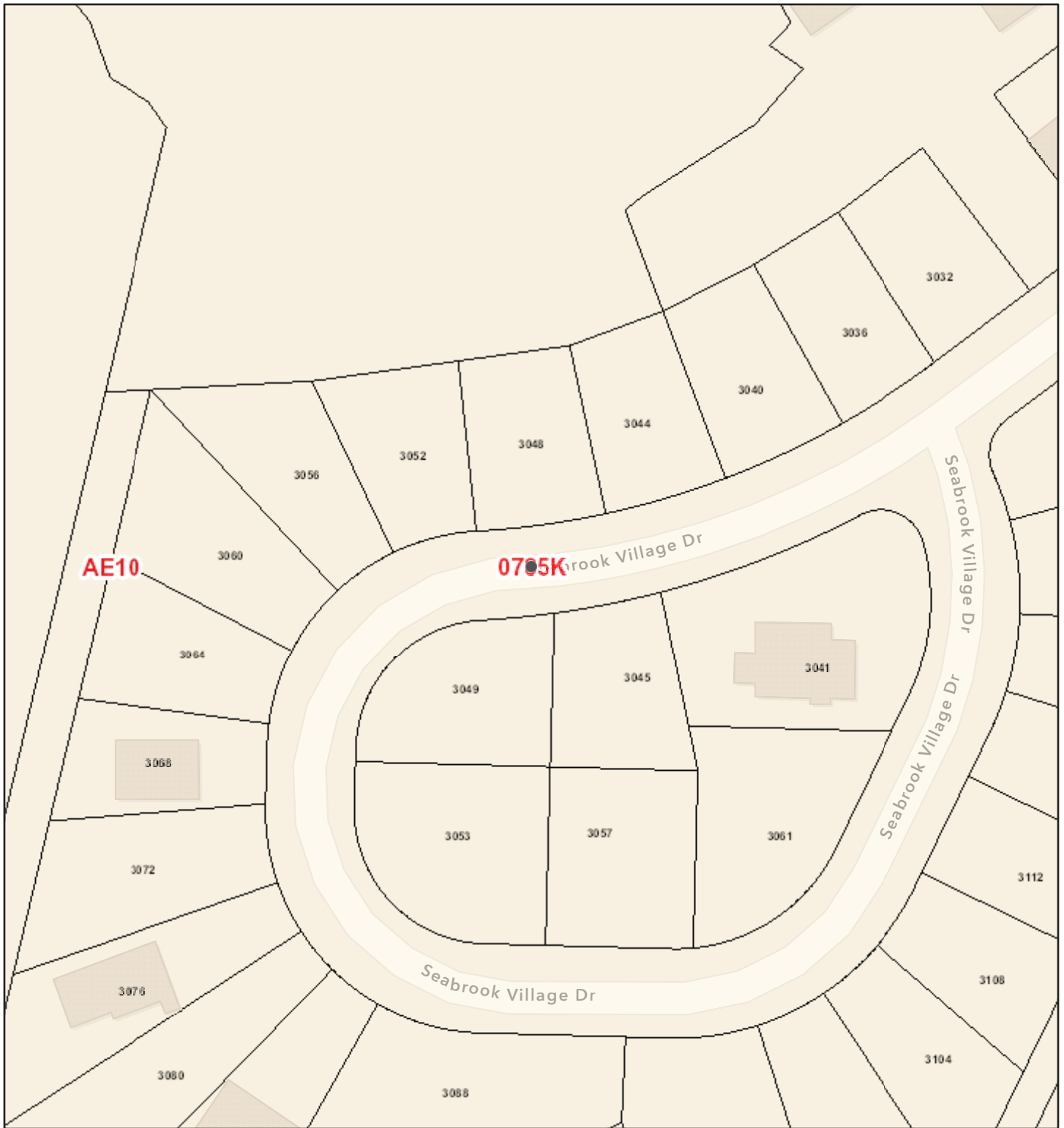
Author: Charleston County SC
Date: 5/10/2021



