

TOWN OF SEABROOK ISLAND

Planning Commission Regular Meeting

April 3, 2019 – 1:30 PM

Town Hall, Council Chambers

2001 Seabrook Island Road



AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Regular Meeting: March 6, 2019 [Pages 2–4]
2. Special Called Meeting: March 20, 2019 [Pages 5–6]

OLD BUSINESS ITEMS

There are no Old Business Items

NEW BUSINESS ITEMS

1. Commercial Review: Seabrook Island Beach Club Improvements [Pages 7–75]

Request from the Seabrook Island Club to review and approve improvements to the Seabrook Island Beach Club pool and surrounding property at 3768-3772 Seabrook Island Road

ITEMS FOR INFORMATION / DISCUSSION

1. Comprehensive Plan Public Drop-In Meeting

Mon. April 15, 2019 (2:00 PM to 4:00 PM) at Seabrook Island Town Hall

ADJOURN

TOWN OF SEABROOK ISLAND

Planning Commission Regular Meeting

March 6, 2019 – 1:30 PM

Town Hall, Council Chambers
2001 Seabrook Island Road



MINUTES

Present: Robert Driscoll (Chair), Ken Otstot, Cathy Patterson, Wayne Billian, Stan Ullner, Joe Cronin (Town Administrator)

Absent: None

Guests: Heather Paton (SIPOA), Nicole Collins (Reliable Properties)

Chairman Driscoll called the meeting to order at 1:32 PM and welcomed everyone in attendance. Town Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting agenda was properly posted.

APPROVAL OF MINUTES

1. **Regular Meeting: February 6, 2019:** Mr. Otstot made a motion to approve the minutes from the February 6, 2019, meeting as submitted. Dr. Ullner seconded the motion. The motion was approved by a vote of 5-0.
2. **Regular Meeting: February 15, 2019:** Dr. Ullner made a motion to approve the minutes from the February 15, 2019, meeting as submitted. Mr. Otstot seconded the motion. The motion was approved by a vote of 5-0.

OLD BUSINESS ITEMS

There were no Old Business Items.

NEW BUSINESS ITEMS

1. **Multi-Family Review: Live Oak Villas (Pool Fence):** Chairman Driscoll provided a brief overview of the request, the purpose of which was to review and approve the replacement of an existing wooden fence surrounding the community pool at Live Oak Villas with a new fence made of black powder-coated aluminum. He noted that there would be no change to the fence's footprint and that this request was before the Planning Commission due to a change in material. Town Administrator Cronin stated that the town's fence ordinance was recently amended to include powder-coated aluminum as a permitted material for fencing. He added that the fence will meet all other requirements of the town's DSO.

Chairman Driscoll asked if the fence had been approved by SIPOA. Town Administrator Cronin stated that he had received verbal confirmation from ARC Administrator Katrina Burrell that the fence had received approval. Ms. Nicole Collins of Reliable Properties (applicant) provided a copy of the SIPOA's written approval.

Ms. Patterson asked the applicant if she knew the total number of linear feet which would be installed. Ms. Collins responded that the linear footage was not included on the bid documents and she wasn't sure of the total length off hand, but that it would be the same amount as the existing fence, which the new fence will replace.

Mr. Billian noted that a metal fence would have a different appearance than the existing fence, adding that the metal would be "shinier" than the existing material. Ms. Collins responded that the fence would be a powder coated aluminum, which would not have a glossy appearance.

There being no further discussion, Mr. Otstot made a motion to approve the request, as submitted. Ms. Patterson seconded the motion. The motion was approved by a vote of 5-0.

- 1. Temporary Use Permit: Dolphin Slam / Billfish Tournament:** Town Administrator Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation on a temporary use permit for the 2019 Bohicket Marina Governor's Invitational Billfish Tournament at Bohicket Marina. Town Administrator Cronin noted that the Billfish Tournament would be preceded by the marina's annual Dolphin Slam on April 27th. Though the Billfish Tournament was scheduled to take place between May 8th and 11th, the applicants were requesting permission to leave the stage and sponsor signage up between the two events, for a total of 16 days. Because the Dolphin Slam is a one-day event, a temporary use permit for that event may be approved administratively by the zoning administrator.

Town Administrator stated that staff recommended in favor of approving the request with the following condition: "For public safety and emergency access purposes, no vehicle parking shall be permitted on Seabrook Island Road or Andell Bluff Boulevard during the Billfish Tournament, with the exception of existing marked spaces."

Chairman Driscoll reminded members of the Planning Commission that their role was to provide a recommendation to Town Council on whether to grant the temporary use permit.

Ms. Patterson made a motion to recommend in favor of approving the temporary use permit, inclusive of the condition recommended by Town Administrator Cronin. Dr. Ullner seconded the motion. The motion was approved by a vote of 5-0.

ITEMS FOR INFORMATION / DISCUSSION

There were no Items for Information / Discussion.

Prior to beginning the Comprehensive Plan Workshop portion of the agenda, Town Administrator Cronin introduced Mr. Paul LeBlanc of PLB Planning Group. Town Administrator Cronin stated that he had previously worked with Mr. LeBlanc while he was the Planning Director in the Town of Fort Mill. The Town of Seabrook Island is currently in discussions with Mr. LeBlanc to undertake a comprehensive update to the town's Development Standards Ordinance. Mr. LeBlanc then briefly introduced himself to members of the Planning Commission.

COMPREHENSIVE PLAN WORKSHOP

1. **Review of Changes from February 15, 2019 meeting:** Mr. Dan Frazier from Charleston County reviewed the recommended changes to the Transportation and Land Use elements, which were previously discussed during the February 15, 2019 work session. Members of the Planning Commission and town staff provided comments on these updates. Mr. Frazier stated that members may continue to submit comments on these elements after the meeting.
2. **Review and Discussion of Comprehensive Plan Elements:** Members of the Planning Commission, town staff and county staff reviewed and provided comments on draft sections for the Economic Development and Priority Investment elements. County staff will incorporate all comments and suggestions into an updated version of these elements. The updated versions will be reviewed and discussed during a work session to be held later in March.
3. **Other Items for Discussion:** Town Administrator Cronin stated that an additional workshop will be needed to review final changes to the draft comprehensive plan. At that time, the Planning Commission will be asked to endorse the draft document and a meeting will then be scheduled for public review and comment on the draft document. Members of the Planning Commission set the date for this workshop as March 20, 2019 at 1:30 PM.

There being no further business, Chairman Driscoll asked for a motion to adjourn. Mr. Otstot made a motion to adjourn the meeting. Mr. Billian seconded the motion. The motion was approved by a vote of 5-0, and the meeting was adjourned at 4:25 PM.

Minutes Approved:



Joseph M. Cronin
Town Administrator

TOWN OF SEABROOK ISLAND

Planning Commission Special Called Meeting

March 20, 2019 – 1:30 PM

Town Hall, Conference Room
2001 Seabrook Island Road



MINUTES

Present: Ken Otstot, Wayne Billian, Cathy Patterson, Stan Ullner, Joe Cronin (Town Administrator)

Absent: Robert Driscoll (Chair)

Guests: Dan Frazier (Charleston County), Robin Lewis (Charleston County)

With Chairman Driscoll absent, Vice Chairman Otstot assumed the role as acting Chair. Vice Chairman Otstot called the meeting to order at 1:30 PM and welcomed everyone in attendance.

COMPREHENSIVE PLAN WORK SESSION

- 1. Review of Changes from February 15, 2019 meeting:** Mr. Dan Frazier from Charleston County reviewed the recommended changes to the Land Use, Economic Development and Priority Investment elements, which were previously discussed during the February 15, 2019, work session. Town Administrator Cronin discussed the future land use recommendations for properties located outside the town limits. Aside from a request to include Utility Commission projects in the Priority Investment element, there were no major comments or substantive amendments provided.
- 2. Endorsement of Draft Comprehensive Plan Elements:** Mr. Frazier provided Planning Commission members with the most up-to-date versions of all nine elements which have been reviewed, discussed and amended to date. If members of the Planning Commission had no additional comments or amendments, Town Administrator Cronin recommended that the Planning Commission endorse the draft plan and authorize its distribution for public review and comment.

Mr. Billian expressed concern about including references to the 2012 "Sense of Place" study in the Cultural Resources element. There was not a consensus among members regarding whether to include or strike these references. Mr. Billian made a motion to remove all references to the "Sense of Place" study from the draft comprehensive plan. Dr. Ullner seconded the motion. The motion was approved by a vote of 3-1, with Vice Chairman Otstot, Mr. Billian and Dr. Ullner in favor and Ms. Patterson opposed.

Mr. Billian then made a motion to give preliminary endorsement to the draft

comprehensive plan, as amended, subject to any additional comments which may be received from Chairman Driscoll. Dr. Ullner seconded the motion. The motion was approved by a vote of 3-1, with Vice Chairman Otstot, Mr. Billian and Dr. Ullner in favor and Ms. Patterson opposed.

3. **Discussion of Community Meeting Date, Time & Location:** Members of the Planning Commission discussed the schedule for receiving public comment on the draft comprehensive plan, as well as the time frame for the Planning Commission's final review and endorsement. Town Administrator Cronin recommended that the public drop-in meeting be held on Monday, April 15th, from 2:00 to 4:00 PM at Seabrook Island Town Hall. The draft plan would be posted on the town's website on or before April 1st, and residents would be invited to submit comments electronically or by attending the drop-in meeting on April 15th. Following the drop-in meeting, town and county staff will prepare a summary of the public comments and submit this information to the Planning Commission for review. The Planning Commission would then be asked to endorse the final version of the plan, inclusive of any subsequent amendments, during its regular meeting on May 1st. The plan would then be sent to Town Council for review and adoption.

There being no further business, Mr. Billian made a motion to adjourn the meeting. Dr. Ullner seconded the motion. The vote in favor was unanimous and the meeting was adjourned at approximately 3:48 PM.

Minutes Approved:



Joseph M. Cronin
Town Administrator



MEMORANDUM

TO: Planning Commission Members
FROM: Joseph M. Cronin, Town Administrator
SUBJECT: Commercial Plan Review: Seabrook Island Beach Club Improvements
MEETING DATE: April 3, 2019

The Planning Commission is asked to review and approve a request from the Seabrook Island Club to undertake improvements to the Seabrook Island Beach Club complex, located between 3768 and 3772 Seabrook Island Road (Tax Map # 147-05-00-085). The proposed improvements include:

- Demolition and reconstruction of the existing pool deck;
- Demolition and reconstruction of the larger of two existing pools;
- Construction of a new outdoor bar pavilion with trellis and corrugated metal roof;
- Renovation of the existing restroom building;
- Renovation of the existing towel building;
- Removal and replacement of existing wooden perimeter fencing and gate (6’);
- Removal and replacement of existing aluminum perimeter fencing and gate (4’);
- Construction of a new smooth concrete finish retaining wall with travertine cap (30” max);
- Installation of triangle shade sails;
- Installation of artificial turf;
- Removal of 19 existing palmetto trees; and
- Installation of new landscaping per the planting schedule shown on sheet L3.1.
- ***Note: See sheets L1.1-L1.4 of the attached plan set for a detailed list of proposed materials and finishes.***

The property is zoned CRO Commercial-Retail Office. While pools and recreational facilities are not expressly permitted by right within the CRO district, § 5.50.20 of the town’s Development Standards Ordinance (DSO) states:

“Any proposed commercial/retail office use not specifically allowed under the permitted uses set forth above may be allowed by the Planning Commission if it finds the proposed use satisfies the following criteria:

- (a) The proposed use complies with all applicable federal, state and local laws and ordinances.
- (b) Development plans for the proposed use minimizes potentially detrimental impacts to the site and surrounding areas and meet all buffer requirements.

- (c) The proposed use assumes safe and convenient ingress and egress from the property and internal circulation, including access of service and emergency vehicles and design of off-street parking and loading areas.
- (d) The proposed use provides safe location and orderly arrangement in the placement of all buildings and structures.
- (e) The proposed use minimizes environmental damage caused by the destruction of natural vegetation.
- (f) The proposed use takes all reasonable means of minimizing intrusions of noise, light, odor, dust and other similar noises into surrounding areas.
- (g) Lighting fixtures and sign placement shall not constitute a hazard to traffic.
- (h) The proposed size, scope and scale of the use requested shall be appropriate for the property upon which it is to be located and may not be inconsistent with the size, scope and scale of other adjoining areas and developments.”

A copy of the proposed site plan, building renderings and a detailed list of proposed materials are attached for review. A discussion regarding setbacks and other design criteria is included below.

Staff Recommendation

Article 14 of the town’s DSO outlines a two-part process for the review and approval of commercial site plans. Staff has completed a preliminary zoning review of the proposed improvements, and our comments and findings are outlined below. Additional items, particularly those related to proposed materials and colors, may warrant further review and discussion by the Planning Commission.

It is recommended that the review of these drawings during the April 3rd meeting be considered as the **Preliminary Site Plan Review**. Substantive changes which may be recommended by the Planning Commission during the Preliminary Site Plan Review may be incorporated into the plan set prior to **Final Site Plan Review**. If the Planning Commission is satisfied with the plans as submitted, the Planning Commission may elect to grant Preliminary and Final Site Plan approval, and thereby waive the requirement for an additional review.

Lot Coverage

§ 7.50.30. Commercial. Nonresidential structures, including accessory structures and associated parking areas, driveways, garages, carports, walks and roadways shall cover no more than sixty (60%) percent of the net buildable land area of a lot. For purposes of this section, net buildable land area shall constitute gross acreage less any required recreation areas and marsh/wetland areas.

- **The lot contains 3.33 net buildable acres. Upon completion, the total area of impervious coverage will be 1.51 acres, or 54%. The plans indicate that there will be no net increase from the existing lot coverage percentage. (OK)**

Setbacks

§ 5.50.40. Minimum Setback Requirements. Unless a greater setback is required to comply with buffer and landscaping requirements of this Ordinance, the following minimum setbacks shall be provided for all structures within the CRO district or subdistrict:

§ 5.50.40.10. Abutting streets or roads: 50 feet, except when any lot fronts on a regime-owned private drive or road, in which case such the lot shall have a front setback of thirty (30) feet from the front property line.

- **There are two existing structures which encroach into the 30-foot front yard setback: the towel building and a portion of an existing trellis.**
 - **The towel building is set back approximately 16 feet from the Seabrook Island Road right-of-way. Approximately two-thirds of the building encroaches into the front yard setback. The building may be renovated as long as the value of the renovation work does not exceed 50% of the current building's appraised value. The applicants have provided an appraisal which shows the current value of the building as \$35,912. The applicants have provided a construction estimate which shows the total cost of the renovation as \$17,900 (49.8%). As long as the value of the renovation does not exceed 50%, the existing building will not have to be modified to meet the front yard setback requirement. (OK)**
 - **The existing trellis is set back approximately 20 feet from the Seabrook Island Road right-of-way. The applicants had originally planned to replace the existing non-conforming trellis with a covered shade structure; however, if the non-conforming structure is removed, the replacement structure would need to meet the 30-foot front yard setback requirement, or the applicants would need to apply for and obtain a variance. The applicants have modified the plans to retain the existing trellis. (OK)**
- **All other proposed structures, including renovation to the existing restroom building, will meet or exceed the front setback requirement. (OK)**

§ 5.50.40.20. Side: 50 feet, except on interior lots of a common regime where the adjoining uses are similar in which case the side setback shall be 20 feet from the property line dividing adjoining lots, to be buffered and landscaped.

- **The proposed improvements will meet or exceed the minimum side yard setback requirement. (OK)**

§ 9.30.20. Minimum Setbacks. For all oceanfront and North Edisto River property, the minimum required setback from the ocean for any structure shall be the greater (most landward) of:

§ 9.30.21. The setback line mandated by the SC Coastal Tidelands and Wetlands Act of 1977 (State Code Sections 48-39-10 et seq.), as amended in 1988 and thereafter; and

§ 9.30.22. A line drawn parallel to the front (street side) property line and extending from the front property line the distance equal to seventy-five (75%) percent of the platted, average lot depth as measured from the front property line; and

§ 9.30.23. In no event shall construction be closer than (seaward of) thirty (30) feet landward from the landward edge of the primary dune or the dune formed by any existing revetment.

- **The proposed improvements will meet or exceed the minimum oceanfront setback requirements currently in place. (OK)**

Buffers & Landscaping

Sec. 10.30. - Buffering of Incompatible Land Uses.

- **The Beach Club property does not share a property line or otherwise abut property which is used for residential purposes. Therefore, no additional buffer will be required. There are no significant modifications proposed to the existing streetscape buffer along Seabrook Island Road. (OK)**

§ 10.40.20. Site Developments. As a condition of any development order issued for any property requiring site plan approval, there must exist or be planted on said property within one (1) year, a number of shade trees, in accordance with this Article, determined by the ratio of one (1) shade tree for each four thousand (4,000) square feet of gross lot area.

(a) Newly planted trees shall be located so as to ensure that the appropriate proportion of trees is planted within the developed area of the property.

(b) This requirement shall not be applicable within one thousand (1,000) feet of the South Carolina Coastal Council Ocean Critical Line, where palmetto trees will be substituted for shade trees.

- **Even with the removal of nearly 20 palmetto trees, the site plan will comply with all landscaping and tree requirements of the DSO. (OK)**

Fencing and Retaining Walls

§ 10.60.10(b). Walls must be made of stucco, cypress, pressure-treated wood, wood composite, brick, stone, architectural concrete masonry units (CMU), or similar materials.

- **The proposed retaining wall will be constructed with smooth concrete finish with travertine cap. (Concrete is not expressly listed as a permitted materials, but the Planning Commission has discretion to approve "similar materials." The commission's decision on whether**

concrete constitutes a “similar material” may establish precedent for future retaining walls.)

§ 10.60.10(b). Fences must be made of stucco, cypress, pressure-treated wood, wood composite, iron, powder coated aluminum, or similar materials. Barbed wire, concertina wire, razor wire, chain link, poultry wire and vinyl are strictly prohibited;

- **The applicants are proposing to replace the existing wooden fence and gate with new wooden fence and gate. The existing aluminum fence (black) will be replaced by new aluminum fencing (white). Assuming the aluminum fence will be powder coated, both materials are consistent with the DSO. (OK)**

§ 10.60.10(b). No wall or fence shall be taller than six (6) feet in height, measured from the finished elevation at its base to the highest point of the wall or fence; provided, however, the Planning Commission may allow a wall or fence to exceed six (6) feet in height when the wall or fence is used to screen a public building or storage yard, utility structures or equipment, or an approved outdoor storage area in a district zoned for agricultural, commercial, governmental, industrial, or parks and recreation uses.

- **The wooden fence will be 6 feet tall. The aluminum fence will be 4 feet tall. (OK)**

§ 10.60.10(l). The requirements of this section shall not apply to the repair, replacement or reconstruction of any wall or fence which was legally in existence as of the effective date of this ordinance. Any such wall or fence may be repaired, replaced or reconstructed, provided:

- a. The extent of any non-conforming element shall not be increased. For the purpose of this section, the term "element" shall include the design, materials, height and/or location of the existing fence;
 - **All proposed fencing will meet the side and rear setback requirements of the DSO. A portion of the wooden fence running along the Seabrook Island Road right-of-way encroaches into the front yard setback. The applicants are not proposing to increase any non-conforming element (design, materials, height or location). Therefore, this fence may be replaced in its non-conforming pre-existing location. (OK)**

Architecture & Materials

§ 14.20.20. The Planning Commission will review all plans submitted as to architectural compatibility with existing town structures and shall have approval over the architectural compatibility and harmonious development of all multi-family and commercial development, even that subject to critical review by an Architectural Review Board as a part of a duly constituted PD. This review shall apply to for property construction, reconstruction, remodeling, enlargement, rearrangement or maintenance of such property.

- **The proposed elevations, materials and colors are illustrated in the attached plan set. The Planning Commission shall have discretion to determine whether the proposed designs,**

materials and colors are architecturally “compatible” and “harmonious” with neighboring development. Photos of neighboring buildings are included for reference. While most elements appear to be consistent with neighboring buildings, staff would recommend that attention be paid to the proposed color scheme, as well as whether the proposed corrugated metal roof on the proposed bar pavilion to determine whether these elements are considered “compatible.” (Planning Commission Discretion)

Notwithstanding any questions related to architectural design, materials and colors, the proposed improvements meet or exceed the requirements of the town’s DSO. Therefore, staff recommends in favor of **APPROVAL**.

Approval of the architectural design, materials and colors shall be subject to the Planning Commission’s discretion.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "J. Cronin", written in a cursive style.

Joseph M. Cronin
Town Administrator

TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
Seabrook Island, SC 29455

843-768-9121 (phone)

843-768-9830 (fax)

ZONING PERMIT APPLICATION

Fee Schedule

Permit for New Construction, Single Family	\$100	Permit Extension	\$100
Permit for Remodeling, Addition, etc. Building, HVAC, Roofing, Plumbing, etc.	100	Record Plats - prices vary	
Permit for New Construction, Multi-Family	25		
Multiple Bldg Permit, Comm./Multi Family	250 + \$5 per unit		
	100		

Date: 2-26-19

TMS #: _____

Applicant's Name: Seabrook Island Club

Name of Business Contact: John Wilcox

Address: 3772 Seabrook Is. Road Phone: 843-364-3264

City: Seabrook Island State: SC Zip: 29455

Property Owner's Name: Seabrook Island Club

Address: Same Phone: _____

City: _____ State: _____ Zip: _____

Property Location Address: 3772 SIR

Lot: _____ Block: _____ Base Flood Elev. _____ Zone: _____

Purpose of Permit: To demo & renovate the pool area, including a new large pool, bar and concrete. work to be in the existing footprint.

Value of Construction: \$2.8 million est. POA Approval: _____

Applicant's Signature: John Wilcox

**This is an application only. The permit will be issued upon approval by the Town of Seabrook Island.

Town of Seabrook Island - Zoning Permit

Permit Date: 2/26/2019 Permit #, Town: 15586 License #: 20190457

Paid Date: 2/26/2019 App Fee: \$100.00 Cash: No Check #: 1192

Applicant Name: Seabrook Island Club- Maintenance Phone: 843-768-4946

Contact Name: Dwight Hartley

App Address1: 1002 Landfall Way

App Address2:

App City: Johns Island St: SC Zip: 29455

Property Owner: Seabrook Island Club Phone:

Owner Address1: 3772 Seabrook Island Road

Owner Address2:

Owner City: Seabrook Island St: SC Zip: 29455

TMS Number: Thru: Lot: Block:

Property Address: 3772 Seabrook Island Road

Purpose: Planning Commission Review

Work Value: \$2,800,000. Flood Elev: 13 Zone: AE

Architectural Review Board:

Comments: FOR REVIEW ONLY-----This is not a zoning permit.

Amendment:

This Zoning Permit is valid for six (6) months. The action for which this permit was obtained must be taken within that time period.

If this zoning permit is for issuance of a building permit, such building permit is valid for a period of one (1) year as described in the town code. Any extentions, alterations, or amendments must be approved in writing by the Town of Seabrook Island Zoning Administration.

I hereby certify that the above information and any plan or drawing submitted herewith are true and accurate indications of existing or proposed improvements to the above identified property.

Owner/Applicant's Signature

2/26/2019

Zoning Administrator

2/26/2019



Seabrook Island Beach Club

Parcel ID: 1490100082

ISLAND

OWNER1: COC CORPORATION

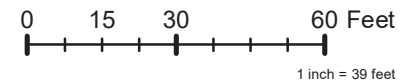
ACREAGE: 0.86

PLAT_BOOK_PAGE: AS-72

DEED_BOOK_PAGE: L212-151

Jurisdiction: TOWN OF SEABROOK

Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.



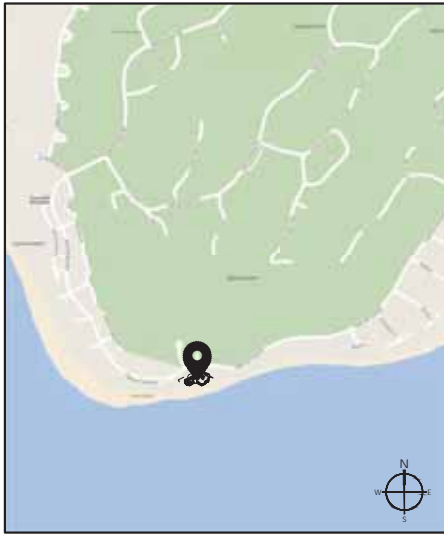
Author: Charleston County SC
Date: 3/29/2019

SEABROOK BEACH CLUB POOL RENOVATION

SEABROOK ISLAND, SOUTH CAROLINA

TMS# 147-05-00-085

SITE LOCATION MAP



SHEET INDEX	
C-1.0	TITLESHEET
V1-V4	TOPOGRAPHIC SURVEY
C-2.0	DEMO PLAN
C-3.0	SWPP PLAN AND DETAILS
C-3.1	SWPPP NOTES
C-4.0	GRADING AND DRAINAGE PLAN
C-4.1	STORM DRAINAGE DETAILS
L 0.0	ZONING - SETBACKS
L 0.1	ZONING - LOT COVERAGE
L 1.1	SHEET KEY & SITE PLAN
L 1.2	HARDSCAPE PLAN
L 1.3	HARDSCAPE PLAN
L 1.4	WAVE PROMENADE BLOW UP
L 2.1	DETAILS
L 2.2	DETAILS
L 3.0	OVERALL PLANTING PLAN
L 3.1	PLANTING PLAN
L 3.2	PLANTING PLAN
L 3.3	PLANT SCHEDULE & DETAILS



MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.884.1667
 SPARTANBURG, SC 864.298.0534
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM



SEABROOK BEACH CLUB POOL RENOVATION
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
 DRAWN BY:
 CHECKED BY:

REVISION HISTORY

NO.	DESCRIPTION

TITLESHEET

C-1.0

DRAWING LEGEND

OBJECTS AND SYMBOLS	EXISTING	NEW	OBJECTS AND SYMBOLS	EXISTING	NEW	ABBREVIATIONS	EXISTING	NEW
Adjoining Property Line	---	---	Benchmark	⊕	⊕	Sewer Easement	Ex. S.E.	S.E.
Centerline	---	---	Sanitary Sewer Manhole	⊕	⊕	Storm Easement	Ex. S.W.	S.W.
Easement	---	---	Sanitary Sewer Manhole D #	⊕	⊕	Drainage Easement	Ex. D.E.	D.E.
Setback	---	---	Sanitary Sewer Cleanout	⊕	⊕	General Utility Easement	Ex. G.U.E.	G.U.E.
Sanitary Sewer (Gravity)	ES	S	Double Sanitary Sewer Service (Residential Only)	⊕	⊕	Access Easement	Ex. A.E.	A.E.
Sanitary Sewer (Force Main)	EFM	FM	Single Sanitary Sewer Service (Residential Only)	⊕	⊕	Ingress/Egress Easement	Ex. I.E.E.	I.E.E.
Water Line	EW	W	TYPE 1 Storm Drainage Structure	□	□	Pond Maintenance Easement	Ex. P.M.E.	P.M.E.
Curb & Gutter (Straight)	---	---	TYPE 16 Storm Drainage Structure	□	□	Water Surface Elevation	Ex. W.S.E.	W.S.E.
Curb & Gutter (Ramp)	---	---	TYPE 17 Storm Drainage Structure (P/GR)	□	□	Polyvinyl Chloride Pipe	Ex. PVC	PVC
Storm Drain	ED	RD	TYPE 17 Storm Drainage Structure (L/RI)	□	□	Reinforced Concrete Pipe	Ex. RCP	RCP
Road Drain	RD	RD	TYPE 18 Storm Drainage Structure	□	□	High Density Polyethylene Polypropylene Pipe	Ex. HDPE	HDPE
Subsurface Drainage	UD	UD	Catch Basin	□	□	Ductile Iron Pipe	Ex. DIP	DIP
Oil Fence, Standard	ESF	SF	Catch Box	□	□	Corrugated Metal Pipe	Ex. CMP	CMP
Oil Fence, Reinforced	ERSF	RSF	Isolation Box	□	□	Home Owner's Association	Ex. HOA	HOA
Phase Line	---	---	Storm Drainage Junction Structure	□	□	Property Owners Association	Ex. POA	POA
Watermark Limit	---	---	Isolation Box	□	□			
Flood Zone	---	---	Storm Drainage Structure D #	□	□			
Conduit	EC	C	Telephone Box	⊕	⊕			
Isolated Gas	ECG	C	Telephone Manhole	⊕	⊕			
Overhead Electrical	EP	P	Electrical Box	⊕	⊕			
Underground Electrical	EUP	UP	Electrical Manhole	⊕	⊕			
Underground Telephone	ET	T	Power Pole	⊕	⊕			
Underground Cable	ETV	TV	Light Pole	⊕	⊕			
Underground Fiber Optic	EFO	FO	Fire Hydrant Assembly	⊕	⊕			
Fence	X	O	Water Blowoff	⊕	⊕			
Elevation Contour	---	---	Water Line Valve	⊕	⊕			
Retainer Wall (Enclosed Retainer)	---	---	Single Water Service (Residential Only)	⊕	⊕			
			Double Water Service (Residential Only)	⊕	⊕			
			Sign	⊕	⊕			
			ADA Accessible Parking Space	⊕	⊕			
			Open Driveway	⊕	⊕			
			Watered Area	⊕	⊕			
			Detail D #	⊕	⊕			
			Keynote	⊕	⊕			
			Retention D #	⊕	⊕			

GENERAL NOTES

- ALL TOPOGRAPHIC INFORMATION, UTILITY LOCATIONS, AND ELEVATIONS ARE BASED ON THE TOPOGRAPHIC SURVEY PROVIDED BY A.H. SCHWACKE & ASSOCIATES, DATED MARCH 16, 2018.
- ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.
- THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK AND EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

PROJECT DESCRIPTION

THIS PROJECT IS FOR THE RENOVATION OF AN EXISTING SWIMMING POOL FACILITY AT THE SEABROOK ISLAND BEACH CLUB. THE PROPERTY IS LOCATED ON A 3.27 ACRE LOT ON SEABROOK ISLAND ROAD IN SEABROOK ISLAND, SC. THE TRACT AS IT EXISTS IS CURRENTLY AN OPERATIONAL AMENITY FOR SEABROOK ISLAND CLUB.

TOTAL SITE ACREAGE = 3.27 ACRES
 TOTAL DISTURBED ACREAGE = 0.9 ACRES

PROPERTY INFORMATION

TMS# 145-05-00-085
 FLOOD ZONE
 ZONE AE (EL. 13/14) SCALED FROM THE FEMA FLOOD MAP FIRM COMMUNITY PANEL #45019C0795J, REVISED NOVEMBER 17, 2004



EXISTING UTILITY NOTE:
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

PROJECT CONTACTS

OWNER/DEVELOPER:
 SEABROOK ISLAND CLUB
 3772 SEABROOK ISLAND RD.
 SEABROOK ISLAND, SC 29455
 CONTACT: CALEB ELLEDGE
 PHONE: 843-765-2500

CIVIL ENGINEER:
 SEAMON WHITESIDE & ASSOCIATES
 501 WANDO PARK BLVD., SUITE 200
 MOUNT PLEASANT, SC 29464
 CONTACT: TROY LITTLE, PE
 PHONE: 843-884-1667

LANDSCAPE ARCHITECT:
 SEAMON WHITESIDE & ASSOCIATES
 501 WANDO PARK BLVD., SUITE 200
 MOUNT PLEASANT, SC 29464
 CONTACT: MARY MARTINICH, PLA
 PHONE: 843-884-1667

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Since 1987



A.H. SCHWACKE & ASSOCIATES

LAND SURVEYING & CONSTRUCTION LAYOUT

1875 FRANKLIN AVE. PH. 843-782-7000 FAX 843-782-0108
P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29413-3077

DATE	REVISION	BY	REASON
10/12/17	1	CS	ISSUE FOR PERMITS

REFERENCE:

PLAN BY JAMES WILLIAMS, II
DATED APRIL 15, 1988
BOOK 80 PAGE 123
REC. DATE 02

PLAN BY CHARLES S. WOODS, II
DATED JULY 27, 2004
BOOK 01 PAGE 518
REC. DATE 03

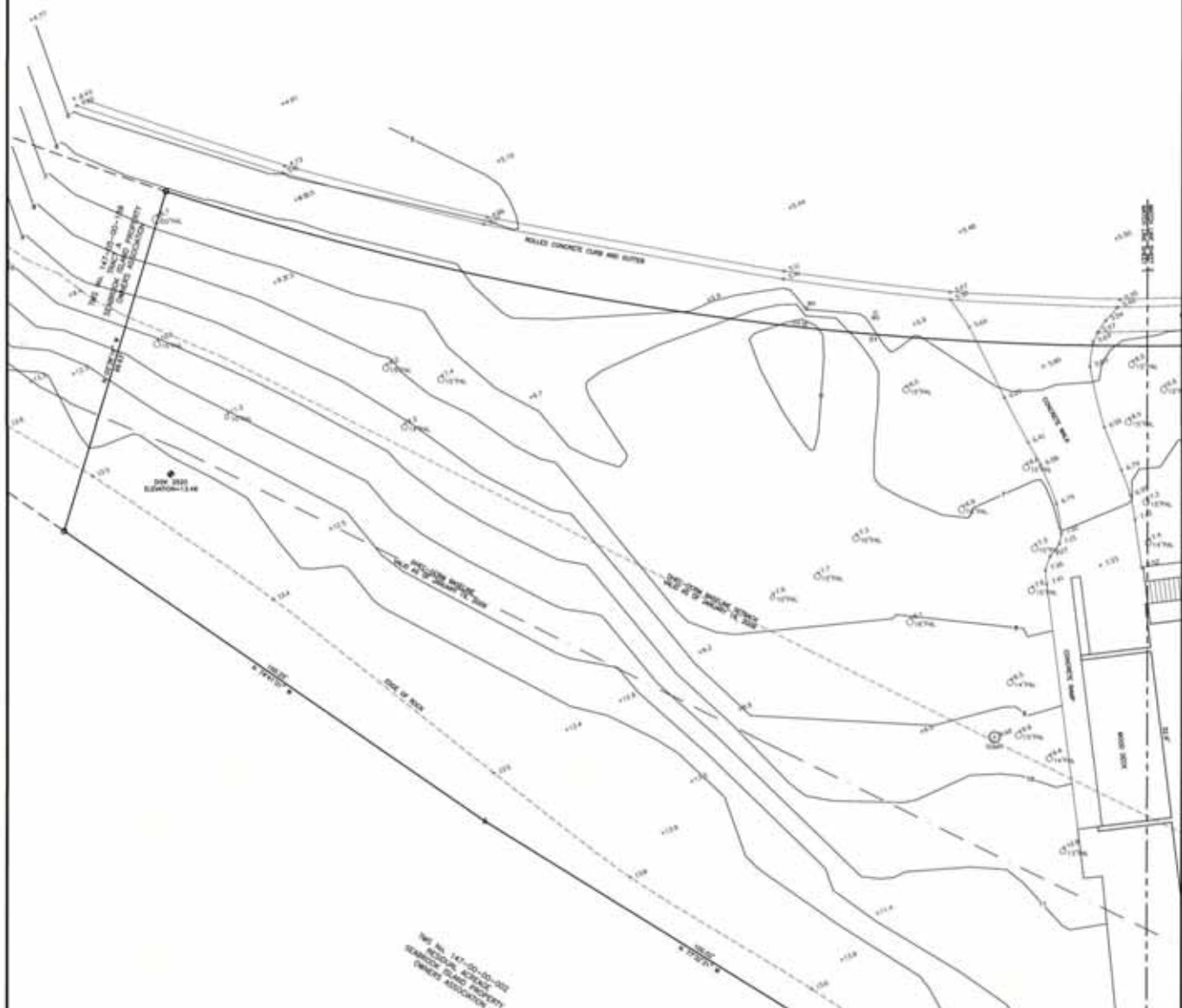
PLAN BY E. W. SEABROOK, JR.
DATED JULY 22, 1957
BOOK 40 PAGE 478
REC. DATE 02

T&E MAP NO. 147-00-00-089
PL. 2711 SEABROOK ISLAND ROAD

Current Owner: THE CLUB AT SEABROOK ISLAND
Requested by: FINE MENSORS
MEADOWS FIELDS AND SPA

LEGEND:

UA	IRON OLD (PULVER)
UB	IRON NEW (CUT)
240	CONCRETE FOUNDATION CURB
CL	CONCRETE CURB INLET
CLB	ELECTRIC BOX
CLV	LAND AND ELECTRIC BOX
CLM	CONCRETE MOUNTAIN WRENHOLE
W	WELLS
WV	WELL VENT
PI	PIPE INLET
PII	PIPE INLET
11.4	SPOT ELEVATION (DASH) (M)



NOTES:

BOUNDARY SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY CONVENTION METHOD.

ELEVATIONS ARE BASED ON MAND 28 DATUM.

THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN ON THIS PLAN IS THE CURRENT BOUNDARY OF THIS PROPERTY AS THE SURVEYOR HAS DETERMINED.

THE REQUIRED SETBACKS MAY BE ADJUSTED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESIDES THE RIGHT TO VARY UNANNOUNCED RESPECTING SETBACK DISTANCES AND/OR TO ADJUST THE "TRAILHEAD" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SURVEILLANCE OR ENVIRONMENTAL INVESTIGATION OR STUDIES WERE PERFORMED FOR THIS PLAN. THEREFORE THIS PLAN DOES NOT REFLECT THE EXISTENCE OR NON-EXISTENCE OF WETLANDS CONTAMINATION OR OTHER ADVERSE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

TREES LABELED GENERAL TYPES WITH DIAMETER SIZE SHOWN IN INCHES. AN ABSENCE OF LANDSCAPE ARCHITECT SHOULD BE CONSULTED IF SPECIFIC WETLANDS OR OTHER WETLANDS ARE NEEDED.

CURRENT FLOOD MAPS (FIRM NO. 17) AND AS (20, 147) IN PER FIRM FLOOD MAPS. MAP NO. 45218C-0108A DATED NOVEMBER 11, 2004 COMMUNITY NO. 45002A

FUTURE FIRM FLOOD MAPS (FIRM NO. 17) AND AS (20, 147) IN PER FIRM FLOOD MAPS. MAP NO. 45218C-0108B DATED SEPTEMBER 8, 2018 COMMUNITY NO. 45002A

MAP NO. 147-00-00-089
SEABROOK ISLAND ROAD
FINE MENSORS FIELDS AND SPA

SURVEYOR'S CERTIFICATION

I hereby certify that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Department of Public Safety for Surveying in South Carolina, and that it complies with the requirements for a Class A Survey as specified therein. Also there are no existing encroachments or other items shown.

CEVA W. SCHWACKE, SR. PLS
S.C. Registration Number 3949

CERTIFICATIONS ARE NOT TRANSFERABLE TO ANY OTHER INSTRUMENTS OR SUBSEQUENT SURVEYS.
THIS PLAN IS COMPUTERIZED AND IS INTENDED ONLY FOR THE SURVEYOR'S PERSONAL USE. THIS PLAN REPRESENTS A SURVEY BASED ON THE DATA REFERENCED ONLY AND IS NOT THE RESULT OF A TITLE SEARCH. CONVEYANCES SHOWN ARE SUBJECT TO RECORD.



TREE AND TOPOGRAPHIC SURVEY
OF CABANA CLUD SITE
TOWN OF SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: MARCH 18, 2018 SCALE: 1" = 10'
SHEET 1 OF 4

Since 1997



A.H. SCHWACKE & ASSOCIATES

LAND SURVEYING & CONSTRUCTION LAYOUT
1975 FRANKLIN AVE. #104 843-762-1008 FAX 843-762-0108
P.O. BOX 13077, CHARLOTTE, SOUTH CAROLINA 28242-3077

DATE	BY	REVISION	DESCRIPTION
07/27/09	AS	1	ISSUE FOR PERMITS
07/27/09	AS	2	REVISED PER PERMITS

REFERENCE:

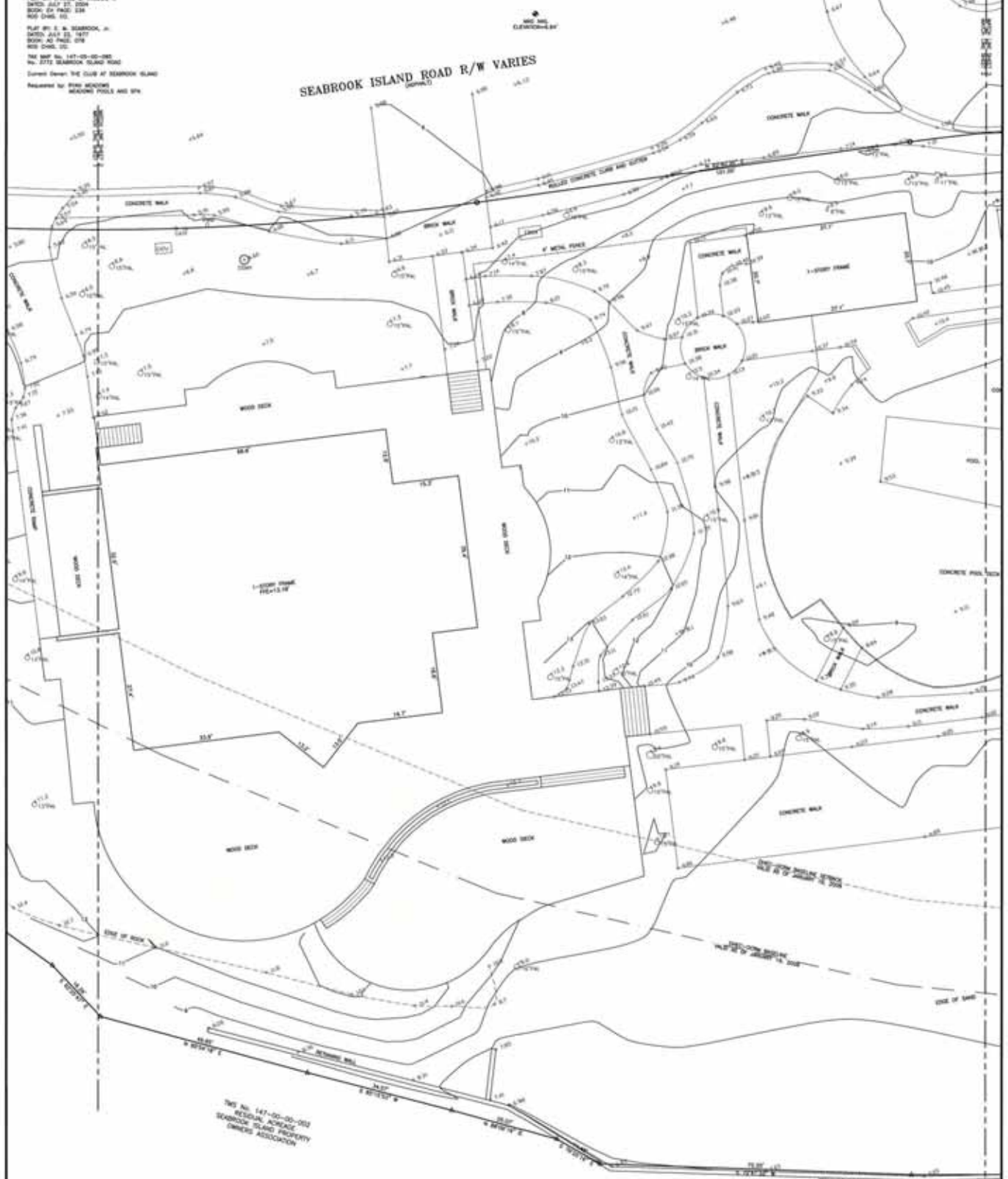
PLAN BY JAMES WILLIAMS II
DATED APRIL 6, 1999
BOOK 80 PAGE 123
NOE CHAL. 02

PLAN BY CHARLES S. HERRICK II
DATED JULY 27, 2004
BOOK 04 PAGE 238
NOE CHAL. 02

PLAN BY E. W. SEABROOK, JR.
DATED JULY 23, 1977
BOOK 40 PAGE 058
NOE CHAL. 02

NOE MAP NO. 147-00-00-002
NO. 2772 SEABROOK ISLAND ROAD
Corner Corner: THE CLUB AT SEABROOK ISLAND
Required for: FIRM RECORDS
MEASURING TOOLS AND GPS

- LEGEND:**
- 1-14 NON OLD FOUND
 - 1-15 NON NEW FOUND
 - 1-16 CONCRETE REINFORCEMENT BAR
 - 1-17 CONCRETE WALL
 - 1-18 CONCRETE CURB AND GUTTER
 - 1-19 CONCRETE DRIVE AND DRIVEWAY
 - 1-20 CONCRETE DRIVE AND DRIVEWAY
 - 1-21 CONCRETE DRIVE AND DRIVEWAY
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 - 1-99 CONCRETE DRIVE AND DRIVEWAY
 - 1-100 CONCRETE DRIVE AND DRIVEWAY



NOTES:

BOUNDARIES SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY COORDINATE METHOD.

ELEVATIONS ARE BASED ON NAVD 83 DATUM.

THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED AND ARE NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAN IS FOR INFORMATION PURPOSES ONLY.

THE REQUIRED RECORDS MAY BE RETAINED AND/OR SHOWN BY THE SURVEYOR AND ARCHITECT/ENGINEER, HOWEVER, THE ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED RECORDS. ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON NAVD 83 DATUM.

THE RECORDS OR RECORDS OF U.S. NAVY COPIES OF ENGINEER SURVEYING, ENCLOSED IS UNRECORDED AS OF THE DATE OF THIS SURVEY.

NO SUBSEQUENT OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAN. THEREFORE, THIS PLAN DOES NOT REFLECT THE EXISTENCE OR NON-EXISTENCE OF INCLUDES (CONTAMINATION BY OTHER MATERIALS) CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

TREE LABELLED SIGNAL TYPES WITH DIAMETER ARE SHOWN BY MODEL AN APPROXIMATE OR LANDSCAPE ARCHITECT SHOULD BE CONSULTED BY SPECIFIC WALKS OR OTHER SIGNALS ARE NEEDED.

CURRENT FEMA FLOOD MAPS (ZONE 0) PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE 0 (0) (1) AND AT (2), (3), (4) AS PER FEMA FLOOD MAPS DATED NOVEMBER 17, 2004. CONSULT THE USACE.

PROVISIONAL FEMA FLOOD MAPS (ZONE 0) PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE 0 (0) (1) AS PER PROVISIONAL FEMA FLOOD MAPS DATED NOVEMBER 17, 2004. CONSULT THE USACE.

* IMPACTS SHOULD BE VERIFIED FROM TO BEHIND OR DETERMINED BY CONSULTING ARCHITECT.

SURVEYOR'S CERTIFICATION

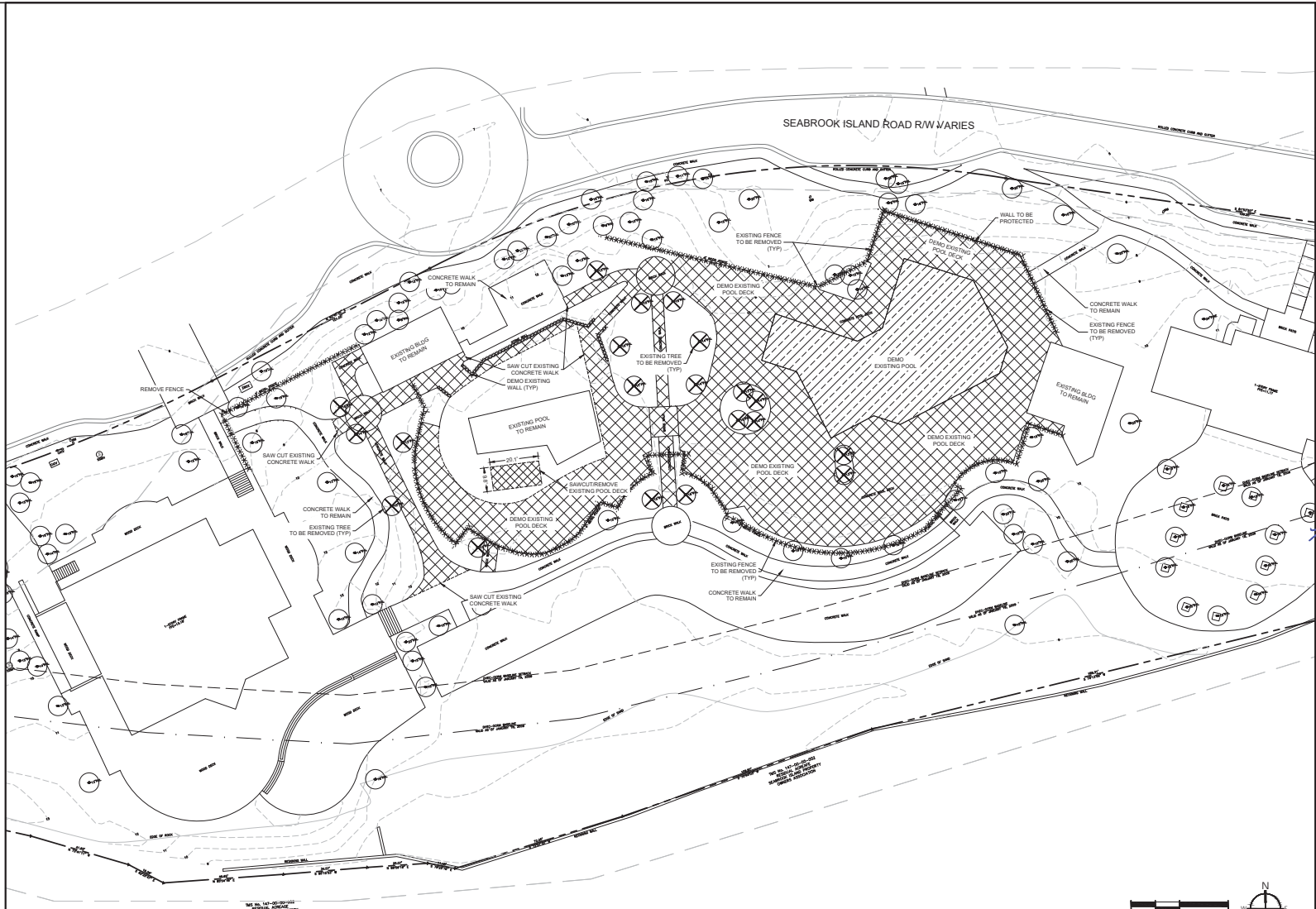
I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Statutes of Practice Manual for Surveying in South Carolina, and that it is a true and correct copy of the original survey as shown on the attached sheets. Also that there are no visible encroachments or projections upon this survey.