ATTACHMENT #8















FEMA Base Flood Elevation

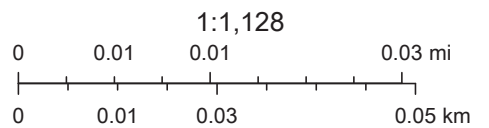
3056 Seabrook Village Drive



6/2/2021, 2:29:09 PM

CURRENT FLOOD ZONE (effective 1/29/2021)

 A	 AE, 14	 AO
 AE	 AE, 15	
 AE, 10	 AE, 5	
 AE, 11	 AE, 6	
 AE, 12	 AE, 7	
 AE, 13	 AE, 8	
	 AE, 9	



Esri Community Maps Contributors, City of Charleston, Charleston County GIS, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA



ATTACHMENT #9

Title to Real Estate

RETURN TO:
Krawcheck & Davidson
9 State Street
Charleston, SC 29401



BP0946817

PGS:

5

2058
STATE OF SOUTH CAROLINA)
)
COUNTY OF CHARLESTON)

TITLE TO REAL ESTATE

KNOW ALL MEN BY THESE PRESENTS that **JOHN K. KIEHM AND JACQULYN A. KIEHM, TRUSTEES UNDER THE KIEHM FAMILY TRUST DATED FEBRUARY 3, 2003** (hereinafter collectively referred to as "Grantors"), in the State aforesaid, for and in consideration of the sum of SIXTY-FIVE THOUSAND AND NO/100 (\$65,000.00) DOLLARS, to them in hand paid at and before the sealing of these presents by **MARK SMITH AND LYNETTE C. SMITH** (hereinafter referred to as "Grantees"), in the State aforesaid, the receipt whereof is hereby acknowledged, and subject to the easements, restrictions, reservations and conditions set forth on the attached Exhibit "A" ("Exceptions"), has granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto **MARK SMITH AND LYNETTE C. SMITH**, as joint tenants with right of survivorship and not as tenants in common, the following real property, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF
BY EXPRESS REFERENCE.

The property described herein may be subject to taxation during the next tax year at a value that reflects its fair market value.

TOGETHER with, all and singular, the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said Premises before mentioned, subject to the Exceptions, unto the said Grantees, as joint tenants with right of survivorship and not as tenants in common, their Heirs and Assigns forever.

TMS NO.: 147-00-00-070

GRANTEES' ADDRESS:

205 N. Main Street

Alkntown PA 18104

SUBJECT TO the Exceptions, Grantors do hereby bind themselves and their Successors and Assigns, to warrant and forever defend, all and singular, their interest in the Premises unto the said Grantees, as joint tenants with right of survivorship and not as tenants in common, their Heirs and Assigns forever, against itself and its Successors and Assigns, and all persons whomsoever lawfully claiming the same or any part thereof.

EXHIBIT "A"

ALL that certain piece, parcel or lot of land, situate, lying and being in the Town of Seabrook Island, Charleston County, South Carolina, known and designated as Lot B12 as shown on a plat entitled "PRELIMINARY PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK, CONTAINING 42.328 ACRE TRACT, LOCATED IN THE TOWN OF SEABROOK ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA PREPARED FOR HANK HOFFORD" made by G. Robert George and Associates, Inc., dated May 25, 2000, and recorded on May 26, 2000, in plat Book EE, Page 41 and 42 in the ROD Office for Charleston County, which said plat is incorporated herein by reference thereto. said lot is more recently shown on a plat entitled "PLAT SHOWING THE SUBDIVISION OF THE VILLAGE AT SEABROOK, CONTAINING 42.328 ACRE TRACT, LOCATED IN THE TOWN OF SEABROOK ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA PREPARED FOR SEABROOK ISLAND I, LLC" made by G. Robert George and Associates, Inc., dated November 13, 2001, and recorded on December 19, 2001, in plat Book EF, Page 245 and 246 in the ROD Office for Charleston County Said lot having such size, shape, dimensions, buttings and boundings as will by reference to said plat more fully and at large appear.