EVAN W. SCHWACKE, D.S. P.L.S.
S.C. Registration Number 36448

TITLE AND TOPOGRAPHIC SURVEY OF CABANA CLUB SITE TOWN OF SEABROOK ISLAND CHARLESTON COUNTY, SOUTH CAROLINA

DATE: MARCH 16, 2010 SCALE: 1" = 10'
SHEET 2 OF 4





DEMOLITION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL ITEMS (INCLUDING LOCATION, ELEVATION, ETC.) TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING AND WALKING THE SITE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL UTILITY PROVIDERS TO DETERMINE THE ASBUILT/FIELD LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS WITH UTILITIES.
3. THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SALVAGE. ANY ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION AND REMAIN IN PLACE UNTIL FINAL STABILIZATION AND COMPLETION OF CONSTRUCTION.
5. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
6. DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.
7. ANY PAVEMENT, CURB AND GUTTER, SIDEWALKS TO BE SAW CUT WITH A CLEAN EDGE AND APPROPRIATE MATERIAL SHALL BE USED BETWEEN NEW AND EXISTING SURFACES.
8. ALL PIPES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL & SEALED WATER TIGHT.

DEMO LEGEND

	EXISTING TREE TO BE REMOVED
	DEMOLISH EXISTING SITE FEATURE
	DEMO EXISTING CONCRETE SIDEWALK/POOL DECK
	DEMO EXISTING POOL
	CONCRETE SAWCUT LINE



EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SEAMON WHITESIDE & ASSOCIATES, INC.
 MOUNT PLEASANT, SC 29568-1967
 GREENVILLE, SC 29615-0534
 SUMMERVILLE, SC 29586-1967
 SPARTANBURG, SC 29583-0534
 CHARLOTTE, NC 28203-5450
 WWW.SWWHITESIDE.COM



**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
 DRAWN BY: TLL
 CHECKED BY: RPF

REVISION HISTORY

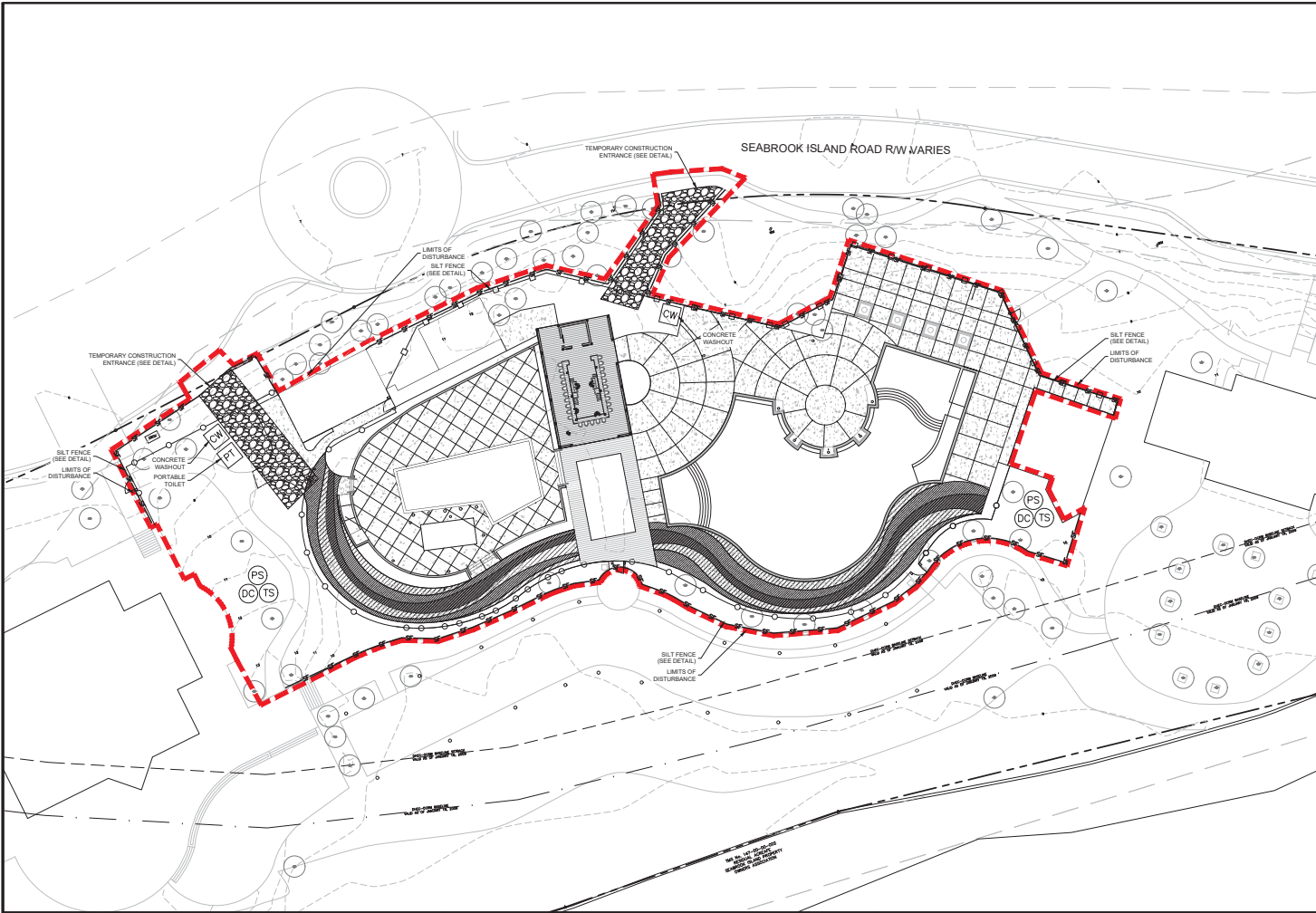
NO.	DESCRIPTION

DEMO PLAN

THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.

601 HANCOCK PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | 803.912.5450 | SEAMON WHITESES & ASSOCIATES, INC.

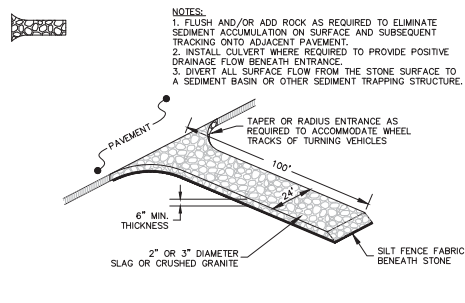
COPYRIGHT © SEAMON WHITESES & ASSOCIATES, INC.



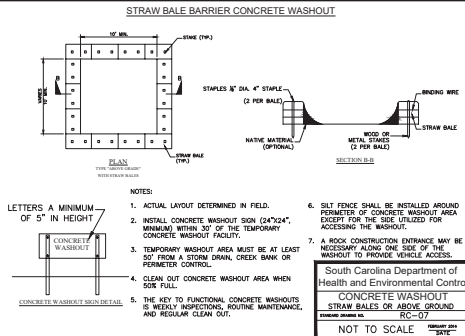
SWPP PLAN LEGEND			
Turf Reinforcement Mat (See Turf and Grasses Species)	TR	Concrete Washout Basin (See Detail)	CW
Sodding (See Turf and Grasses Species)	S	Block & Stone Inlet Protection (See Detail)	[Symbol]
Surface Roughening (Surface Tracking/Slair Stepping-See Detail)	SR	Temp. Sediment Control Tube (See Tube)	[Symbol]
Temporary Seeding (See Schedule in EC Notes)	TS	Temp. Rock Dish Checks (See Detail)	[Symbol]
Permanent Seeding (See Turf and Grasses Species)	PS	Turf Reinforcement Mat Outlet Protection (See Detail and Turf and Grasses Species)	[Symbol]
Mulching (See Turf and Grasses Species)	M	Filter Fabric Inlet Protection (See Detail)	[Symbol]
Typical Lot Erosion Control Plan (See Detail)	LE	Temp. Curb Inlet Weep Filter (See Detail)	[Symbol]
Flexible Growth Medium (See Turf and Grasses Species)	FG	Curb Inlet Sediment Filter (See Detail)	[Symbol]
Erosion Control Blanket (See Turf and Grasses Species)	EC	Both Curb Inlet Filters (See Above)	[Symbol]
Dust Control (See Turf and Grasses Species)	DC	Construction Entrance (See Detail)	[Symbol]
Banded Fiber Matrix (See Turf and Grasses Species)	BF	Silt Fence	SF
Limits of Disturbance	[Symbol]	Reinforced Silt Fence	RSF

FINAL STABILIZATION NOTE:
 CONTRACTOR SHALL PROVIDE PERMANENT FINAL STABILIZATION IN ACCORDANCE WITH THE NPDES CONSTRUCTION GENERAL PERMIT. REFER TO LANDSCAPE PLANS FOR FINAL PLANTINGS, SOG AND GROUND COVERS. ALL DISTURBED AREAS NOT EXPLICITLY SHOWN IN LANDSCAPE PLAN SHALL BE SEEDING IN ACCORDANCE WITH THE STABILIZATION NOTES FOUND ON SHEET C-2.4.

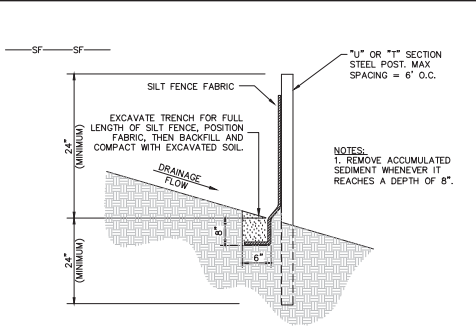
TOTAL SITE ACREAGE	3.27 ACRES
DISTURBED ACREAGE	0.90 ACRES



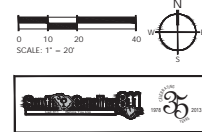
1 TEMPORARY PROJECT CONSTRUCTION ENTRANCE
(NOT TO SCALE)



2 CONCRETE WASHOUT
(NOT TO SCALE)



3 SILT FENCE
(NOT TO SCALE)



EXISTING UTILITY NOTE:
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



MOUNT PLEASANT, SC 843.884.1967
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.884.1967
 SPARTANBURG, SC 864.298.0534
 CHARLOTTE, NC 980.312.5450
 www.seamonwhiteses.com



SEABROOK BEACH CLUB POOL RENOVATION
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
 DRAWN BY: TLL
 CHECKED BY: RPF

REVISION HISTORY

SWPP PLAN AND DETAILS

THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER, OR USED FOR ANY PURPOSE, WITHOUT IT WRITTEN PERMISSION.

50 VANDORF ROAD, GREENVILLE, SOUTH CAROLINA 29646 | 803 881-1967 | WWW.SEAMONWHITE.COM | 2021

SEAMON WHITE ASSOCIATES, INC.

2. DRAINAGE FACILITIES MAINTENANCE PLAN

- 1. TEMPORARY STORMWATER AND SEDIMENT CONTROLS (SSCs):**
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:
- I. DURING CONSTRUCTION (UNTIL FINAL APPROVAL BY THE AUTHORITIES HAVING JURISDICTION AND THE OWNER), REMOVAL OF ALL TEMPORARY SSCs:
 - (1) DAILY:
 - (A) OBSERVING PAVED AREAS THAT ARE UTILIZED FOR SITE ACCESS TO LOOK FOR SIGNS OF SOIL BEING TRACKED FROM THE SITE AND TAKING CORRECTIVE ACTION AS NECESSARY (SEE NOTE #6 UNDER "STORMWATER AND SEDIMENT CONTROL").
 - (B) CORRECTING THE ENTIRE SITE TO SSCs AS SOON AS POSSIBLE WHEN IT OCCURS.
 - (2) WEEKLY (SEE NOTE #8 UNDER "STORMWATER AND SEDIMENT CONTROL"- CONTRACTOR SHALL COORDINATE WITH ENGINEER TO CONFIRM THAT ARRANGEMENTS ARE IN PLACE FOR REGIONAL INSPECTIONS AND LOG MANAGEMENT).
 - (3) INSPECTING SSCs FOR DAMAGE AND ACCUMULATED SEDIMENT, REMOVING SEDIMENT AND REPAIRING OR REPLACING DAMAGED SSCs AS NECESSARY.
 - (4) EVALUATING PERFORMANCE AND AMENDING, MODIFYING, IMPROVING, OR RELOCATING SSCs AS NECESSARY.
 - (5) LOGGING INSPECTION OBSERVATIONS, RECOMMENDATIONS, REPAIRS, RELOCATIONS, AMENDMENTS, AND IMPROVEMENTS AS NECESSARY.
 - (6) BI-WEEKLY:
 - (A) EVALUATING SITE AND INSTALLING PERMANENT LANDSCAPING OR TEMPORARY SEEDING AS NECESSARY.
 - (B) AT COMPLETION OF CONSTRUCTION UPON FINAL APPROVAL BY AUTHORITIES HAVING JURISDICTION AND THE OWNER, REMOVAL OF ALL TEMPORARY SSCs.

2. PONDS AND/OR DETENTION BASINS AND DITCHES

- A. DURING CONSTRUCTION (UNTIL FINAL APPROVAL BY THE AUTHORITIES HAVING JURISDICTION AND THE OWNER):
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:
 - (1) REMOVING ACCUMULATED SEDIMENT.
 - (2) MAINTAINING POND AND DITCH BASINS INCLUDING PREVENTION AND REPAIR OF SLOPE EROSION.
 - (3) MAINTAINING AND MAINTAINING TEMPORARY AND PERMANENT STABILIZATION (LANDSCAPING AND/OR GRASS AS INDICATED ON THE PLANS).
 - II. AFTER CONSTRUCTION:
 - (A) THE OWNER OR HIS ASSIGNS SHALL BE RESPONSIBLE FOR PERPETUAL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:
 - (1) MONTHLY (BI-WEEKLY DURING GROWING SEASON):
 - (A) AESTHETIC MAINTENANCE OF THE POND BANKS, POND INTERNAL DITCHES AND SURROUNDING COMMON AREAS INCLUDING MOWING, LANDSCAPE MAINTENANCE, AND REMOVAL OF TRASH AND DEBRIS.
 - (B) EVERY 6 MONTHS:
 - (A) INSPECTION OF THE POND(S) AND ASSOCIATED OUTLET STRUCTURE(S) AND DITCHES.
 - (B) REMOVAL OF ANY BLOCKAGES AND ACCUMULATED DEBRIS AT THE OUTLET STRUCTURE(S).
 - (C) REPAIR AND STABILIZATION OF ANY BANK EROSION.
 - (D) REPAIR OR REPLACEMENT OF ANY DAMAGE TO THE OUTLET STRUCTURE(S).
 - (C) EVERY 12 MONTHS:
 - (A) TREATMENT, AS NECESSARY, FOR AQUATIC WEED CONTROL.
 - (B) EVERY 5 YEARS:
 - (A) INSPECTION OF SEDIMENT COLLECTION AND WHEN NECESSARY, REMOVAL AND PROPER DISPOSAL OF ACCUMULATED SEDIMENT. REMOVAL OF COLLECTED SEDIMENT IS NECESSARY WHEN THE DRAINAGE FLOW OF INLET/OUTLET PIPES OR STRUCTURES ARE IMPAIRED AND/OR DETENTION STORAGE CAPACITY IS REDUCED FROM THE ORIGINAL DESIGN PARAMETERS.
 - (B) MORE FREQUENT REMOVAL OF COLLECTED SEDIMENT MAY BE NECESSARY WHEN CONDITIONS REQUIRE.
 - (2) THE OWNER OR HIS ASSIGNS SHALL BE RESPONSIBLE FOR COORDINATING WITH THE MSA OPERATOR TO INSURE COMPLIANCE WITH OTHER INSPECTION PROCEDURES AND/OR DOCUMENTATION.

3. DRAINAGE CULVERTS AND STRUCTURES

- A. DURING CONSTRUCTION (UNTIL FINAL APPROVAL BY THE AUTHORITIES HAVING JURISDICTION AND THE OWNER):
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:
 - (1) PROTECTING THE CULVERTS AND STRUCTURES FROM DAMAGE.
 - (2) PREVENTING SEDIMENT FROM ENTERING THE CULVERTS AND STRUCTURES.
 - (3) REPAIR OF ANY DAMAGE AND REMOVAL OF SEDIMENT AS SOON AS POSSIBLE AFTER IT OCCURS.
 - II. AFTER CONSTRUCTION:
 - I. FOR PUBLIC ROADWAY AND EASEMENT AREAS, THESE AREAS WILL BE DEDICATED TO AN OPERATING GOVERNMENTAL AUTHORITY UPON COMPLETION AND THAT AUTHORITY WILL PERFORM MAINTENANCE.
 - II. FOR PRIVATE PROPERTY AREAS, THE OWNER OR HIS ASSIGNS WILL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY.

TEMPORARY BUFFER ZONE MANAGEMENT AND SURFACE WATER PROTECTION

- TEMPORARY (CONSTRUCTION) BUFFERS ARE NOT TO BE CONFUSED WITH PERMANENT BUFFERS THAT MAY BE SHOWN ELSEWHERE IN THE CONSTRUCTION PLANS. EXERCISE CARE TO DIFFERENTIATE BETWEEN TEMPORARY AND PERMANENT BUFFERS AND THEIR ASSOCIATED REQUIREMENTS.
- ALL PERIMETER AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED PRIOR TO THE DISCHARGE OF STORMWATER RUNOFF INTO THE ADJACENT SURFACE WATERS AND THEIR ASSOCIATED REQUIREMENTS.
- AREAS CONTRIBUTING DIRECT RUNOFF TO TEMPORARY BUFFER AREAS SHALL BE STABILIZED PRIOR TO COMMENCING WORK WITHIN THE TEMPORARY BUFFER AREA.
- ONCE CONSTRUCTION WITHIN AND ADJACENT TO TEMPORARY BUFFER AREAS IS COMPLETED, THE AREAS SHALL BE STABILIZED AS SOON AS PRACTICAL.
- IN THE EVENT A BUFFER IS ACCIDENTALLY DISTURBED, THE CONTRACTOR SHALL STABILIZE THE AREA AS SOON AS POSSIBLE AND THE ENGINEER REGARDING REMEDIAL MEASURES OR EROSION CONTROL MEASURES.
- NO DISTURBANCE SHALL OCCUR WITHIN CRITICAL AREAS (IE. SALT WATER MARSH).
- PERMANENT SEEDING TO BE USED WHERE PERMANENT TURF AND/OR STABILIZATION IS INDICATED ON PLANS AND/OR DETAILS, UNLESS OTHERWISE DEFINED ON THE PLANS, ALL AREAS DISTURBED MUST BE STABILIZED.
- IN PARTICULAR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
1. ESTABLISH A UNIFORM PERENNIAL STAND OF VEGETATION WITH A ROOT SYSTEM THAT IS SUFFICIENTLY DEVELOPED TO SURVIVE DRY CONDITIONS AND WINTER WEATHER AND BE CAPABLE OF RE-ESTABLISHMENT IN THE SPRING.
 2. PROVIDE MINIMUM UNIFORM DENSITY COVERING OF 70% THROUGHOUT THE SEEDING AREA, IN ACCORDANCE WITH THE DEFINITION OF "FINAL STABILIZATION" AS DEFINED IN THE SCDCHE NPDES GENERAL PERMIT.
 3. MAINTAIN A STAND OF VEGETATION INCLUDING MOWING, FERTILIZING, WEED, DISEASE AND INSECT CONTROL, AND WATERING AS NECESSARY, UNTIL FINAL ACCEPTANCE BY THE OWNER AND/OR AUTHORITY HAVING JURISDICTION.
 4. ALL NECESSARY (GROUND BED) PREPARATION, INSTALLATION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE LANDSCAPING SPECIFICATIONS FOR THE PROJECT OR, IN INSTANCES WHERE SPECIFICATIONS DO NOT EXIST, IN ACCORDANCE WITH APPLICABLE PORTIONS (INCLUDING BED PREPARATION, MULCH, FERTILIZERS, STIMULANTS, TACKIFIERS, ETC.) OF SECTION 810 OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION).
 5. UNLESS OTHERWISE INDICATED ON THIS SHEET OR IN SPECIFICATIONS, PERMANENT SEED SELECTION AND APPLICATION SHALL BE IN ACCORDANCE WITH APPENDIX C OF THE SOUTH CAROLINA DIEC STORM WATER MANAGEMENT BMP HANDBOOK. SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATION, SOIL TYPE, AND DATE OF INSTALLATION.
 6. PERMANENT SEED SELECTION (SELECTION METHOD BELOW FOLLOWS SCDOT RECOMMENDATIONS): SELECT A MINIMUM OF TWO (2) SEED SPECIES FROM TABLE 1 BELOW, AND A MINIMUM OF ONE (1) ACCEPTABLE ANNUAL NURSE CROP SEED SPECIES FROM TABLE 2 BELOW (UNDER THE TEMPORARY SEEDING SECTION). DO:
 - (1) SELECT ONE (1) SEED SPECIES FROM TABLE 1 AT DOUBLE THE SPECIFIED RATE WITH A MINIMUM OF ONE (1) ACCEPTABLE ANNUAL NURSE CROP SEED SPECIES FROM TABLE 2 AT THE SPECIFIED RATE.
 - (2) DURING APPLICATION, THE NURSE CROP SHALL BE PREPARED TO PROTECT THE SEED SPECIES FROM GERMINATION OF PERMANENT SPECIES IN THE FOLLOWING SPRING AND SUMMER TO INSURE 70% COVERAGE IS ACHIEVED AS DESCRIBED IN NOTE 1 ABOVE.
- TABLE 1 - PERMANENT SEEDING (Perennial Seed)
- | Species | 30a | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec |
|----------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| * Common Bermuda | 10 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Carpet Grass | 15 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Centipedegrass | 10 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| ** Bahiagrass | 30 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| ** Tall Fescue | 30 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| ** Weeping Lovegrass | 5 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
- UPPER STATE (Primary Months)
■ LOWER STATE (Primary Months)
- * Use unharmed seed during fall and winter months.
 - ** Only use where specified on plans or in specifications or if approved by the owner, engineer or landscape architect.
- PERMANENT SEEDING TO BE USED ONLY FOR TEMPORARY STABILIZATION DURING CONSTRUCTION
- IN PARTICULAR, THE CONTRACTOR SHALL:
1. ESTABLISH A STAND OF VEGETATION THAT IS CAPABLE TO PREVENT EROSION AND SEDIMENT LOSS, IN ACCORDANCE WITH THE DEFINITION OF "TEMPORARY STABILIZATION" AS DEFINED IN THE SCDCHE NPDES GENERAL PERMIT.
 2. MAINTAIN TEMPORARY STABILIZATION EFFORTS AS REQUIRED IN NOTE 2 AND 12 OF THE "STORMWATER AND SEDIMENT CONTROL" NOTES LISTED ON THIS PAGE.
 3. MAINTAIN THE STAND OF VEGETATION UNTIL REPLACED BY PERMANENT LANDSCAPING OR SUBSEQUENT CONSTRUCTION.
2. ALL NECESSARY (GROUND BED) PREPARATION, INSTALLATION, AND MAINTENANCE OF TEMPORARY SEEDING SHALL BE IN ACCORDANCE WITH APPLICABLE PORTIONS (INCLUDING BED PREPARATION, MULCH, FERTILIZERS, STIMULANTS, TACKIFIERS, ETC.) OF SECTION 810 OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION).
3. UNLESS OTHERWISE INDICATED ON THIS SHEET OR IN SPECIFICATIONS, TEMPORARY SEED SHALL BE IN ACCORDANCE WITH APPENDIX C OF THE SOUTH CAROLINA DIEC STORM WATER MANAGEMENT BMP HANDBOOK. SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATION, SOIL TYPE, AND DATE OF INSTALLATION.
4. TEMPORARY SEED SELECTION (SELECTION METHOD BELOW FOLLOWS SCDOT RECOMMENDATIONS): FOR SHORT DURATION APPLICATIONS, SELECT A MINIMUM OF ONE (1) SEED SPECIES FROM TABLE 2 BELOW. FOR LONGER DURATION APPLICATIONS, SELECT A MINIMUM OF ONE (1) SEED SPECIES FROM TABLE 1 ABOVE (UNDER PERMANENT SEEDING) AND FROM TABLE 2 BELOW, AND APPLY AT THE RATES SPECIFIED.
- TABLE 2 - NURSE CROP AND TEMPORARY SEEDING (Annual Seed)
- | Species | Nurse Crop
Lbs/Ac | Temp.
Cover
Lbs/Ac | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | Sep | Oct | Nov | Dec |
|-----------------|----------------------|--------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| Browntop Millet | 15 | 60 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Ryegrass | 75 | 200 | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
- UPPER STATE
■ LOWER STATE
- PERMITTING NOTES
1. THESE PLANS HAVE BEEN PREPARED TO MEET THE INITIAL REQUIREMENTS OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES). THE OWNER AND CONTRACTORS ARE ADVISED THAT ADDITIONAL REQUIREMENTS, WHICH ARE BEYOND THE SCOPE OF THESE PLANS, MUST BE MET IN ORDER TO ASSURE CONTINUED COVERAGE UNDER THE NPDES.
 2. COVERAGE UNDER THE NPDES IS INITIATED BY THE SC DEP. OF HEALTH AND ENVIRONMENTAL CONTROL'S (SCDCHE) APPROVAL OF THE PROJECT FOR CONSTRUCTION. THE OWNER'S SUBMITTAL OF AN APPLICATION FOR CONSTRUCTION PERMIT (EPA) NOTICE OF INTENT (NOI) SERVES AS THE OWNERS CERTIFICATION THAT HE HAS PREPARED, AND WILL MAINTAIN AND MAINTAIN, A SWPPP THROUGHOUT THE CONSTRUCTION PERIOD. FURTHERMORE, IT CERTIFIES THAT HE WILL DOCUMENT AND WHERE REQUIRED, REPORT SITE CONDITIONS, REMEDIAL EFFORTS, SWPPP MODIFICATIONS, AND OTHER STORMWATER RELATED ACTIVITIES IN ACCORDANCE WITH NPDES REQUIREMENTS. COVERAGE UNDER THE NPDES IS TERMINATED UPON THE OWNERS SUBMITTAL OF AN EPA NOTICE OF TERMINATION (NOT) WHEN SCDCHE APPROVAL OF THE COMPLETED PROJECT HAS BEEN RECEIVED.
 3. THE OWNER IS ADVISED THAT SWA'S SCOPE OF SERVICES DOES NOT NECESSARILY INCLUDE EFFORTS TO DOCUMENT AND REPORT ACTIVITIES IN ACCORDANCE WITH NPDES REQUIREMENTS. WHILE SWA CAN PERFORM THESE SERVICES UPON REQUEST, THEY CAN ALSO BE PROVIDED BY THIRD PARTY FIRMS WHO SPECIALIZE IN DOCUMENTATION AND REPORTING OF NPDES RELATED ACTIVITIES. REGARDLESS, THESE ACTIVITIES MUST BE ACCOMPLISHED, DOCUMENTED, AND WHERE REQUIRED, REPORTED THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO AVOID AN NPDES VIOLATION.
 4. ADDITIONAL PARTIES WHO ARE ASSOCIATED WITH A PROJECT THAT HAS RECEIVED NPDES COVERAGE ARE REQUIRED TO ADHERE TO THE REQUIREMENTS OF THE PROJECT SWPPP FOR THOSE PORTIONS THAT PERTAIN TO THEIR ACTIVITIES (REFER TO SECTIONS 2.1 & 2.2 OF THE STATE GENERAL PERMIT). IN ADDITION, PARTIES WHO ARE ASSOCIATED WITH ACTIVITIES THAT ARE PART OF A "LARGER COMMON PLAN" (LCP) THAT HAS RECEIVED NPDES COVERAGE MAY ALSO SHARE RESPONSIBILITY FOR COMPLIANCE AS A "SECONDARY PERMITTEE" (REFER TO SECTIONS 2.2.2 OF THE STATE GENERAL PERMIT). ALL PARTIES ASSOCIATED WITH A PROJECT SHALL BE ADVISED TO PROPERLY DISPOSE ALL PROTECTION DEVICES THAT MAY BE REMOVED UNDER AREA DRAINING TO WHICH INLET SEDIMENT HAS BEEN FULLY STABILIZED.
 5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL LOT OWNERS ARE ADVISED TO SUBMIT AN "INDIVIDUAL LOT NOTICE OF INTENT" MEETING THE REQUIREMENTS OF SECTION 2.3.2 AT LEAST SEVEN (7) BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. REFER TO SECTION 2.2.2 AND SECTION 3.3.2 OF THE STATE GENERAL PERMIT.