SUBJECT to any and all Restrictions, Covenants, Conditions, Easements, Rights of Way and all other matters affecting subject property of record in the Office of the ROD for Charleston County, South Carolina.

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

- 1. I have read the information on this affidavit and I understand such information.
- 2. The property being located at Lot B12 The Village at Seabrook, Seabrook Island, Charleston County, South Carolina bearing County Tax Map No. 147-00-00-070, which was transferred by John K. Kiehm, Trustee and Jacquelyn A. Kiehm, Trustee to Mark Smith and Lynette C. Smith December 29, 2020.
- 3. Check one of the following: The deed is
 - (a) XX subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) ___ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) ___ exempt from the deed recording fee because (See Information section of affidavit): _____
(If exempt, please skip items 4 - 7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes ___ or No ___

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See Information section of this affidavit.):

- (a) The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$65,000.00.
- (b) The fee is computed on the fair market value of the realty which is _____
- (c) The fee is computed on the fair market value of the realty as established for property tax purposes which is _____

5. Check Yes ___ or No x to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____

6. The deed recording fee is computed as follows:

- (a) Place the amount listed in item 4 above here: \$65,000.00
- (b) Place the amount listed in item 5 above here (if no amount is listed, place zero here): _____
- (c) Subtract Line 6(b) from Line 6(a) and place result here: \$65,000.00

7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: \$240.50

8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as: Attorney.

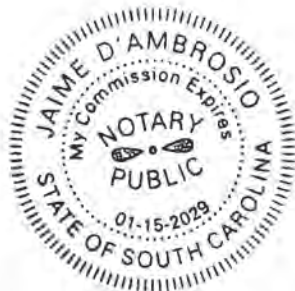
9. ___ DEED OF DISTRIBUTION-ATTORNEY'S AFFIDAVIT: Estate of _____ Deceased CASE NUMBER _____. Personally appeared before me the undersigned attorney who, being duly sworn, certified that (s)he is licensed to practice law in the State of South Carolina; that (s)he has prepared the Deed of Distribution for the Personal Representative in the Estate of _____ Deceased and that the grantee(s) therein are correct and conform to the estate file for the above named decedent.

10. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

[Signature]
Responsible Person Connected with the Transaction

LEONARDO KUCANOVIC
Print or Type Name Here

SWORN to and subscribed before me this
29 day of December 20 20
 Notary Public for SC
 My Commission Expires: 11/15/2029
 Notary (L.S.): [Signature]
 Notary (printed name): Jaime D'Ambrosio



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

KRAWCHECK & DAVIDSON
 9 STATE STREET
 CHARLESTON SC 29401 (BOX)

RECORDED		
Date:	December 31, 2020	
Time:	3:44:51 PM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0946	817	Deed
Michael Miller, Register Charleston County, SC		

MAKER:

KIEHM JOHN K TR AL

of Pages: 5

Note:

RECIPIENT:

SMITH MARK AL

Recording Fee	\$ 15.00
State Fee	\$ 169.00
County Fee	\$ 71.50
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 255.50

Original Book:

Original Page:

DRAWER
 CLERK

AUDITOR STAMP HERE
 RECEIVED From ROD
 Jan 25, 2021
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 REP MKD
 DATE 01/26/2021
 4



0946
Book



817
Page



12/31/2020
Recorded Date



5
Pgs



Original Book



Original Page



D
Doc Type



15:44:51
Recorded Time



ATTACHMENT #10

Property Information Card



- WELCOME
- REAL PROPERTY RECORD SEARCH
- REAL PROPERTY BILL SEARCH
- PERSONAL PROPERTY SEARCH
- MOTOR VEHICLE SEARCH
- CHECKOUT
- CONTACT US