SWPPP PHASE 1 - INITIAL LAND DISTURBANCE PHASE - SEQUENCE OF CONSTRUCTION:

1. RECEIVE NPDES COVERAGE FROM DHEC.
 2. CONDUCT PRE-CONSTRUCTION MEETING (AS DEFINED IN SECTION 4.1 OF THE STATE GENERAL PERMIT OR AS SPECIFIED IN THE PROJECTS NPDES PERMIT).
 3. NOTIFY DHEC, EDC, OFFICE OF DEC/OEC-DRUM AND THE MS4 OPERATOR 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCES AND BEGIN MAINTENANCE OF SEDIMENT CONTROLS AS NECESSARY. CONTROL MAINTENANCE UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 5. CLEAR AND GRUB FOR THE INSTALLATION OF PERIMETER CONTROLS (SILT FENCE) AND TIRE BARRICADES. COORDINATE A INSPECTION WITH THE MSA OPERATOR OR LOCAL MUNICIPALITY AND THE ENGINEER PRIOR TO CONTINUING ANY WORK ACTIVITIES.
 6. INITIATE CLEARING AND GRUBBING FOR THE BALANCE OF THE SITE.
 7. POND EXCAVATION AND MASS GRADING MAY BEGIN. THIS CAN BEGIN AS SOON AS AREAS ALLOW AFTER CLEARING AND GRUBBING.
- SWPPP PHASE 1 - INITIAL LAND DISTURBANCE PHASE - NOTES:**
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.
 - 1. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS INDICATED.
 - 2. STONE CHECK DAMS OR OTHER APPROPRIATE BMPs SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS OR DITCHES WHERE INDICATED ON PLANS OR IN OTHER AREAS WHERE NEEDED.
 - 3. CONTRACTOR SHALL PERFORM DEWATERING WITH APPROPRIATE BMPs IN A MANNER THAT MEETS LOCAL AND STATE REGULATIONS WITH REGARD TO DISPOSAL OF WATER AND REMOVED SEDIMENT.
 - 4. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF FENCING SHALL BE REPAIRED IMMEDIATELY.
 - 5. NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION OF THE AUTHORITIES HAVING JURISDICTION, THE OWNER, AND THE ENGINEER.
 - 6. THE CONSTRUCTION ENTRANCE / EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ON PAVED AREAS.
 - 7. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES.
 - 8. THE LOCATION OF SOME EROSION CONTROL DEVICES MAY NEED TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DEViate FROM THOSE PROPOSED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER.
1. FOLLOW ALL "STORMWATER AND SEDIMENT CONTROL" NOTES LISTED ON THIS PAGE.
- SWPPP PHASE 2 - CONSTRUCTION PHASE - SEQUENCE OF CONSTRUCTION:**
1. CONTINUE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 2. CLEAR AND GRUB THE REMAINDER OF THE SITE.
 3. COMPLETE POND EXCAVATIONS, MASS GRADING OPERATIONS, AND ROUGH GRADING.
 4. INITIATE INSTALLATION OF WATER AND SEWER SYSTEMS. DRY UTILITY INSTALLATION MAY BEGIN DURING PHASE 2 IF POSSIBLE.
 5. INSTALL STORM DRAINAGE SYSTEM INCLUDING SEDIMENT PROTECTION AS EACH STRUCTURE IS INSTALLED.
 6. WHEN APPlicable, VERTICAL CONSTRUCTION MAY BEGIN DURING PHASE 2.
- SWPPP PHASE 2 - CONSTRUCTION PHASE - NOTES:**
- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE CONSTRUCTION PHASE.
 - 2. STORM DRAIN OUTLET PROTECTION (RP, RPP, TURF REINFORCING FABRICS, CHECK DAMS, ETC) AS DEFINED ON THE PLANS, SHALL BE PLACED AT ALL OUTLETS AS THEY ARE INSTALLED.
 - 3. APPROPRIATE MEASURES ARE TO BE IMPLEMENTED AS REQUIRED TO PREVENT SEDIMENT FROM ENTERING INLET PIPES AND BOXES. EACH PROTECTIVE MEASURE IS TO BE IN PLACE AS SOON AS POSSIBLE, AND PRIOR TO ANY RAIN EVENT. AFTER PIPE, STRUCTURE, ETC. IS INSTALLED, ACCUMULATED SEDIMENT SHALL BE REMOVED AND PLACED ON-SITE IN SUCH A MANNER THAT IT DOES NOT ACCUMULATE AGAIN.
 - 2. FINAL CUT AND FILL SLOPES ARE TO FOLLOW THE CONSTRUCTION PLANS. TEMPORARY CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V. 3H:1V OR BETTER IS PREFERRED IN ALL LOCATIONS UNLESS INFEASIBLE.
 - 2. FOLLOW ALL "STORMWATER AND SEDIMENT CONTROL" NOTES LISTED ON THIS PAGE.
- SWPPP PHASE 3 - STABILIZATION PHASE - SEQUENCE OF CONSTRUCTION:**
1. CONTINUE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 2. COMPLETE ALL UTILITIES AND SITE SURFACE IMPROVEMENTS AS APPLICABLE, INCLUDING BUT NOT LIMITED TO CURBS, WALKS, DRIVEWAYS, UTILITY POWER, COMMUNICATIONS, GAS, BUILDING SHELL, CURBS, WALKS, PAVEMENT, COURTYARDS, PLAZAS, FOUNTAINS, MONUMENTS, TRAILS, SITE LIGHTING, ETC.
 3. INSTALL LANDSCAPING AND/OR ESTABLISH PERMANENT SOIL STABILIZATION.
 4. WHEN APPLICABLE, CLEAN RE-GRADE, AND RE-ESTABLISH SOIL STABILIZATION FOR DETENTION BASINS/PONDS, MODIFY TENANT/DEVELOPER BASIN/POND STRUCTURES AS DEFINED ON PLANS TO CONVERT IT TO THE PERMANENT OUTLET.
 5. REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER THE ENTIRE AREA FLOWING TO EACH MEASURE IS PERMANENTLY STABILIZED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 6. PERFORM AS-BUILT SURVEYS OF THE DRAINAGE SYSTEM, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, AND SUBMIT TO THE OWNER AND ENGINEER FOR REVIEW AND SUBMITTAL TO DHEC AND/OR THE MS4 FOR REVIEW AND APPROVAL.
 7. SUBMITTAL NOTICE OF TERMINATION (NOT) TO DHEC, BY THE OWNER AND ENGINEER.
- SWPPP PHASE 3 - STABILIZATION PHASE - NOTES:**
3. AFTER CURBS, AGGREGATE BASE AND PAVING HAS BEEN COMPLETED, ALL INLET SEDIMENT TRAPS INSTALLED ON CURBS INLETS SHALL BE REMOVED AND REPLACED WITH INLET FILTER PROTECTION. PROTECTION DEVICES MAY BE REMOVED ONCE AREA DRAINING TO WHICH INLET HAS BEEN FULLY STABILIZED.
 3. UPON COMPLETION OF THE PROJECT AND AUTHORIZATION FROM THE AUTHORITY HAVING JURISDICTION, THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE ALL TEMPORARY EROSION CONTROL MEASURES, UNLESS OTHERWISE NOTED.
 3. FOLLOW ALL "STORMWATER AND SEDIMENT CONTROL" NOTES LISTED ON THIS PAGE.

STORMWATER AND SEDIMENT CONTROL

UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE FOR ALL OF THE REQUIREMENTS LISTED BELOW, AS APPLICABLE, AS PART OF HIS WORK INCLUDED IN HIS BASE BID.

1. IF NECESSARY, SLOPES THAT EXCEED A VERTICAL FEET IN HEIGHT SHALL BE STABILIZED WITH TURF OR TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER CONSTRUCTION HAS CEASED, EXCEPT AS STATED BELOW:
 - A. WHERE STABILIZATION BEFORE THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, THE STABILIZATION MEASURES SHALL BE AS SOON AS PRACTICABLE.
 - B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE HAS TEMPORARILY CEASED AND LAND DISTURBING ACTIVITIES WILL RESUME WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP IS INAPPROPRIATE, OR HAS BEEN INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
6. PROVIDE SILT FENCE AND/OR OTHER EROSION CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED BY PERMANENT SEEDING, OR OTHER MEASURES WHERE INDICATED ON THE PLANS. IMMEDIATELY AFTER UTILITY CONSTRUCTION IS COMPLETE UNLESS ADDITIONAL CONSTRUCTION IS TO TAKE PLACE BACKFILLING OF THE TRENCH AT THE END OF EACH DAY IS MANDATORY AND TEMPORARY SEEDING IS RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER ADDITION SHALL BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED INTO ANY WATERS OF THE STATE.
11. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION. UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED, ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION ON/DUR/OFF SITE SEDIMENTATION. ALL TEMPORARY DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
16. THE CONTRACTOR SHALL TAKE NECESSARY ACTIONS TO PREVENT TRACKING OF SOIL ONTO PAVED AREAS THAT ARE UTILIZED FOR ACCESS TO THE SITE AND TO MINIMIZE THE GENERATION OF DUST. SHOULD TRACKING OCCUR, THE CONTRACTOR SHALL IMMEDIATELY CEASE OR MODIFY CAUSAL OPERATIONS. THE CONTRACTOR SHALL DAILY REMOVE SOIL FROM PAVEMENT AS MAY BE REQUIRED.
17. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-30-010 ET SEQ. AND SCR100000.
20. TEMPORARY DIVERSION BERMES AND/OR DITCHES SHALL BE INSTALLED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT LADEEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
21. ALL WATERS OF THE STATE (WOTS) INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED TO PREVENT DISRUPTIONS OR DAMAGES TO WOTs. PROTECTION AS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE INSTALLED IN ALL AREAS WHERE A 50 FT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND THE WOTS. IN ADDITION, A 10 FT BUFFER SHALL BE MAINTAINED BETWEEN THE NEAREST ROW OF SILT FENCE AND THE WOTS.
22. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, CHEMICALS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FREELY TREATED LUMBER) SHALL BE PREVENTED FROM ENTERING OR OTHERWISE POLLUTING STORMWATER DISCHARGES.
23. A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE FOR THE DURATION OF THE PROJECT AND FOR A PERIOD OF 30 CALENDAR HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES UNTIL THE DATE THAT FINAL STABILIZATION IS ACHIEVED.
24. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
25. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
26. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASHING, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
27. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH THE APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
28. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - A. WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - B. WASTEWATER FROM WASHOUT AND CLEANING OF STUCCO, PAINT, PAINT, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS.
 - C. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATIONS AND MAINTENANCE, AND
 - D. SOLIDS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
29. AFTER CONSTRUCTION ACTIVITIES BEGIN, SELECTION MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS ACHIEVED ON ALL AREAS OF THE CONSTRUCTION SITE.
30. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
31. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE AND SHALL INCLUDE REVIEW OF THE APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LARGE PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
32. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PAVED AREAS. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM DEVICES ON PAVED AREAS OR INTO STORM DRAINAGE SHALL BE REMOVED AS SOON AS REASONABLY POSSIBLE.
33. THE SILT FENCE SHALL BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR ENGINEER. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 10 HIGHEST OF THE BARRIER. THE PERMITTEE SILT FENCE SHALL BE INSPECTED IMMEDIATELY ONCE EVERY WEEK AND WITHIN 24 HOURS OF A RAIN EVENT THAT PRODUCES 1/2" OR MORE OF PRECIPITATION.
34. SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS (ON THE LOW SIDE WHERE SEDIMENT CAN BE WASHED AWAY).
35. THE CONTRACTOR SHALL MAINTAIN ALL PONDS, SEDIMENT BASINS, AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE REMOVED FROM BASINS WHEN IT REACHES THE HALFWAY POINT ON THE RISER.



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**SEABROOK BEACH CLUB
POOL RENOVATION**

SEABROOK ISLAND, SOUTH CAROLINA

SW-PROJECT: 7993
DATE: 3/6/2019
DRAWN BY: TLL
CHECKED BY: RPF

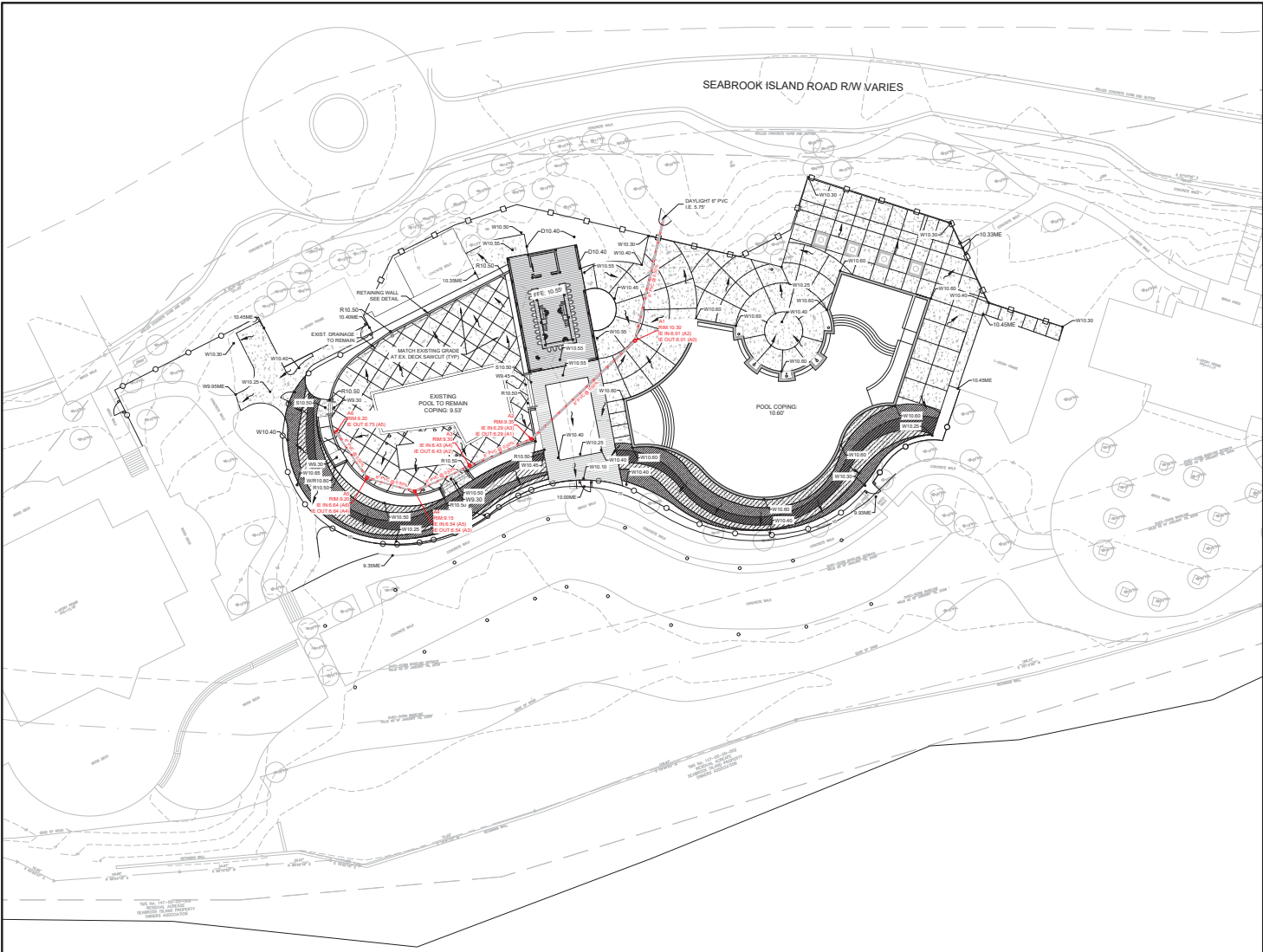
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SWPPP NOTES

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SEABROOK ISLAND ROAD R/W VARIES

NOTES:

1. PVC; SDR-26 PVC PIPE
2. ALL PIPE JOINTS SHALL BE WRAPPED WITH MINIMUM 18" WIDTH OF NON WOVEN GEOTEXTILE.
3. REPLACE EXISTING DRAINAGE TOP WITH ROUND GRATE PER DETAIL. SEE SHEET C-6.0

LEGEND:

DRAINAGE PIPE
(SIZE AND MATERIAL INDICATED ON PLAN)

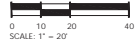


SPOT ELEV KEY (FINISHED GRADING)

- A-(asphalt) surface of finished asphalt roadway or walking path
 - C-(curb) back of curb at highest point
 - D-(dr) finished ground elevation
 - F-(flow) elevation at which surface water flows into drainage structure
 - surface of asphalt adjacent to throat or grate at curb inlet
 - surface of access cover for junction or isolation box
 - surface of grate at outside edge for catch basin, gutter inlet, or grates pond structure
 - G-(gutter) surface of gutter at lowest point (along water flow path)
 - R-(retaining) top of retaining wall
 - S-(slab) top of slab level at reading
 - W-(walk) surface of finished concrete or interlocking paver sidewalk, patio, plaza, or slab
 - ME-(match existing) following elevation number, indicates to match elevation of existing surface at point of connection
- Example: A12.58ME Means that the surface of new asphalt is to be at elevation 12.58 which should match the elevation of the existing asphalt surface at the joint.

EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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GRADING AND DRAINAGE PLAN



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**SEABROOK BEACH CLUB
POOL RENOVATION**
SEABROOK ISLAND, SOUTH CAROLINA

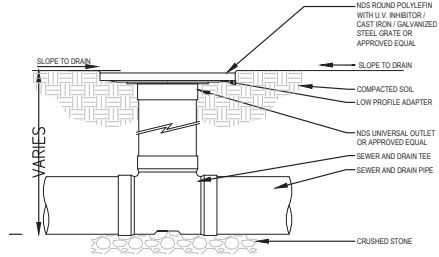
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GRADING AND DRAINAGE PLAN

C-4.0



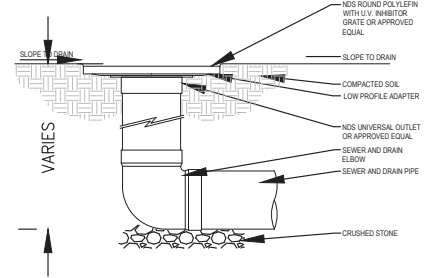
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TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
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- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



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1 STORM DRAINAGE INLET
(NOT TO SCALE)



2 STORM DRAINAGE PIPE TRENCH
(NOT TO SCALE)



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STORM DRAINAGE DETAILS

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TOWN OF SEABROOK DEVELOPMENT STANDARDS

Sec. 9.30. - Oceanfront and North Edisto River Property Setbacks.

9.30.20. Minimum Setbacks. For all oceanfront and North Edisto River property, the minimum required setback from the ocean for any structure shall be the greater (most landward) of:

9.30.21. The setback line mandated by the SC Coastal Tidelands and Wetlands Act of 1977 (State Code Sections 48-39-10 et seq.), as amended in 1988 and thereafter; and

9.30.22. A line drawn parallel to the front (street side) property line and extending from the front property line the distance equal to seventy-five (75%) percent of the platted, average lot depth as measured from the front property line; and

9.30.23. In no event shall construction be closer than (seaward of) thirty (30) feet landward from the landward edge of the primary dune or the dune formed by any existing revetment.

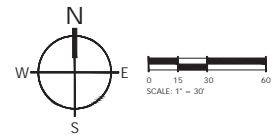
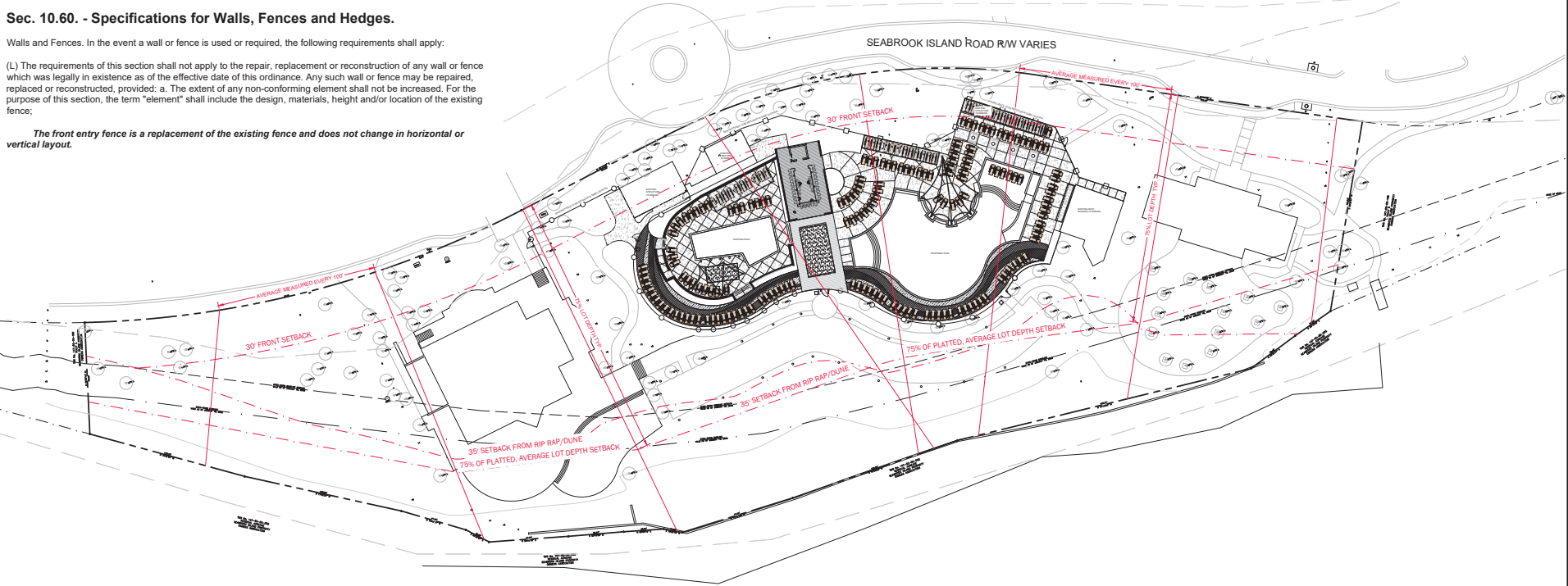
The project is in compliance of front and rear setback lines; see plan setback lines in red. - - - -

Sec. 10.60. - Specifications for Walls, Fences and Hedges.