\$0.00
[CHECK OUT](#)

- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)

Property Information

<p>Current Owner: SMITH MARK SMITH LYNETTE C 205 N MAIN ST ALLENTOWN PA 18104</p>	<p>Property ID Physical Address Property Class Plat Book/Page Neighborhood Deed Acres</p>	<p>1470000070 SEABROOK VILLAGE DR 905 - VAC-RES-LOT / 111413 AD13 The Village at Seabrook 0.1700</p>
--	--	---

Legal Description

Subdivision Name -THE VILLAGE AT SEABROOK Description -LOT B12
 PlatSuffix EF-245 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0946	817	12/29/2020	KIEHM FAMILY TRUST	SMITH MARK	S	Ge	\$65,000
N440	413	2/5/2003	KIEHM JOHN K	KIEHM FAMILY TRUST		Ge	\$10
E364	492	2/16/2001	HOFFORD JOHN H	KIEHM JOHN K		Ge	\$150,500
K358	145	11/9/2000	SEABROOK ISLAND I LLC	HOFFORD JOHN H		Ge	\$88,000
F279	061	1/24/1997	NOT SUPPLIED	SEABROOK ISLAND I LLC		Ge	\$0
EE	41	1/1/1900		NOT SUPPLIED		Ma	\$0

- [← RETURN](#)
- [🔍 SALES](#)
- [📄 TAX INFO](#)
- [🏠 ADDITIONAL PROPERTY INFO](#)
- [🖨️ PRINT](#)



ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 3056 Seabrook Village Drive (Variance #174)
DATE: May 11, 2021

Dear Property Owner:

The purpose of this letter is to notify you that the owners of **3056 SEABROOK VILLAGE DRIVE** have requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO ALLOW A COVERED PORCH ON A PROPOSED SINGLE-FAMILY RESIDENCE TO ENCROACH APPROXIMATELY 6.3 FEET INTO THE REQUIRED 25-FOOT REAR YARD SETBACK**. A copy of the variance application is enclosed for your information.

The Seabrook Island Board of Zoning Appeals will hold a **VIRTUAL PUBLIC HEARING** on the variance request at the date and time listed below. This notification is being provided to you pursuant to Section § 20.70.40 of the DSO.

PUBLIC HEARING DATE: FRI. JUNE 11, 2021
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: VIRTUAL MEETING VIA ZOOM

For information on how to submit a public comment during (or prior to) the Virtual Public Hearing, please refer to the attached Public Hearing Notice.

The Virtual Public Hearing will be live streamed on the town's YouTube channel beginning at 2:30 PM at the following address:

LIVE STREAM: <https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>.