Walls and Fences. In the event a wall or fence is used or required, the following requirements shall apply:

(L) The requirements of this section shall not apply to the repair, replacement or reconstruction of any wall or fence which was legally in existence as of the effective date of this ordinance. Any such wall or fence may be repaired, replaced or reconstructed, provided: a. The extent of any non-conforming element shall not be increased. For the purpose of this section, the term "element" shall include the design, materials, height and/or location of the existing fence;

The front entry fence is a replacement of the existing fence and does not change in horizontal or vertical layout.



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**SEABROOK BEACH CLUB
POOL RENOVATION**
SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
DATE: 3/6/2019
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NO.	DESCRIPTION

ZONING -
SETBACKS

L 0.0

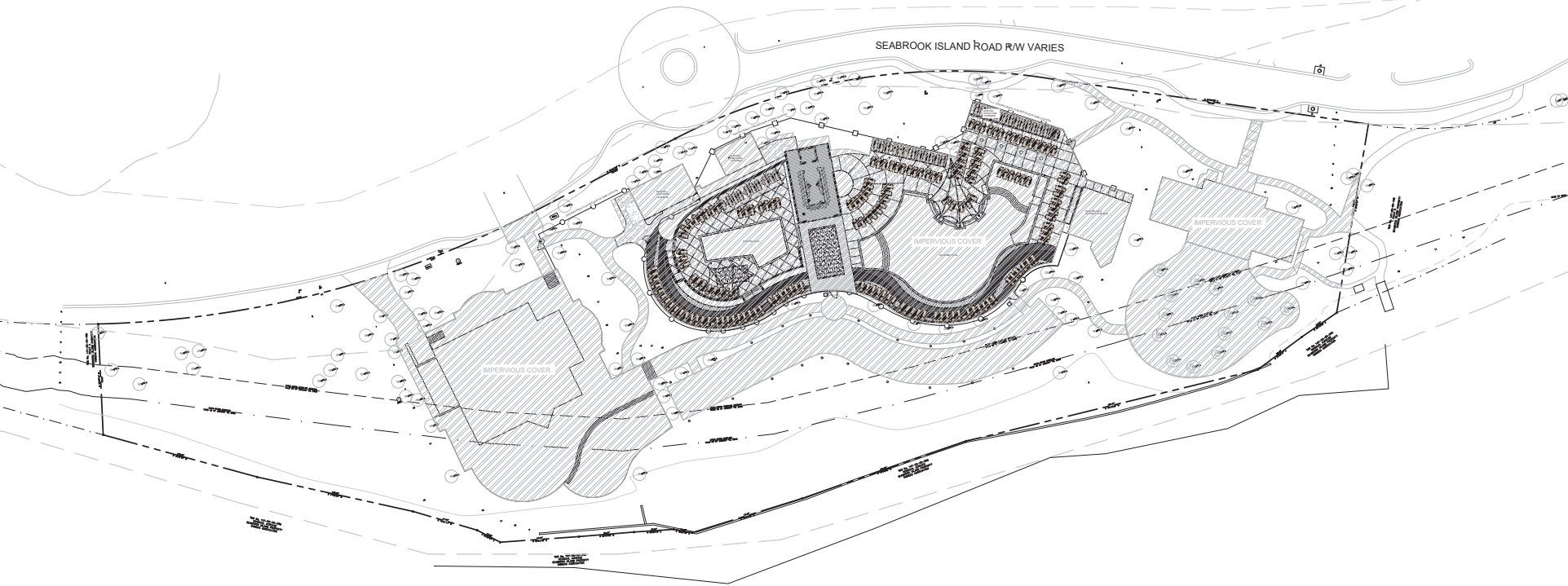
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TOWN OF SEABROOK DEVELOPMENT STANDARDS

Sec. 7.50. - Maximum Lot Coverage.

7.50.30. Commercial. Nonresidential structures, including accessory structures and associated parking areas, driveways, garages, carports, walks and roadways shall cover no more than sixty (60%) percent of the net buildable land area of a lot. For purposes of this section, net buildable land area shall constitute gross acreage less any required recreation areas and marsh/wetland areas.

Percent lot coverage allowed	60%
Total property acres	3.33 AC
Total impervious lot coverage	1.51 AC
Total pervious lot coverage	1.82 AC
Percent lot coverage provided	54%
No net increase from existing coverage	



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SEABROOK ISLAND, SOUTH CAROLINA

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DATE: 3/6/2019
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ZONING - LOT COVERAGE

L 0.1

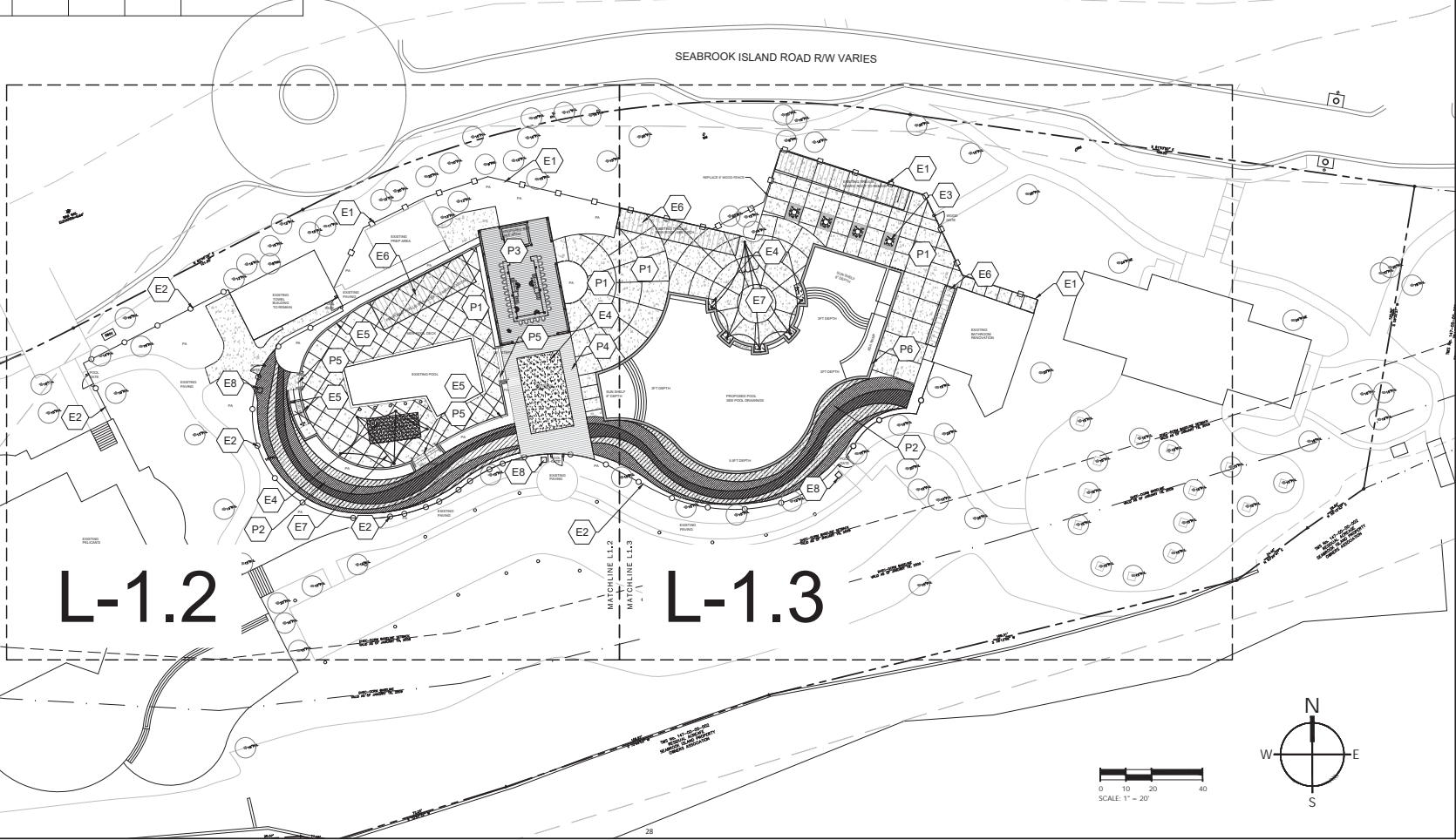
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SITE ELEMENTS (E)							
KEY	ITEM	DETAIL(S)	MATERIAL	COLOR	QUANTITY	FINISH	REMARKS
E1	WOOD FENCE & GATE	1 - L1.1	S.Y.P.	STAINED GUNMETAL GRAY	SEE SHEETS L1.2 & L1.3. GATE QUANTITY: 1	STAINED AND SEALED	REPLACE EXISTING FENCE WITH NEW FENCE IN SAME LOCATION. CONTRACTOR TO PROVIDE MOCK UP WITH PAINT COLOR FOR APPROVAL.
E2	POOL FENCE & GATE	2 - L1.1	ALUMINUM	WHITE	SEE SHEETS L1.2 & L1.3. GATE QUANTITY: 5	PAINTED WHITE	SEE LAYOUT PLANS. ALL MEMBERS TO BE ALUMINUM WITH SMOOTH WELDS. GATE TO HAVE SELF LOCKING GATE AND MEET ALL DHEC AND ADA REQUIREMENTS.
E3	PALM CUTOUT	10 - L1.1	N/A	N/A	4	N/A	CUTOUT IN CONCRETE AND TRAVERTINE BAND WITH ARTIFICIAL TURF (TO ACT AS MATCH).
E4	ARTIFICIAL TURF	3 - L1.1	ARTIFICIAL TURF	NATURAL GREEN	SEE SHEETS L1.2 & L1.3	ALL NATURAL	INSTALL PER MANUFACTURER'S SPECIFICATIONS. GLOBAL SYN TURF. PROVIDE SAMPLES TO OWNER/CLA FOR APPROVAL.
E5	RETAINING WALL	6 - L1.1	CONCRETE WITH TRAVERTINE CAP	NATURAL HONED SILVER CAP	SEE SHEETS L1.2 & L1.3	SMOOTH CONCRETE FINISH. TRAVERTINE CAP.	SMOOTH CONCRETE WALL TO MATCH ADJACENT CONCRETE SIDEWALK.
E6	ARBOR	7 - L1.1	S.Y.P.	PAINT TO MATCH EXISTING	SEE SHEETS L1.2 & L1.3	PAINT TO MATCH EXISTING	MATCH EXISTING ARBOR. COVERED STRUCTURE BY ARCHITECT.
E7	TRIANGLE SHADE SAILS	9 - L1.1	TRADITIONAL SHADE FABRIC	WHITE	7	PER MANUFACTURER SPECIFICATIONS	MULTIPLE SHADE SAILS. SEE PLAN FOR ORIENTATION, SIZE, AND QUANTITY. INSTALL PER MANUFACTURER SPECIFICATIONS. LANDSCAPE ARCH. TO APPROVE LAYOUT BEFORE INSTALLATION. CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION. USE ASSE 102 PER DHEC REGULATIONS.
E8	FOOT WASH	11 - L1.2	#2 (OR GREATER) YELLOW PINE	NATURAL	3	SEALED	

PAVING (P)								
KEY	ITEM	DETAIL(S)	SYMBOL	MATERIAL	COLOR	QUANTITY	FINISH	REMARKS
P1	SALT FRESH CONCRETE	4 - L1.1	[Symbol]	CONCRETE	NATURAL GRAY	SEE HARDSCAPE PLAN	SMOOTH SALT FINISH	VOIDS TO BE BETWEEN 1/4" - 1/2" MAX. ROLLED OR MAT. PROVIDE SAMPLE FOR APPROVAL TO MATCH EXISTING.
P2	WAVE PROMENADE	5 - L1.1	[Symbol]	COLORED CONCRETE WAVE BANDS	MEDIUM GRAY (1), STONE GRAY (2), DOVER BLUE (3)	SEE L1.2 & L1.3	SMOOTH SALT FINISH	PROVIDE SAMPLES OF THREE COLORS FOR APPROVAL. SEE WAVE PROMENADE BLOW UP ON SHEET L1.4 FOR DIMENSIONS.
P3	FLOOR AT BAR	SEE ARCH. PLANS	[Symbol]	SEE ARCH. PLANS	SEE ARCH. PLANS	SEE ARCH. PLANS	SEE ARCH. PLANS	SEE ARCH. PLANS
P4	WOOD DECK	TO MATCH BAR FLOOR. SEE ARCH. PLANS	[Symbol]	TO MATCH BAR FLOOR. SEE ARCH. PLANS	TO MATCH BAR FLOOR. SEE ARCH. PLANS	SEE HARDSCAPE PLAN L1.2	TO MATCH BAR FLOOR. SEE ARCH. PLANS	TO MATCH BAR FLOOR. SEE ARCH. PLANS
P5	CONCRETE STEPS	8 - L1.1	[Symbol]	CONCRETE	NATURAL GRAY	SEE HARDSCAPE PLAN, L1.1 - L1.2	SMOOTH SALT FINISH	VOIDS TO BE BETWEEN 1/4" - 1/2" MAX. ROLLED OR MAT. PROVIDE SAMPLE FOR APPROVAL.
P6	POOL COPING	12 - L1.2 & SEE POOL DRAWINGS	[Symbol]	TRAVERTINE	SILVER	SEE HARDSCAPE PLAN AND POOL DRAWINGS	SMOOTH HONED	INSTALL PER MANUFACTURER'S SPECIFICATIONS AND POOL DETAILS. PROVIDE SAMPLE FOR APPROVAL.



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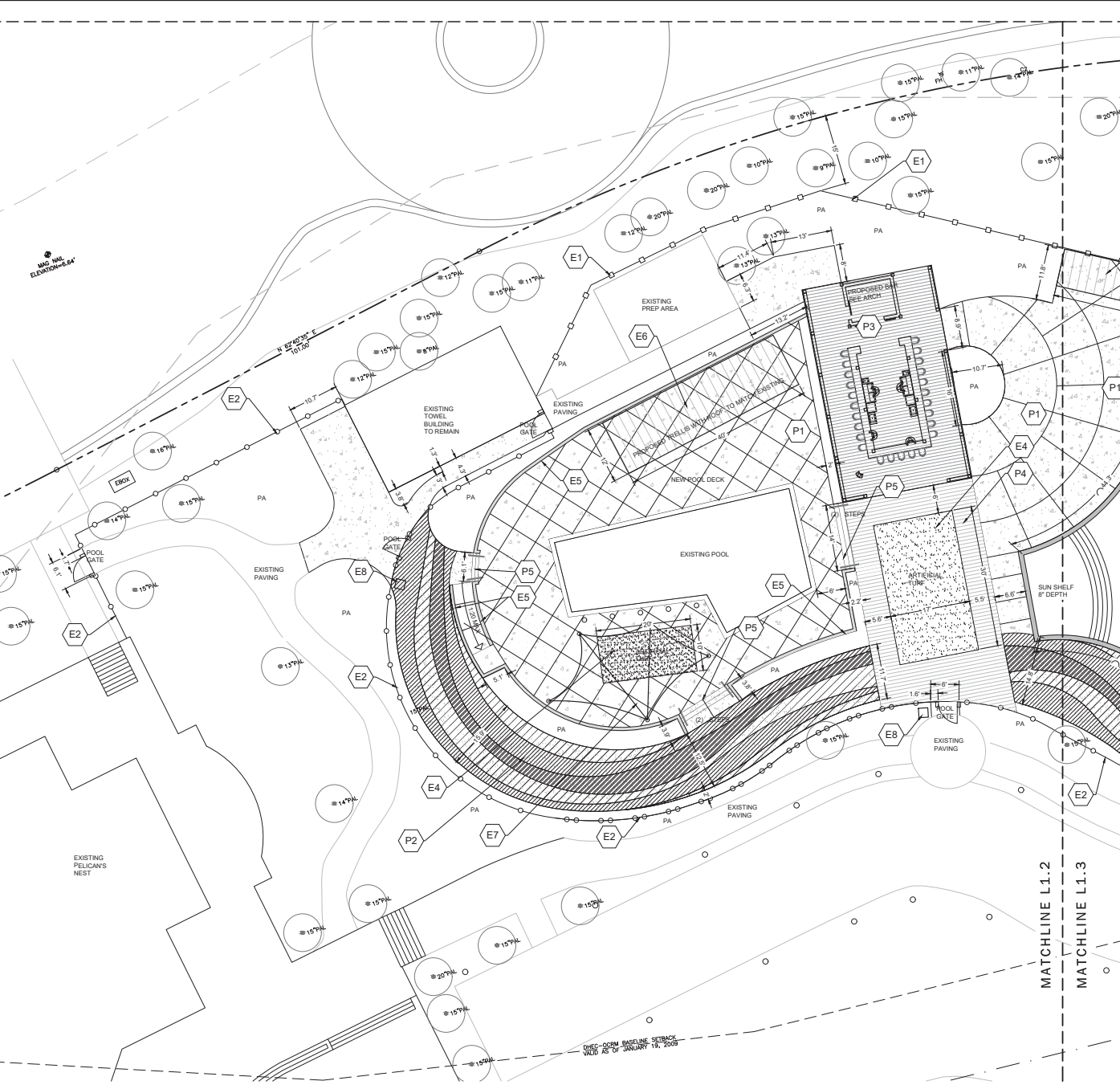
**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
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REVISION HISTORY	

SHEET KEY & SITE PLAN

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HARDSCAPE SCHEDULE FOR THIS SHEET

PAVING (P)		
KEY:	ITEM:	DETAILS:
P1	SALT FINISH CONCRETE	4'-Lx1'
P2	WAVE PROMENADE	5'-Lx1'
P3	FLOOR AT BAR	SEE ARCH PLANS
P4	WOOD DECK	TO MATCH BAR FLOOR, SEE ARCH PLANS
P5	CONCRETE STEPS	8'-Lx1'
P6	POOL COPING	12'-Lx2' & SEE POOL DRAWINGS

SITE ELEMENTS (E)		
KEY:	ITEM:	DETAILS:
E1	WOOD FENCE & GATE	1'-Lx1'
E2	POOL FENCE & GATE	2'-Lx1'
E3	PALM CUTOUT	10'-Lx1'
E4	ARTIFICIAL TURF	3'-Lx1'
E5	RETAINING WALL	6'-Lx1'
E6	ARBOR	7'-Lx1'
E7	TRIANGLE SHADE SAILS	9'-Lx1'
E8	FOOT WASH	11'-Lx2'

PA = PLANTED AREA

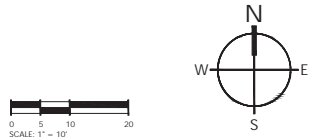
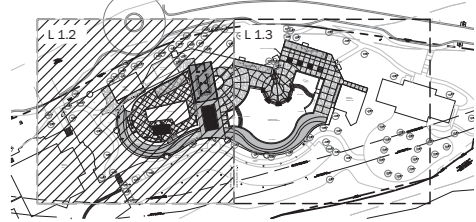
GENERAL NOTES:

- SEE SWPPP PLANS (SHEETS C3.0) FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
- FOR TREE REMOVALS, PLEASE REFER TO SHEETS C2.0.
- THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE, SHEET L1.3.3.
- SEE SITE PLAN (C4.0) FOR SITE LABELS, INFORMATION AND DETAILS.
- SEE HARDSCAPE SHEETS (L1.0 SERIES) FOR HARDSCAPE LABELS AND DETAILS.
- CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD. CONTACT: 843-884-1667

EXISTING UTILITIES WARNING:

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MASTER SHEET KEY



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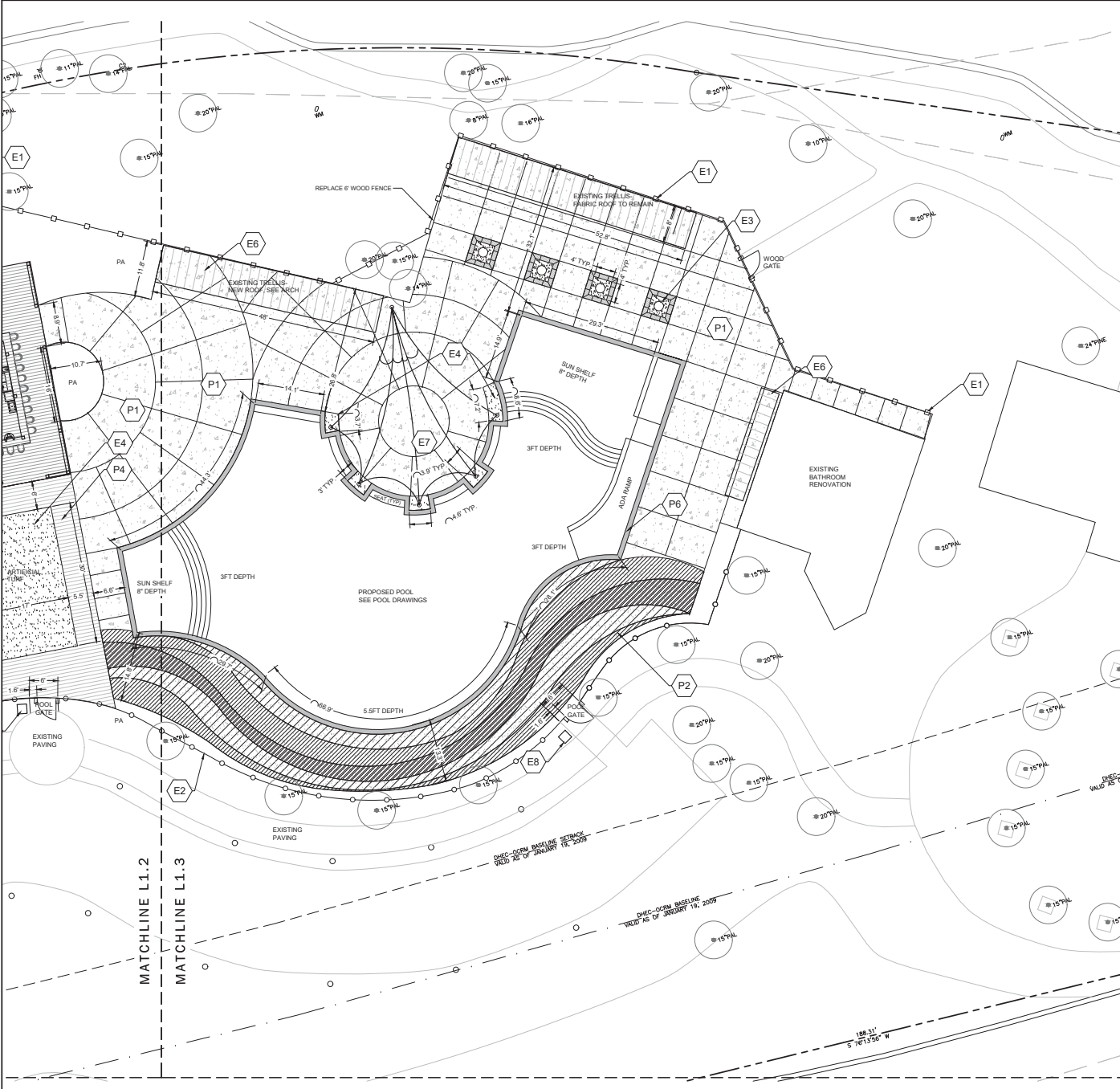
SEABROOK BEACH CLUB POOL RENOVATION
 SEABROOK ISLAND, SOUTH CAROLINA

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HARDSCAPE PLAN

L 1.2

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HARDSCAPE SCHEDULE FOR THIS SHEET

PAVING (P)		
KEY:	ITEM:	DETAIL(S):
P1	SALT FINISH CONCRETE	4-L1.1
P2	WAVE PROMENADE	5-L1.1
P3	FLOOR AT BAR	SEE ARCH PLANS
P4	WOOD DECK	TO MATCH BAR FLOOR, SEE ARCH PLANS
P5	CONCRETE STEPS	8-L1.1
P6	POOL COPING	12-L2.2 & SEE POOL DRAWINGS

PA = PLANTED AREA

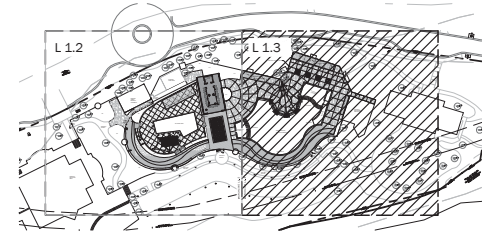
SITE ELEMENTS (E)		
KEY:	ITEM:	DETAIL(S):
E1	WOOD FENCE & GATE	1-L1.1
E2	POOL FENCE & GATE	2-L1.1
E3	PALM CUTOUT	10-L1.1
E4	ARTIFICIAL TURF	3-L1.1
E5	RETAINING WALL	6-L1.1
E6	ARBOR	7-L1.1
E7	TRIANGLE SHADE SAILS	9-L1.1
E8	FOOT WASH	11-L1.2

GENERAL NOTES:

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- SEE SITE PLAN (C4.0) FOR SITE LABELS, INFORMATION AND DETAILS.
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- CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD. CONTACT: 843-884-1667

EXISTING UTILITIES WARNING
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

MASTER SHEET KEY



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 GREENVILLE, SC 864.258.0534
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**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

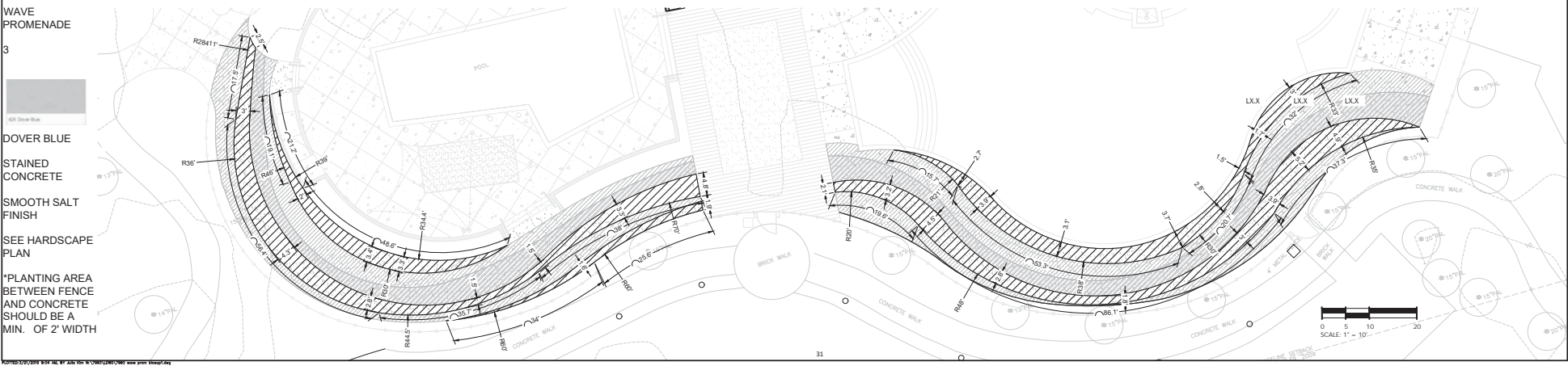
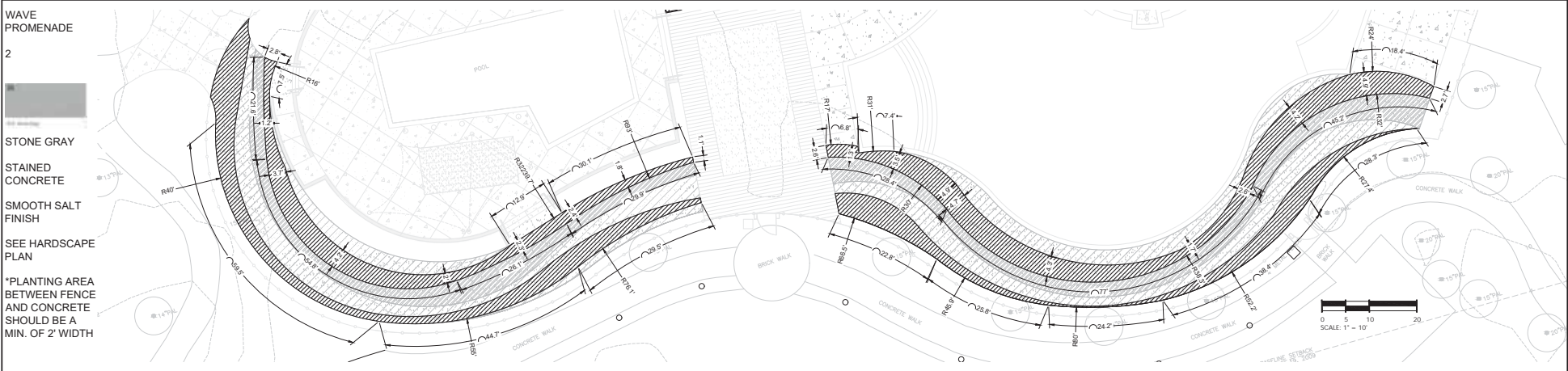
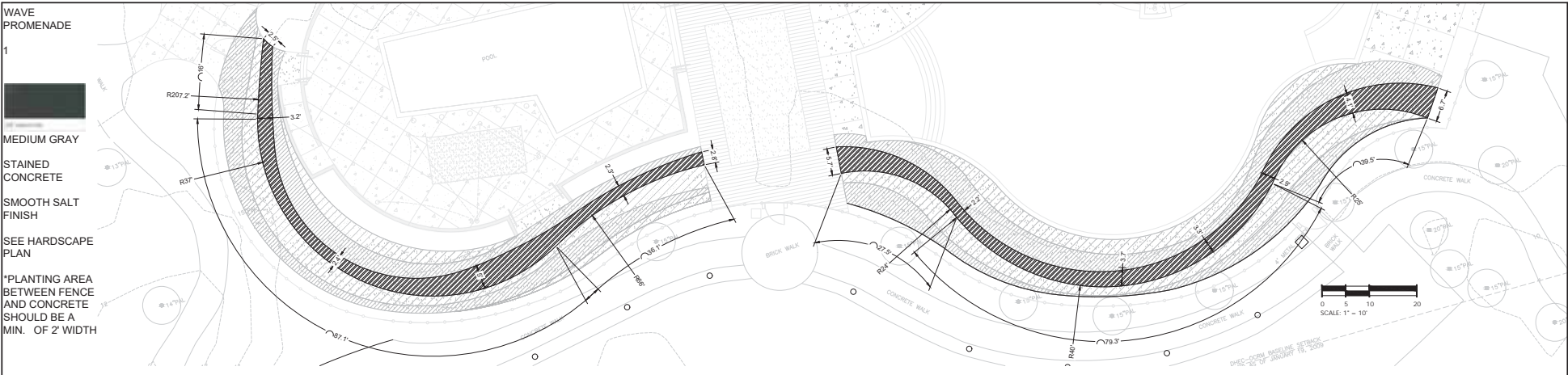
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REVISION HISTORY	

HARDSCAPE PLAN

L 1.3

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SEABROOK BEACH CLUB
POOL RENOVATION
 SEABROOK ISLAND, SOUTH CAROLINA

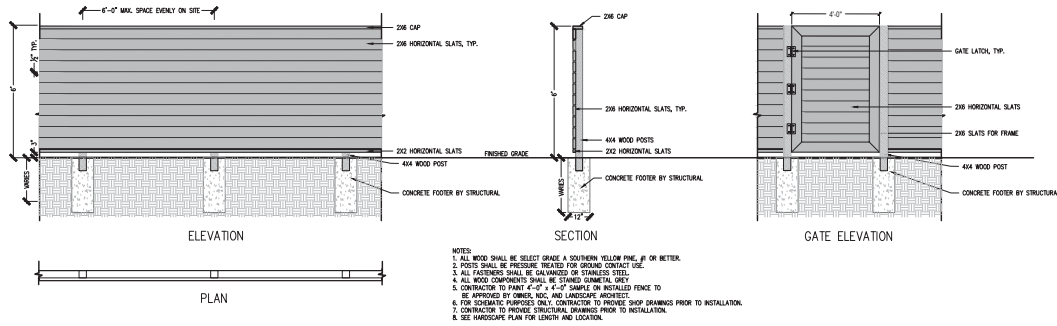
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REVISION HISTORY	

WAVE PROMENADE BLOW UP

L 1.4

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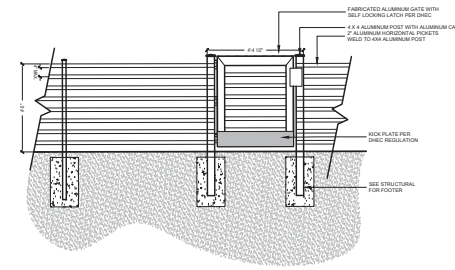


- NOTES:**
1. ALL WOOD SHALL BE SELECT GRADE SOUTHERN YELLOW PINE, #1 OR BETTER.
 2. POSTS SHALL BE PRESURE TREATED FOR GROUND CONTACT USE.
 3. ALL FETERS SHALL BE GALVANIZED OR STAINLESS STEEL.
 4. ALL WOOD COMPONENTS SHALL BE STAINED CONCREAL ONLY.
 5. CONTRACTOR TO PAINT 4" x 4" x 4" x 4" SAMPLES ON INSTALLED FENCE TO BE APPROVED BY OWNER, NCC, AND LANDSCAPE ARCHITECT.
 6. FOR COLOR MATCH, SAMPLES ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION.
 7. CONTRACTOR TO PROVIDE STRUCTURAL DRAWINGS PRIOR TO INSTALLATION.
 8. SEE LANDSCAPE PLAN FOR LENGTH AND LOCATION.

CONCEPT ONLY; CONTRACTOR TO PROVIDE CONSTRUCTION DRAWING PRODUCT SPECIFICATION AND INFORMATION

ALL GATES TO HAVE POOL LATCH ACCESS AND SPRING CLOSER HINGES, TYP. ELECTRONIC GATE W/ PANIC BAR CONCEPT

PROVIDE PANIC DEVICE ON METAL PANEL TO ELIMINATE STREET SIDE ACCESS. REFER TO DOOR HARDWARE SCHEDULE FOR PANIC DEVICE AND KEYED CYLINDER ON STREET SIDE.



MANUFACTURER: NOVA FENCE

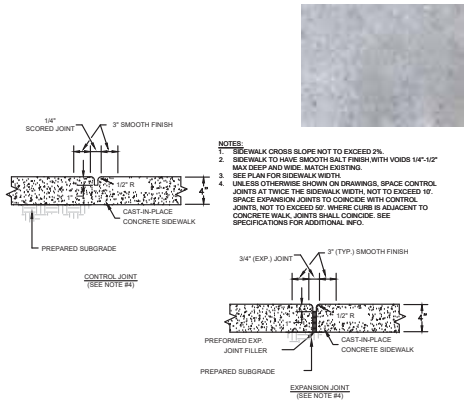
1 6' WOOD FENCE AND GATE

2 4' POOL FENCE AND GATE



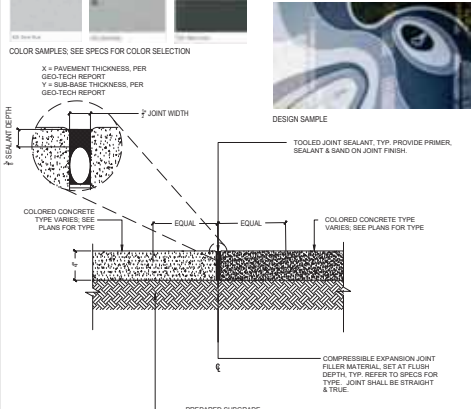
MANUFACTURER: GLOBAL SYN-TURF
MODEL: ALL NATURAL-75

- NOTES:**
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE SAMPLE TO LANDSCAPE ARCHITECT/OWNER FOR APPROVAL.

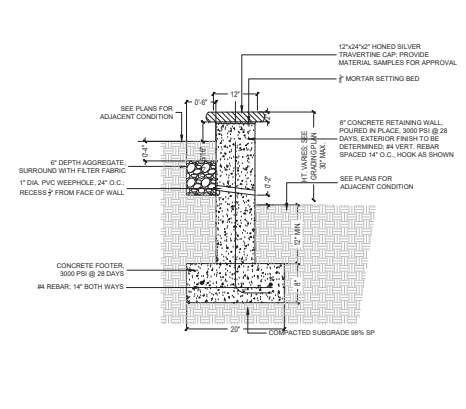


3 ARTIFICIAL TURF

4 SALT FINISH CONCRETE



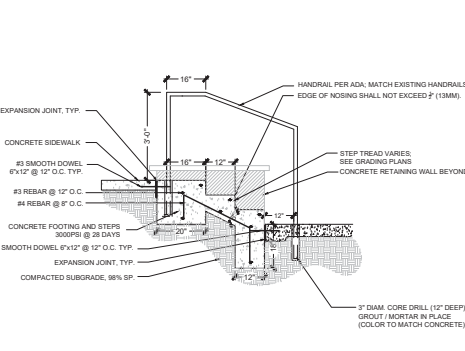
5 WAVE PROMENADE



6 RETAINING WALL



EXISTING ARBOR TO MATCH



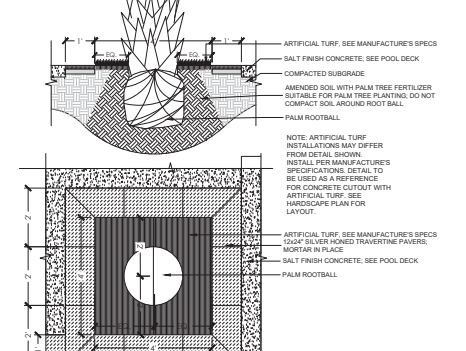
7 ARBOR TO MATCH EXISTING- SEE ARCH.

8 CONCRETE STEPS



INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE SPECS FOR COLOR SELECTION. SEE PLAN FOR DIMENSIONS.
<https://srpshade.com/pl/triangle-sail-shade>

9 TRIANGULAR SHADE SAIL



10 PALM TREE CUT OUT

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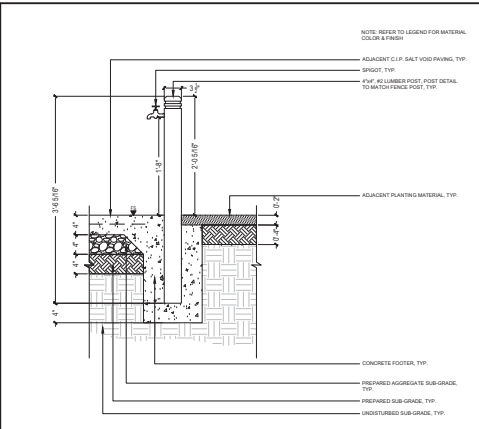
SEABROOK BEACH CLUB POOL RENOVATION
SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
DATE: 3/6/2019
DRAWN BY: WSK
CHECKED BY: MM

REVISION HISTORY	

DETAILS

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 501 WANDOR PARK BOULEVARD, SUITE 200 MOUNT PLEASANT, SC 29566 | 803.884.1987 | 803.884.1987



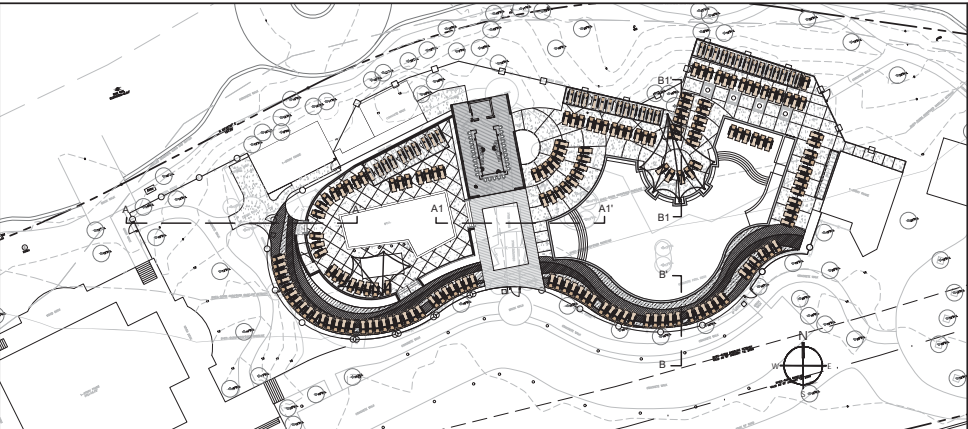
11 FOOT WASH STATION

12 POOL COPING

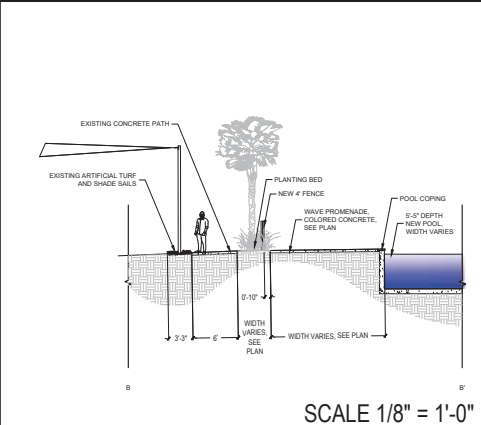
12"X24" HONED SILVER TRAVERTINE POOL COPING

NOTES:
 1. INSTALL PER MANUFACTURER'S SPECIFICATIONS / POOL DRAWINGS
 2. PROVIDE SAMPLE TO LANDSCAPE ARCHITECT/OWNER FOR APPROVAL.

12 POOL COPING



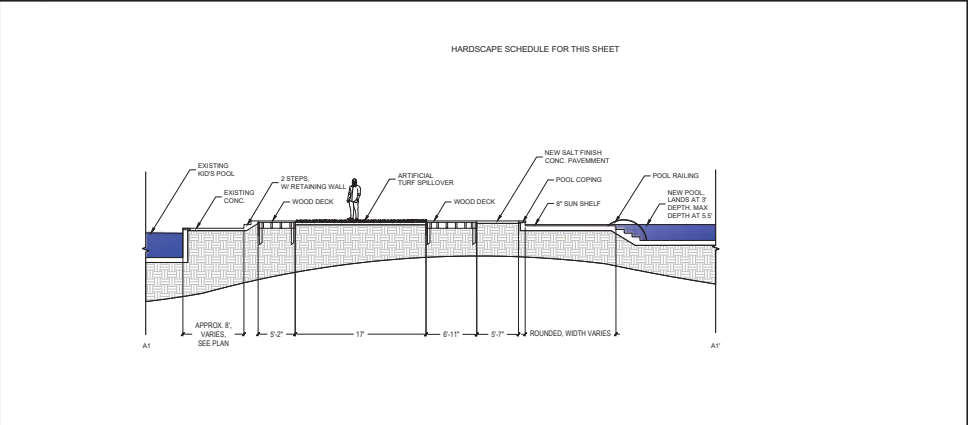
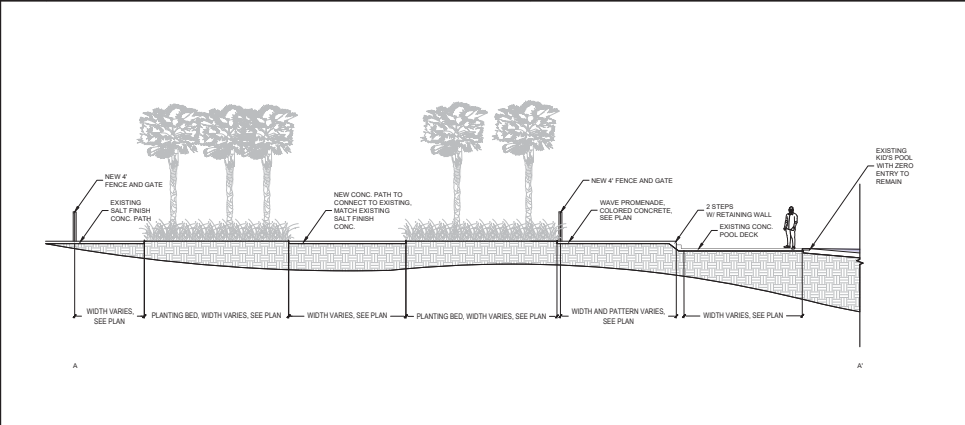
A SECTION ELEVATION MAP KEY



X INTENTIONALLY LEFT BLANK

B CONCEPTUAL SECTION ELEVATION B

C CONCEPTUAL SECTION ELEVATION B1



D CONCEPTUAL SECTION ELEVATION A

E CONCEPTUAL SECTION ELEVATION A1

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 CHARLOTTE, NC 28203
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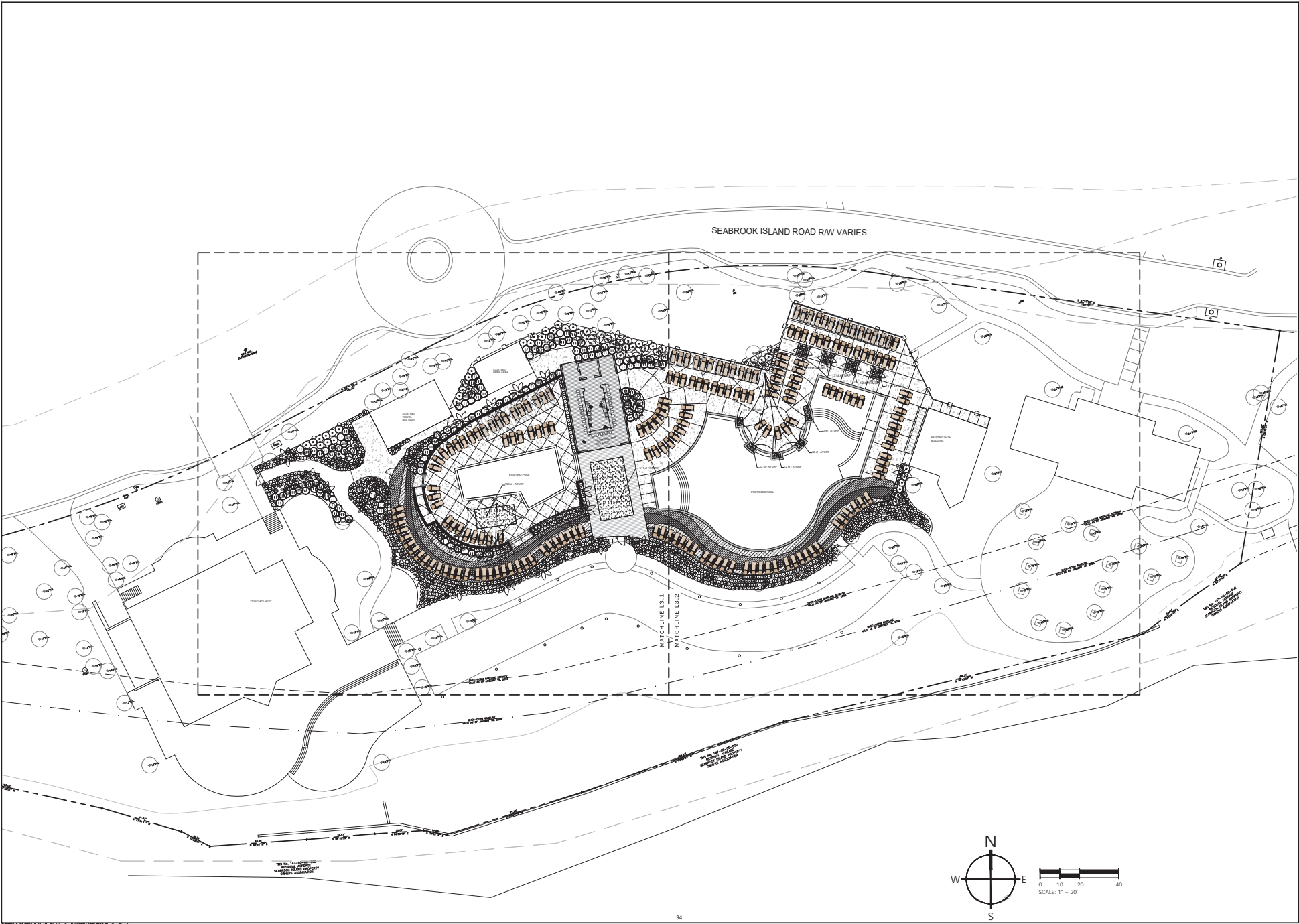
SEABROOK BEACH CLUB POOL RENOVATION
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
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REVISION HISTORY

DETAILS

601 HANCOCK PARK BOULEVARD, SUITE 500 MOUNT PLEASANT, SC 29566 | 803.867.5727 | SEASMON WHITESIDE & ASSOCIATES, INC.



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 GREENVILLE, SC 29615-2534
 SUMMERVILLE, SC 29586-1967
 SPARTANBURG, SC 29583-2534
 CHARLOTTE, NC 28203-2540
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**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
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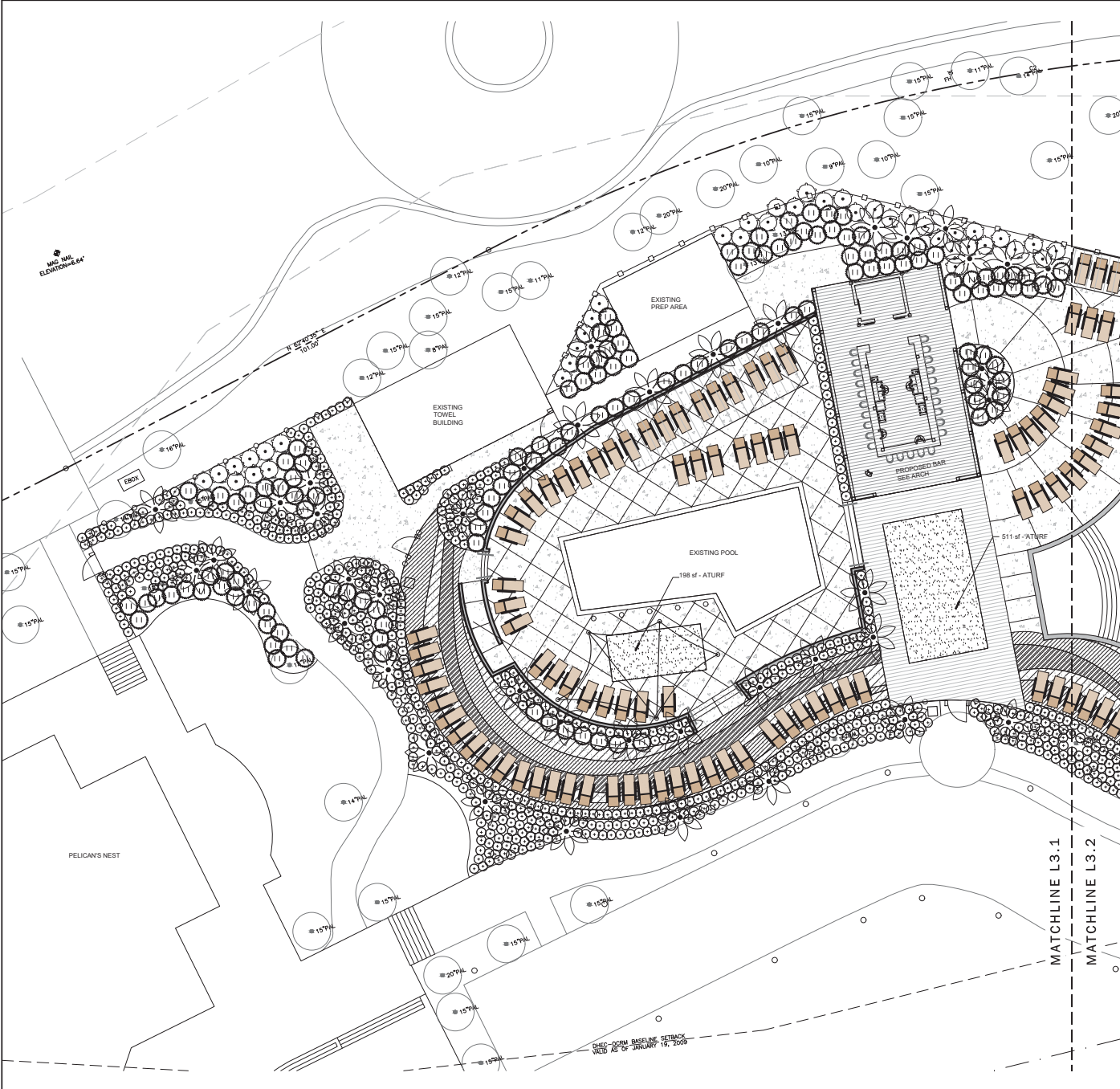
REVISION HISTORY

NO.	DESCRIPTION

OVERALL PLANTING PLAN

L 3.0

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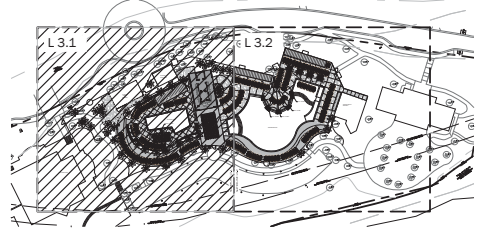
GENERAL NOTES:

1. SEE SWIPPY PLANS (SHEETS C.X.X - C.X.Y) FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
2. FOR TREE REMOVALS, PLEASE REFER TO SHEETS C.X.X - C.X.X.
3. FOR REQUIRED TREE MITIGATION AND DEVELOPMENT INCHES PER THE TOWN OF ... ZONING ORDINANCE, PLEASE REFER TO SHEET L-200 FOR PLANT SCHEDULE QUANTITY AND SIZES.
4. THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE, SHEET L-X-X.
5. SEE SITE PLAN (C.X.X & C.X.X) FOR SITE LABELS, INFORMATION AND DETAILS.
6. SEE HARDSCAPE SHEETS (XXXX - XXXX) FOR HARDSCAPE LABELS AND DETAILS.
7. CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD. CONTACT: 843.884.1667

PLANT SCHEDULE FOR SHEET L-3.1

PLANT SCHEDULE 1	CODE	BOTANICAL NAME / COMMON NAME	QTY
PALM TREES	SABP	Sabal palmetto / Cabbage Palmetto	42
	CAL LIT	Callistemon citrinus 'Little John' / Dwarf Bottle Brush	41
SHRUBS	MUHL	Muhlenbergia filipes / Sweeigrass	699
	PVCN	Panicum virgatum 'Cloud Nine' / Tall Switch Grass	134
SOORSEED	ATURF	Artificial Turf	709 sq ft

MASTER SHEET KEY



MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.884.1667
 SPARTANBURG, SC 864.298.0534
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**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
 DRAWN BY: WJK
 CHECKED BY: MM

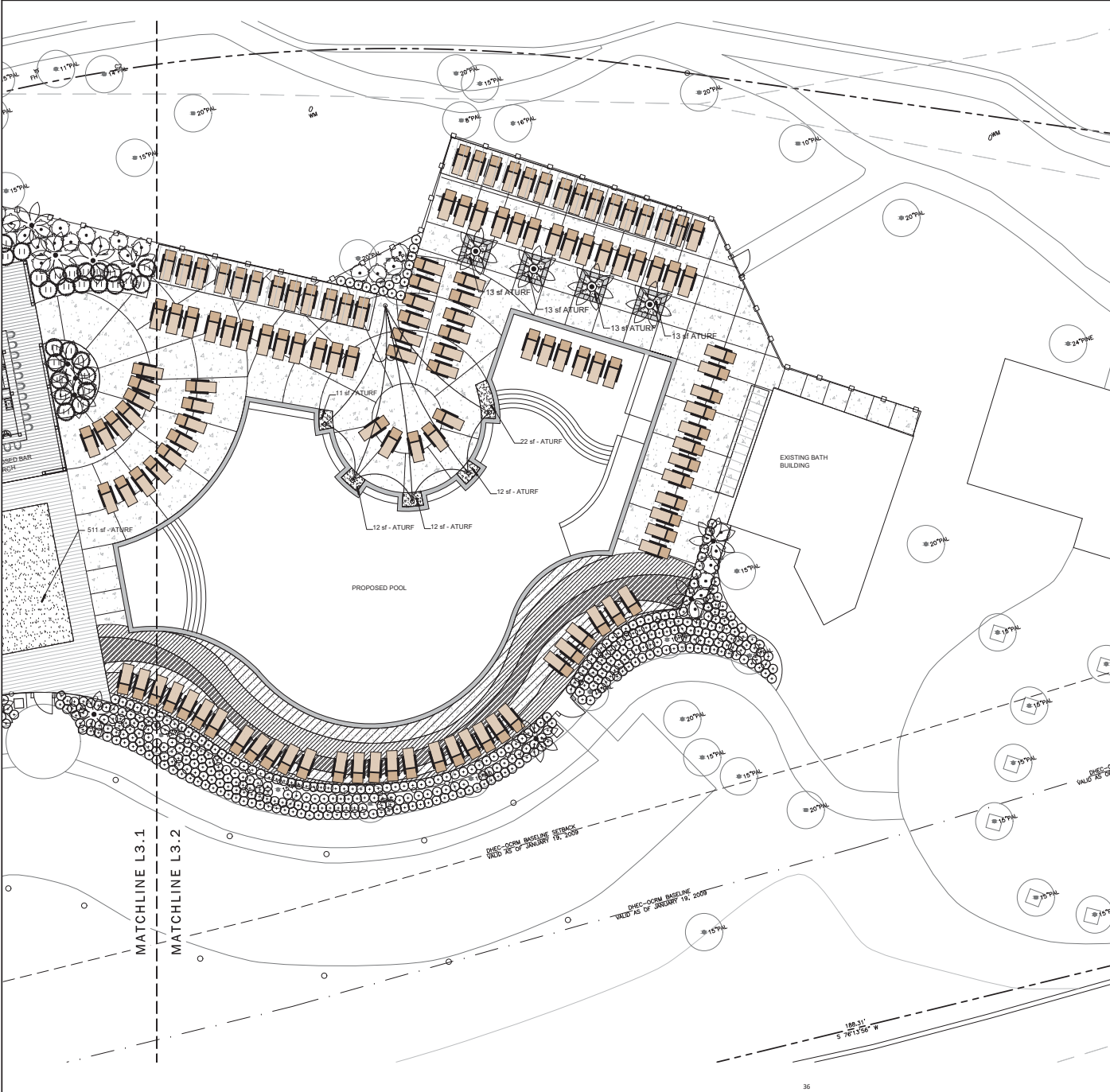
REVISION HISTORY

NO.	DESCRIPTION

PLANTING PLAN

L 3.1

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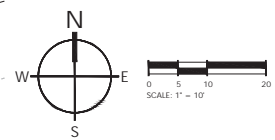
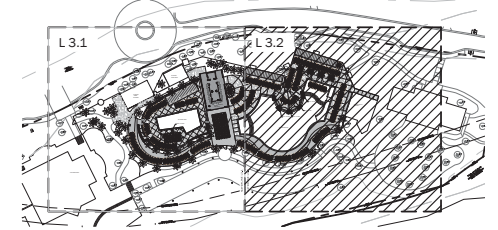
GENERAL NOTES:

1. SEE SWPPP PLANS (SHEETS CXX-X, CXX-X) FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
2. FOR TREE REMOVALS, PLEASE REFER TO SHEETS CXX-X, CXX-X.
3. FOR REQUIRED TREE MITIGATION AND DEVELOPMENT INCHES PER THE TOWN OF ... ZONING ORDINANCE, PLEASE REFER TO SHEET L-200 FOR PLANT SCHEDULE QUANTITY AND SIZES.
4. THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE, SHEET L.X.X.
5. SEE SITE PLAN (CXX-X & CXX-X) FOR SITE LABELS, INFORMATION AND DETAILS.
6. SEE HARDSCAPE SHEETS [XXXX-XXXX] FOR HARDSCAPE LABELS AND DETAILS.
7. CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD. CONTACT: 843.884.1667

PLANT SCHEDULE FOR SHEET L-3.2

PLANT SCHEDULE 2			
PALM TREES	CODE	BOTANICAL NAME / COMMON NAME	QTY
	SNBP	Seabra palmetto / Caribbean Palmetto	7
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	QTY
	CAL LIT	Callisemon coccineus Little John / Dwarf Bottle Brush	10
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	QTY
	MUHL	Muhlenbergia filipes / Sweetgrass	359
SO/SEED	CODE	BOTANICAL NAME / COMMON NAME	QTY
	ATURF	Artificial Turf	122 sf

MASTER SHEET KEY



MOUNT PLEASANT, SC 843.884.1667
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**SEABROOK BEACH CLUB
 POOL RENOVATION**
 SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
 DATE: 3/6/2019
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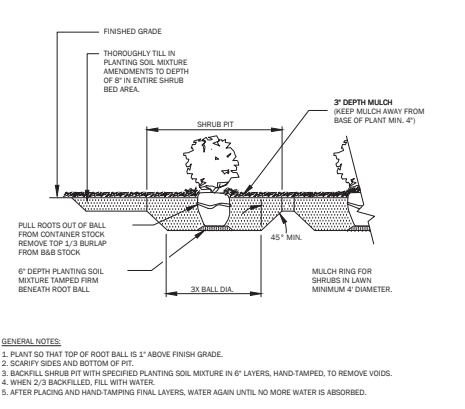
REVISION HISTORY	

PLANTING PLAN

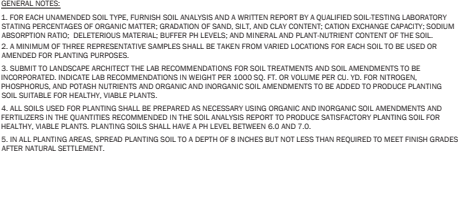
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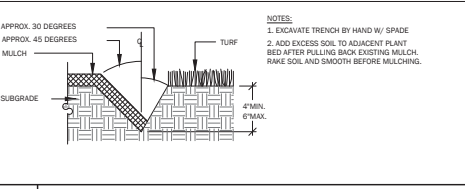
1 | INTENTIONALLY LEFT BLANK



2 | TYPICAL PALM TREE PLANTING



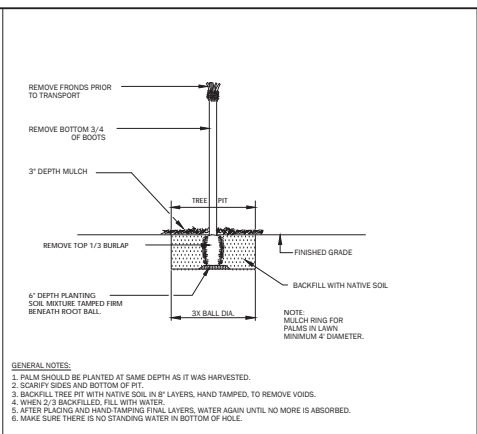
3 | TYPICAL SHRUB PLANTING



4 | GRASS/GROUND COVER PLANTING



5 | LAWN EDGE DETAIL



6 | SOIL NOTES

GENERAL NOTES:

1. PALM SHOULD BE PLANTED AT SAME DEPTH AS IT WAS HARVESTED.
2. SCARY BOOTS AND BOTTOM OF PIT.
3. BACKFILL TREE PIT WITH NATIVE SOIL IN 8\"/>

7 | GENERAL NOTES

GENERAL NOTES:

1. PLANT SO THAT TOP OF ROOT BALL IS 1\"/>

8 | GENERAL NOTES

GENERAL NOTES:

1. FOR EACH UNAMENDED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT AND CLAY CONTENT, CATION EXCHANGE CAPACITY, SODIUM ABSORPTION RATIO, DELETERIOUS MATERIAL, BUFFER PH LEVELS, AND MINERAL AND PLANT NUTRIENT CONTENT OF THE SOIL.
2. A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIOUS LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES.
3. SUBMIT TO LANDSCAPE ARCHITECT THE LAB RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. INDICATE LAB RECOMMENDATIONS IN WEIGHT PER 1,000 SQ. FT. OR VOLUME PER CU. YD. FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ORGANIC AND INORGANIC SOIL AMENDMENTS TO BE ADDED TO PRODUCE PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS.
4. ALL SOILS USED FOR PLANTING SHALL BE PREPARED AS NECESSARY USING ORGANIC AND INORGANIC SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED IN THE SOIL ANALYSIS REPORT TO PRODUCE SATISFACTORY PLANTING SOIL FOR HEALTHY, VIABLE PLANTS. PLANTING SOILS SHALL HAVE A PH LEVEL BETWEEN 6.0 AND 7.0.
5. IN ALL PLANTING AREAS, SPREAD PLANTING SOIL TO A DEPTH OF 8 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.

9 | GENERAL NOTES

GENERAL NOTES:

1. THE TECHNICAL SPECIFICATIONS ARE MADE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND ON THESE PLANS.
2. CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
3. THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE.
4. SIZE OF PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
5. THE QUANTITIES ON THE SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR ON THE PLANTING PLAN.

10 | GENERAL NOTES

PLANT SCHEDULE	CODE	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	SPREAD	QTY	REMARKS
	SABP	Sabal palmetto / Cabbage Palmetto	B & B	12'	AS SHOWN	49	1/4" Booted, FWF, SP
	CAL LIT	Callistemon citrinus 'Little John' / Dwarf Bottle Brush	3 gal.		AS SHOWN	51	
	MUHL	Muhlenbergia filipes / Sweetgrass	1 gal			1,058	FWF
	PVCN	Panicum virgatum 'Cloud Nine' / Tall Switch Grass	1 gal			134	FWF
	ATURF	Artificial Turf	sod			831 sf	

11 | PLANT SCHEDULE

FWF	FULL WELL FORMED	MS	MULTI-STEMMED TRUNK	EGG	EGG CAN CONTAINER	CON	CONTAINERIZED MATERIAL
SP	SPECIMEN MATERIAL	CAL	TRUNK CALIPER	B&B	BALLED AND BURLAPPED MATERIAL	BR	BASE ROOT MATERIAL
TF	TREE FORM HABIT	GAL	GALLON CONTAINER			ESP	ESPALIER

12 | PLANT SCHEDULE

SEABROOK BEACH CLUB POOL RENOVATION

SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
DATE: 3/6/2019
DRAWN BY: WJK
CHECKED BY: MM

REVISION HISTORY

NO.	DESCRIPTION

PLANT SCHEDULE & DETAILS

L 3.3

MOUNT PLEASANT, SC 29566-1967
GREENVILLE, SC 29620-0534
SUMMERVILLE, SC 29584-1967
SPARTANBURG, SC 29583-0534
CHARLOTTE, NC 28203-5450
WWW.SEAMONWHITESIDE.COM

SEAMON WHITESIDE & ASSOCIATES, INC.
No. 000472
STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 1450
REGISTERED PROFESSIONAL ARCHITECT
STATE OF SOUTH CAROLINA

SEABROOK BEACH CLUB POOL RENOVATION

SEABROOK ISLAND, SOUTH CAROLINA

SW+ PROJECT: 7993
DATE: 3/6/2019
DRAWN BY: WJK
CHECKED BY: MM

REVISION HISTORY

NO.	DESCRIPTION

PLANT SCHEDULE & DETAILS

L 3.3



RUSH DIXON ARCHITECTS, LLC

875 Coleman Blvd.
Mt. Pleasant, SC 29464
Mobile: 843.270.8945
rush@rushedixon.com
www.rushedixon.com



SEABROOK BEACH CLUB POOL BAR STRUCTURE

'19

Seabrook Beach Club
Seabrook Island, SC
29455

Schematic Design - March 12, 2019

Rev#	Date	Description

Project #: 18•13



POOL BAR
STRUCTURE



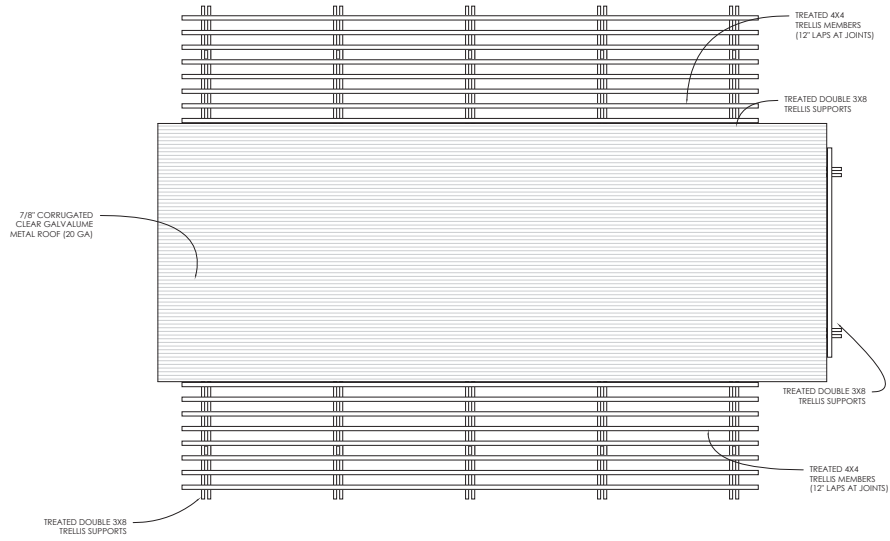
RUSH DIXON ARCHITECTS, LLC

875 Coleman Blvd.
Mt. Pleasant, SC 29464
Mobile: 843.270.8945
rush@rushdixon.com
www.rushdixon.com

'19

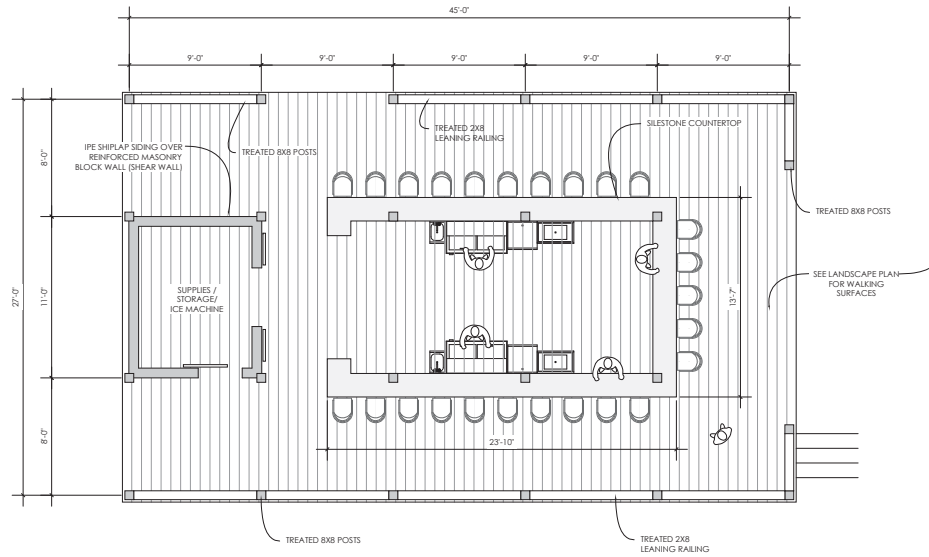
Seabrook Beach Club
Seabrook Island, SC
29455

Schematic Design - March 12, 2019



A2 PROPOSED ROOF PLAN

1/4" = 1'-0"



A1 PROPOSED FLOOR PLAN

1/4" = 1'-0"

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Rev#	Date	Description
1	03.12.19	Schematic Design

Project #: 18-13



POOL BAR
STRUCTURE PLANS

2 of 11

1
Rev #



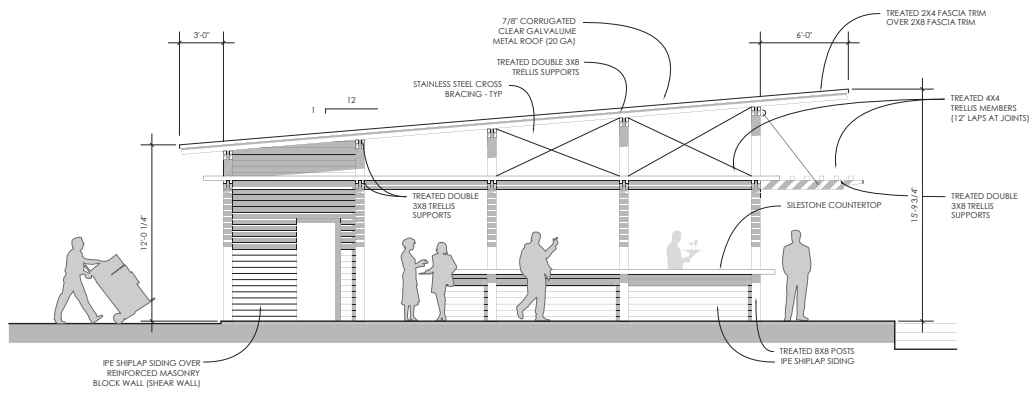
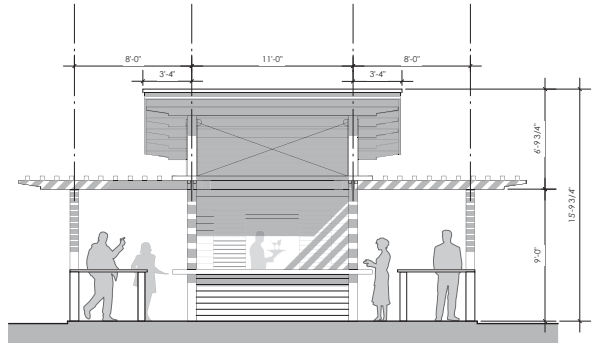
RUSH DIXON ARCHITECTS, LLC

875 Coleman Blvd.
Mt. Pleasant, SC 29464
Mobile: 843.270.8945
rush@rushdixon.com
www.rushdixon.com

'19

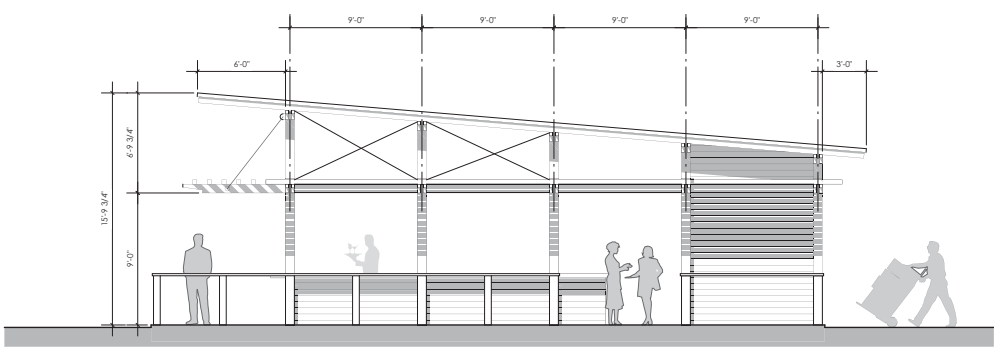
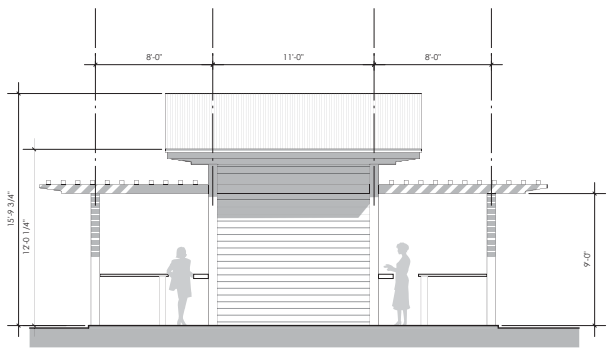
Seabrook Beach Club
Seabrook Island, SC
29455