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

Joseph M. Cronin
Town Administrator/Zoning Administrator



ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners

VARIANCE NOTIFICATION LIST

2263 SEABROOK ISLAND ROAD

PROPERTY ADDRESS	OWNER(S) OF RECORD	STREET ADDRESS	CITY, STATE & ZIP
3045 SEABROOK VILLAGE DRIVE	BERNARD FULK ET AL	3333 MAYBANK HWY	JOHNS ISLAND, SC 29455
3048 SEABROOK VILLAGE DRIVE	MARY BETH HIBBARD REVOCABLE TRUST	3048 SEABROOK VILLAGE DRIVE	SEABROOK ISLAND, SC 29455
3049 SEABROOK VILLAGE DRIVE	EDWARD & KIMBERLY PALMIERI	152 HAZELWOOD DRIVE	CRANBERRY TWP, PA 16066
3052 SEABROOK VILLAGE DRIVE	ANTHONY & WENDY WALKER	705 DREW AVE	FORT MILL, SC 29455
3053 SEABROOK VILLAGE DRIVE	MHA DESIGN LLC	101 HIGH HAMMOCK VILLAS	SEABROOK ISLAND, SC 29455
3060 SEABROOK VILLAGE DRIVE	NRUCE & KIMBERLY MUENTER	6414 MOORINGS POINT CIR APT 2	LAKEWOOD RANCH, FL 34202
3064 SEABROOK VILLAGE DRIVE	CARMINE DEGENNARY REVOCABLE TRUST	2207 SEABROOK ISLAND ROAD	SEABROOK ISLAND, SC 29455
SIPOA	SEABROOK ISLAND PROPERTY OWNERS ASSOCIATION	1202 LANDFALL WAY	SEABROOK ISLAND, SC 29455
LAKE / AMENITY	VILLAGE AT SEABROOK PROPERTY OWNERS ASSOCIATION	3690 BOHICKET ROAD, STE 1-A	JOHNS ISLAND, SC 29455
LAKE HOUSE / OPEN SPACE	SEABROOK ISLAND PROPERTY OWNERS ASSOCIATION		
REGIME	VILLAGE AT SEABROOK PROPERTY OWNERS ASSOCIATION		

* DUPLICATE

* DUPLICATE





ATTACHMENT #13

Public Hearing Notice:
USPS Certified Mail Receipts

7020 1810 0001 6025 7701

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To Bernard Fuk
 Street and Apt. No., or PO Box No. 3333 Maybank Hwy
 City, State, ZIP+4® Johns Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7695

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To Mrs. Beth Hibbard Revocable Trust
 Street and Apt. No., or PO Box No. 3018 Seabrook Village Dr
 City, State, ZIP+4® Seabrook Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7688

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To Edward & Kimberly Palmer
 Street and Apt. No., or PO Box No. 15A Hazewood Drive
 City, State, ZIP+4® Cranberry Twp, PA 16068

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7654

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
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Total Postage and Fees	\$

Sent To Anthony & Wendy Walker
 Street and Apt. No., or PO Box No. 105 Drew Ave
 City, State, ZIP+4® Fert Mill, SC 29705

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To MHA Designs LLC
 Street and Apt. No., or PO Box No. 101 High Hammock Lk
 City, State, ZIP+4® Seabrook Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7657

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To Meluce & Kimberly Muentz
 Street and Apt. No., or PO Box No. 6415 Marquis Pt Cir Apt 201
 City, State, ZIP+4® Lake Wood Ranch FL 34202

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To Calmine Deppers Revocable Trust
 Street and Apt. No., or PO Box No. 200 Seabrook Island Rd
 City, State, ZIP+4® Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7633

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To SIOGA
 Street and Apt. No., or PO Box No. 1000 Londell Hwy
 City, State, ZIP+4® Seabrook Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 6025 7626

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

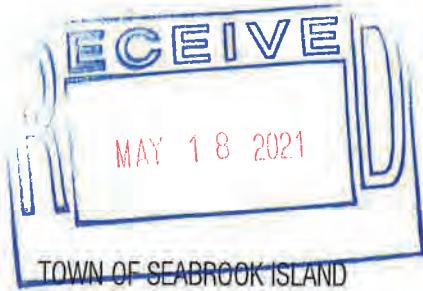
Sent To village of Seabrook POA
 Street and Apt. No., or PO Box No. 3690 Behrloch Rd 1-A
 City, State, ZIP+4® Johns Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad



TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455

Attn: Faye Albritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina

County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

(copy attached)

appeared in the issues of said newspaper on the following day(s):

05/13/21 Thu PC
05/13/21 Thu CNW

at a cost of \$262.42
Account# 108294
Order# 1939211
P.O. Number:

Subscribed and sworn to before me this 13th day of May 2021

[Signature]
advertising clerk



[Signature]
NOTARY PUBLIC, SC
My commission expires

TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on June 11, 2021. During the meeting, the Board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

APPLICATION # 173

APPLICANT: Paul & Jana Stoyanoff (Owners)

LOCATION:

2263 Seabrook Island Road
TAX MAP #: 147-00-00-151
ZONING DISTRICT: PUD / MF Multi-Family

CODE SECTION: Ord. 2020-01, Sec. 7 (Village at Seabrook PUD) - Uncovered front steps may extend into a front yard setback, but must be set back at least 20 feet from the street right-of-way; the minimum side yard setback shall be 7.5 feet from all side property lines

VARIANCE(S)

REQUESTED: To allow the front steps for a proposed single-family residence to encroach approximately 5.0 feet into the required 20-foot front yard setback and approximately 6.4 feet into the required 7.5-foot side yard setback

APPLICATION # 174

APPLICANT: Mark & Lynette Smith (Owners)

LOCATION: 3056 Seabrook Village Drive

TAX MAP #: 147-00-00-070
ZONING DISTRICT: PUD / MF Multi-Family

CODE SECTION: Ord. 2020-01, Sec. 7 (Village at Seabrook PUD) - The minimum rear yard setback requirement shall be 25 feet from the rear property line

VARIANCE(S)

REQUESTED: To allow a covered porch on a proposed single-family residence to encroach approximately 6.3 feet into the required 25-foot rear yard setback

Copies of the proposed variance requests may be viewed on the town's website at www.townofseabrookisland.org.

Participate in the Virtual Public Hearing:

Individuals who wish to participate in the virtual Public Hearing via Zoom may access the meeting as follows:

To join by computer, tablet or mobile device:

<https://us02web.zoom.us/j/82468933735?pwd=eFE4NHlHMnFVUjRlRkVlSjVVRrMTNKQT09>

To join by phone: Call (646) 558-8656. Please note that long distance rates may apply.

Meeting ID: 824 6893 3735
Passcode: 363592

Submit a Written Comment: Individuals who wish to submit a comment in advance of the Public Hearing may do so in writing by 12:00 pm on the day of the meeting using one of the following options:

ONLINE:

<https://www.townofseabrookisland.org>

EMAIL: jcronin@townofseabrookisland.org

MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

Watch Live Stream Video: The meeting will be live streamed on the town's YouTube channel beginning at 2:30 pm at <https://www.youtube.com/channel/UC1kF87kNEApHD1e0kGlaGZg>.

More Information: For more information, please call (843) 768-9121.



ATTACHMENT #15

Public Hearing Notice:
Property Posting



PUBLIC HEARING

Resoning Request Form: _____
Variance Request: **Yulee City**
Project Name: **Yulee Harbor 25-2017**

Hearing Date: **June 11, 2021** Time: **2:30 PM**

Location: **Yulee City Hall Boardroom 10000 Yulee Parkway, Yulee, FL 32203**

More information [Case #](#)
[179](#)



ATTACHMENT #16a

Correspondence from SIPOA ARC
(04-19-2021)



SEABROOK ISLAND
Property Owners Association

*1202 Landfall Way * Johns Island, SC 29455 * 843-725-1560 * kburrell@sipoa.org*

April 19, 2021

Joseph M. Cronin
Town Administrator
Town of Seabrook Island
2001 Seabrook Island Road
Seabrook Island, SC 29455

VIA email: jcronin@townofseabrookisland.org

Re: Block 58 Lots 12 – 3056 Seabrook Village Drive / New Construction Encroachment

Dear Mr. Cronin:

It is my understanding that a variance request has been submitted to the Town of Seabrook Island Board of Zoning Appeals relating to the proposed encroachment into the rear setback of this property. While the SIPOA ARC has not yet reviewed these plans, the ARC is aware of the owners' desire to construct a new residence on this property.

Please contact me if you need any additional information.

Very truly yours,

Katrina Burrell, CMCA, AMS
Director of Administration and Architectural Review

cc: M. Smith via email
The Village at Seabrook via email
B58 L12 – 3056 Seabrook Village Drive (Master File)