Schematic Design - March 12, 2019



A2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

B3 PROPOSED WEST ELEVATION/SECTION
1/4" = 1'-0"



A1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

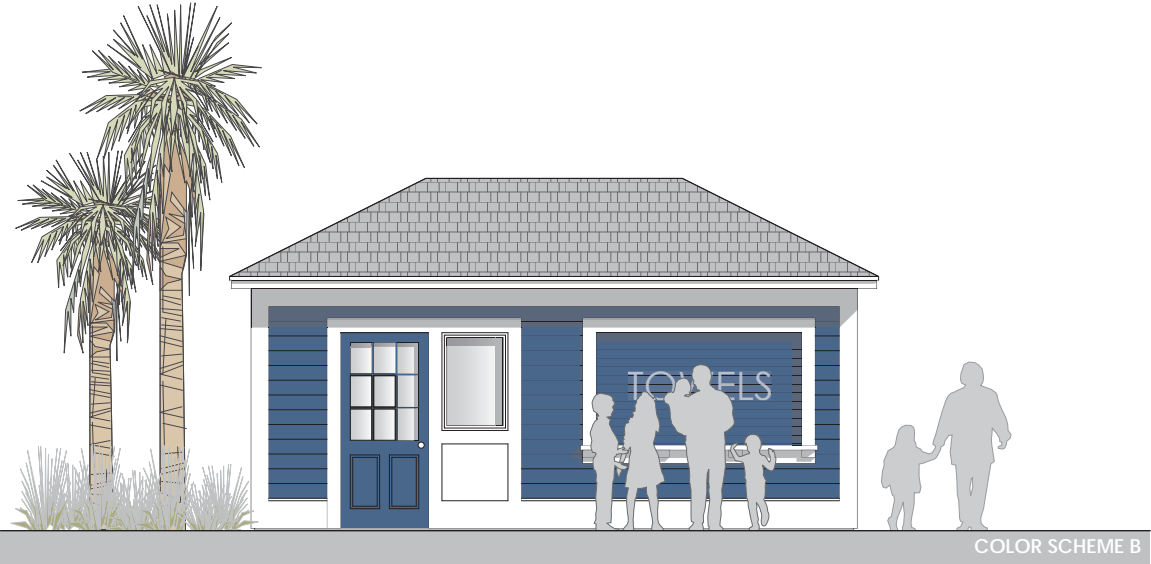
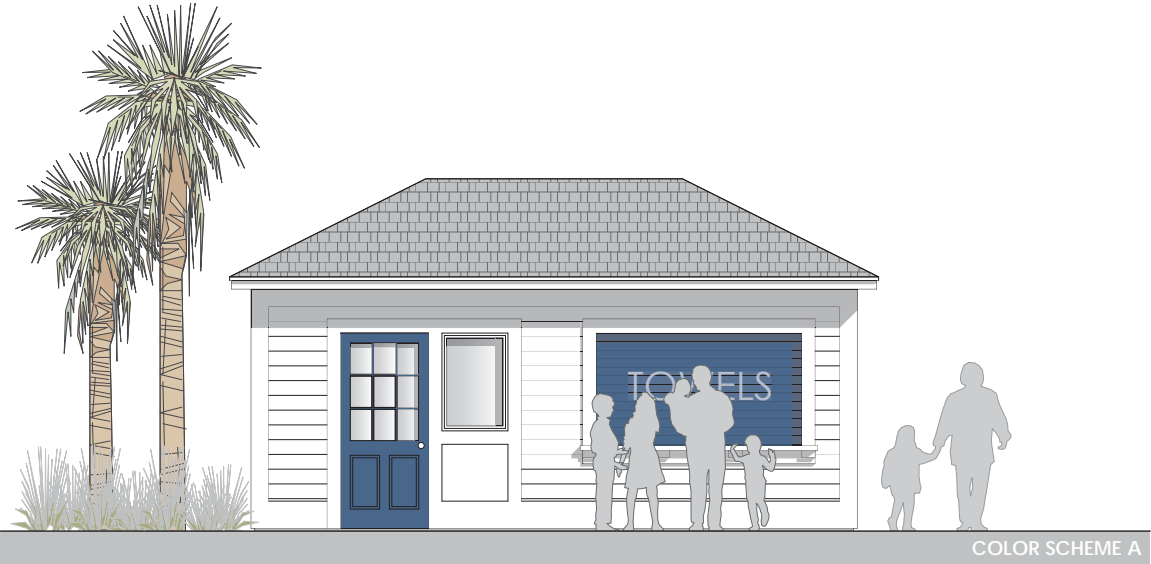
B1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

Rev#	Date	Description
03.12.19		Schematic Design

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POOL BAR STRUCTURE ELEVATIONS



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Sedbrook Beach Club
Sedbrook Island, SC
29455

Schematic Design - March 12, 2019

Rev#	Date	Description
Δ 03.12.19		Schematic Design

Project #: 18•13



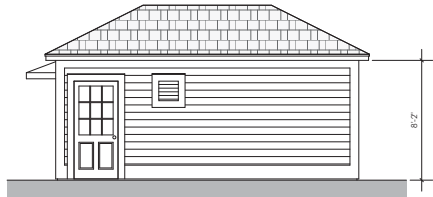
TOWEL BUILDING

4 of 11



RUSH DIXON ARCHITECTS, LLC

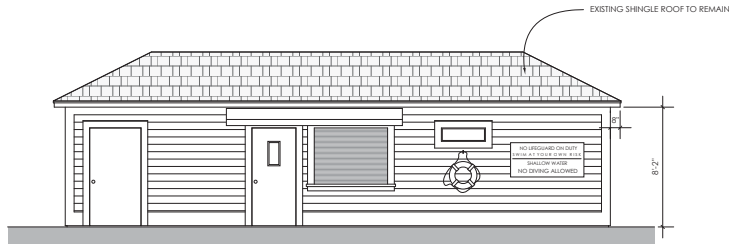
875 Coleman Blvd.
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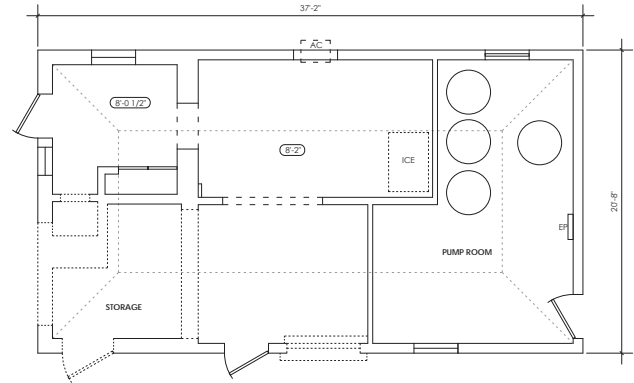
A3 EXISTING EAST ELEVATION
1/4" = 1'-0"



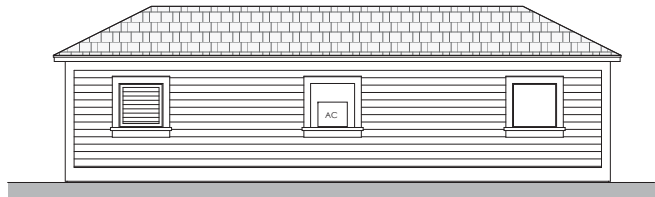
B3 EXISTING WEST ELEVATION
1/4" = 1'-0"



A2 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



B1 EXISTING / DEMO FLOOR PLAN
1/4" = 1'-0"



A1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

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Seabrook Beach Club
Seabrook Island, SC
29455

Schematic Design - March 12, 2019

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EXISTING TOWEL BUILDING

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1
Rev #



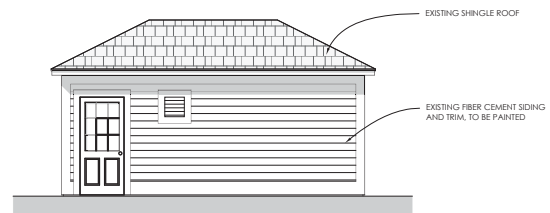
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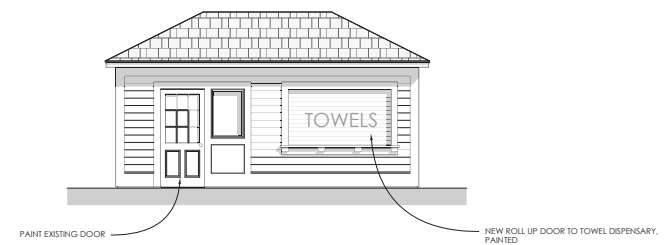
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Seabrook Beach Club
Seabrook Island, SC
29455

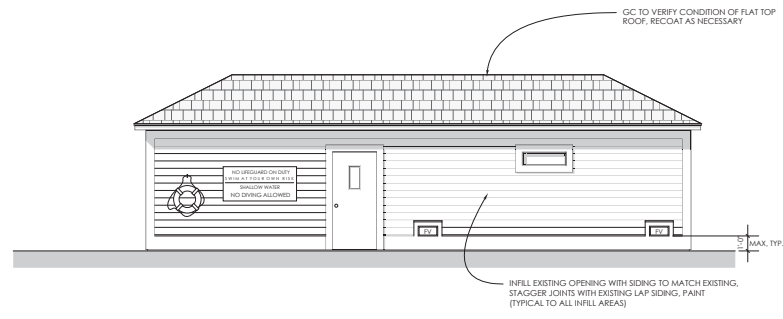
Schematic Design - March 12, 2019



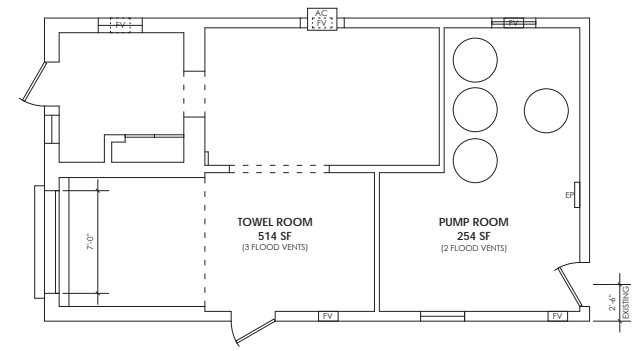
A3 PROPOSED EAST ELEVATION
1/4" = 1'-0"



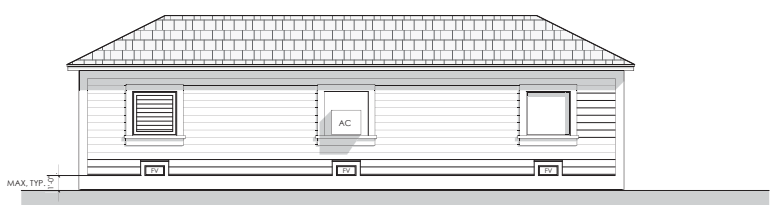
B3 PROPOSED WEST ELEVATION
1/4" = 1'-0"



A2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



B1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



A1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

TOTAL: 768 SF

Rev#	Date	Description
1	03.12.19	Schematic Design

Project #: 18•13



PROPOSED TOWEL BUILDING

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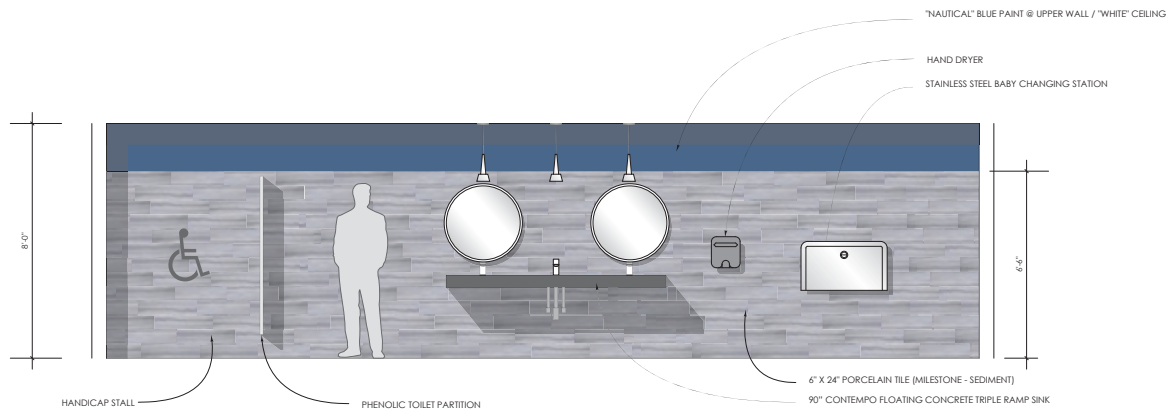
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Sedbrook Beach Club
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Schematic Design - March 12, 2019



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BATHROOM
 INTERIOR ELEVATIONS



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Seabrook Beach Club
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29455

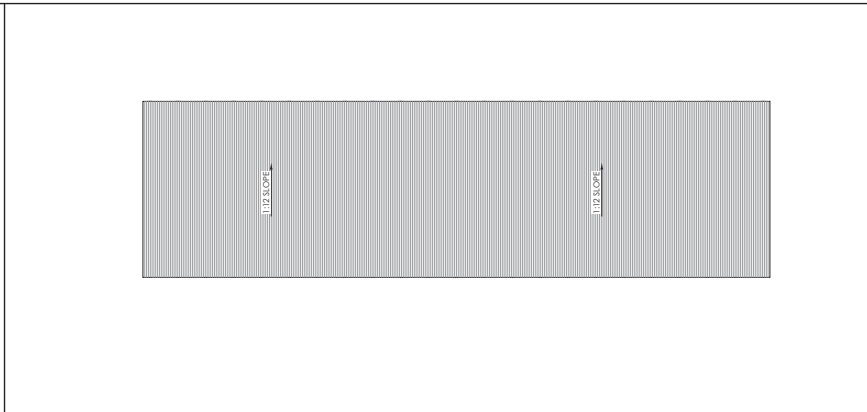
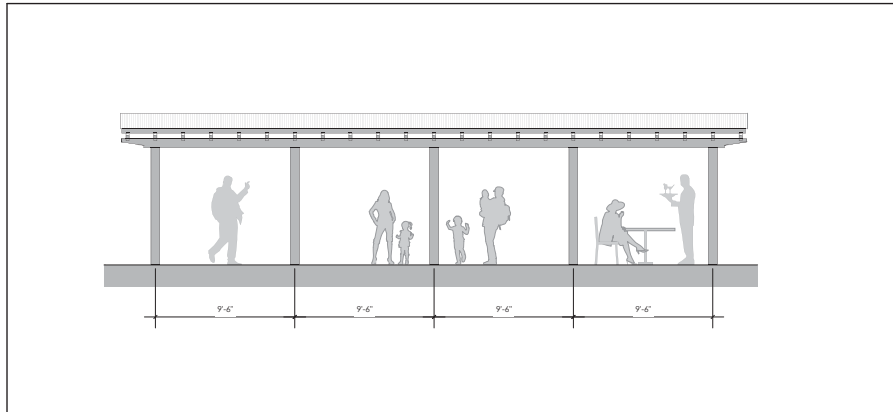
Schematic Design - March 12, 2019

Rev#	Date	Description

Project #: 18-13

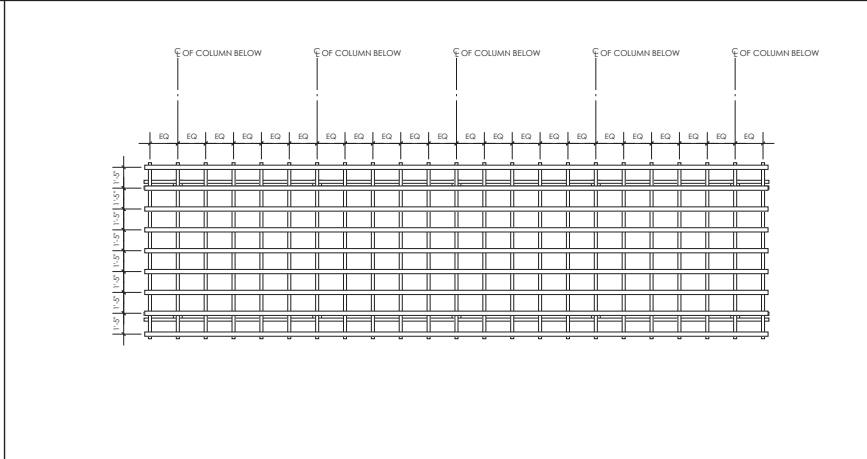
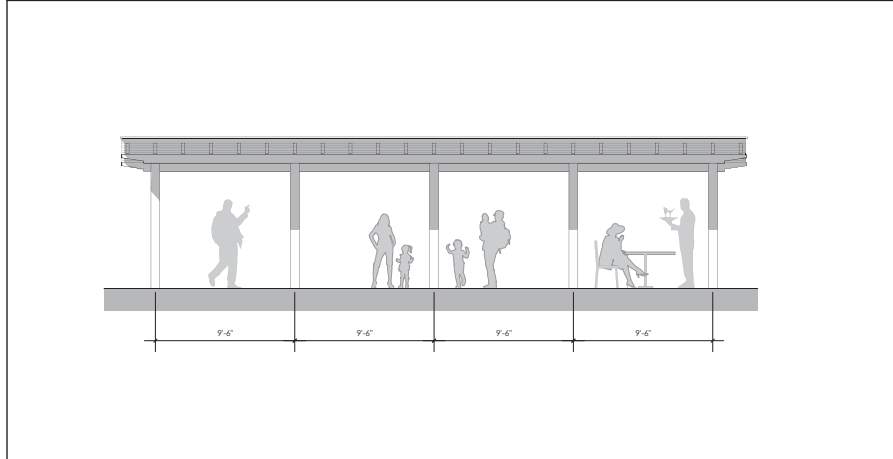


SHADE STRUCTURE



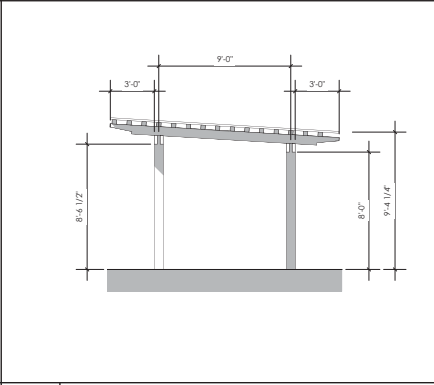
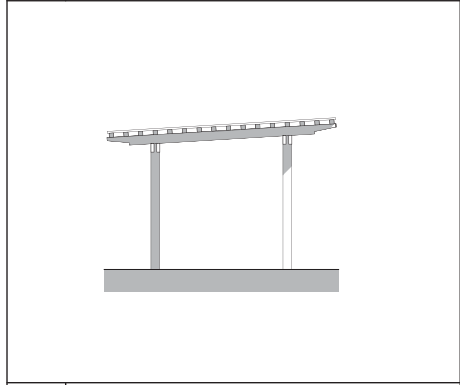
A3 PROPOSED NORTH ELEVATION 1/8" = 1'-0"

B3 PROPOSED ROOF PLAN 1/8" = 1'-0"



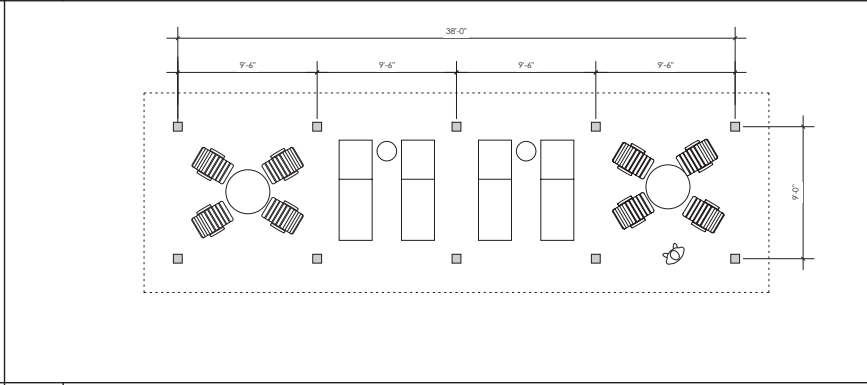
A2 PROPOSED SOUTH ELEVATION 1/8" = 1'-0"

B1 PROPOSED RAFTER/PURIN LAYOUT 1/8" = 1'-0"



A1 PROPOSED WEST ELEVATION 1/8" = 1'-0"

A1 PROPOSED EAST ELEVATION 1/8" = 1'-0"



B1 PROPOSED FLOOR PLAN 1/8" = 1'-0"

BRANKS

GENERAL CONTRACTORS INC.

5530 Savannah Highway, Ravenel, SC 29470
P.O. Box 469 Ravenel, SC 29470

Phone: (843) 564-1387
Fax: (843) 559-3690

March 27, 2019

Seabrook Island Club
3772 Seabrook Island Road
Seabrook Island, SC 29455

Project: Seabrook Beach Club Pool Restroom Renovation

Attn: Mr. Caleb Elledge, CCM

Branks General Contractors proposes to furnish all labor, material, taxes, insurance, tools, equipment, services, and incidentals necessary to partially demo/re-construct the interior of the restroom building for the lump sum amount of Seventy Five Thousand Dollars (**\$75,000.00**).

Clarification:

- Demo Existing Fixtures
- Install Composite Doors, Frames and Hardware
- Painting Interior of RR
- Solid Plastic Toilet Partitions and Urinal Screen
- Toilet Accessories, Toilet Paper Holders, Grab Bars and Mirrors. Re-Use Baby Changing Tables, and Paper Towel Dispensers
- New Plumbing Fixtures

Exclusions:

- Testing/SWPPP Monitoring or Inspections
- Temporary Power and Water
- Outside Water and Sewer
- Roofing
- Ardex or Floor Leveling
- Painting the Exterior of the Building
- Fire Alarm System/Sprinkler System
- Location and Relocation of Utilities
- Tap and Impact Fees

We very much appreciate the opportunity to provide you a quote on this project.
Should you have any questions, please give me a call.

BRANKS General Contractors



Charles T. Branks
President

Appraisals - C. O. Nick Thompson, III, MAI, SRA

Counseling

Real

Estate

4996 Maybank Highway

Wadmalaw Island, S. C. 29487

Email: Nick@acrecot3.com

Principal, retired

Marie W. Thompson, CR

Phone 843-762-5722

Cell 843 696 5444

January 25, 2019

Mr. John Wilcox
The Seabrook Island Club Incorporated
Seabrook Island
John's Island, South Carolina, 29455

RE: Analysis of the Insurable Value of the Improvements
of towel bldg. & Bath building, Seabrook Island,
John's Island, South Carolina

Dear Mr. Wilcox & Mr. Romano:

In accordance with your request, the undersigned has inspected the above property and made the requisite investigation to estimate the Insurable value of the improvements as of January 21, 2019. Insurable Value as used above is defined in the attached report.

Based on the appraiser's investigation, analysis and conclusions, an opinion has been formed that the Insurable value of the subject property, in the fee simple estate, subject to the Certification, General Assumptions and General Limiting Conditions, (which are incorporated into this letter by reference and which are fully set forth in the attached report) was:

TOWEL BUILDING

The towel building has a size of 717.6 SF. by 8 feet high. Consulting the current Marshall Swift Valuation manual, the basic building has an estimated cost of \$39.75/SF adjustments are perimeter 1.18, fl hgt. .98, to current (time) 1.08, .90 loc mod, Seabrook added cost factor 1.12, total adjustment = 1.259, or \$50.04/ SF X 717.6 SF = \$35,912 estimated cost of basic building. Plus FF&E equipment in pump section are not included as they are a part of the pool asset.

Mr. John Wilcox
January 25, 2019
Page 2

BATH BUILDING

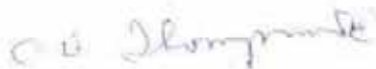
The bath building has a size of 1,090.44 SF. by 8 feet high. Consulting the current Marshall Swift Valuation manual, the basic building has an estimated cost of \$39,75/SF adjustments are perimeter 1.10, fl hgt. .98, to current (time) 1.08, .90 loc mod, Seabrook added cost factor 1.12, total adjustment = 1,259, or \$46.65/ SF X 1,090.44 SF = \$50,869 estimated cost of basic building. To this figure the finish cost of the ceilings, 6 X 6 tiled walls and floors, estimated 2,400 SF at \$20.32/SF = \$48,768 and the 17 Plumbing fixtures of the bathrooms must be added, total estimated plumbing cost \$39,000, based on unit costs from cost manual. Total building cost \$50,869 + \$48,768 + \$39,000 = \$138,636, plus 1.12 location adjustment = \$155,300 The pool FF&WE are not included as they are considered a part of the pool asset.

	TOWEL B.	BATH B.
Estimated RCN (Rounded)	\$35,900	\$155,300

To the best of my ability, this appraisal meets or exceeds the requirements of Title XI of the Financial Institution Reform, Recovery and Enforcement Act (FIRREA) of 1989, Public Law 101-73, 103 STAT. 183, 51) (1989). The appraisal has also been made in conformity with the Code of Ethics of and Uniform Standards of Professional Appraisal Practice of the Appraisal Institute.

If you have any questions, please call me at (843) 762-5722.

Sincerely,



C. O. Thompson, III, MAI, SRA
S. C. Certification CG 85

COTIII:
19C-003















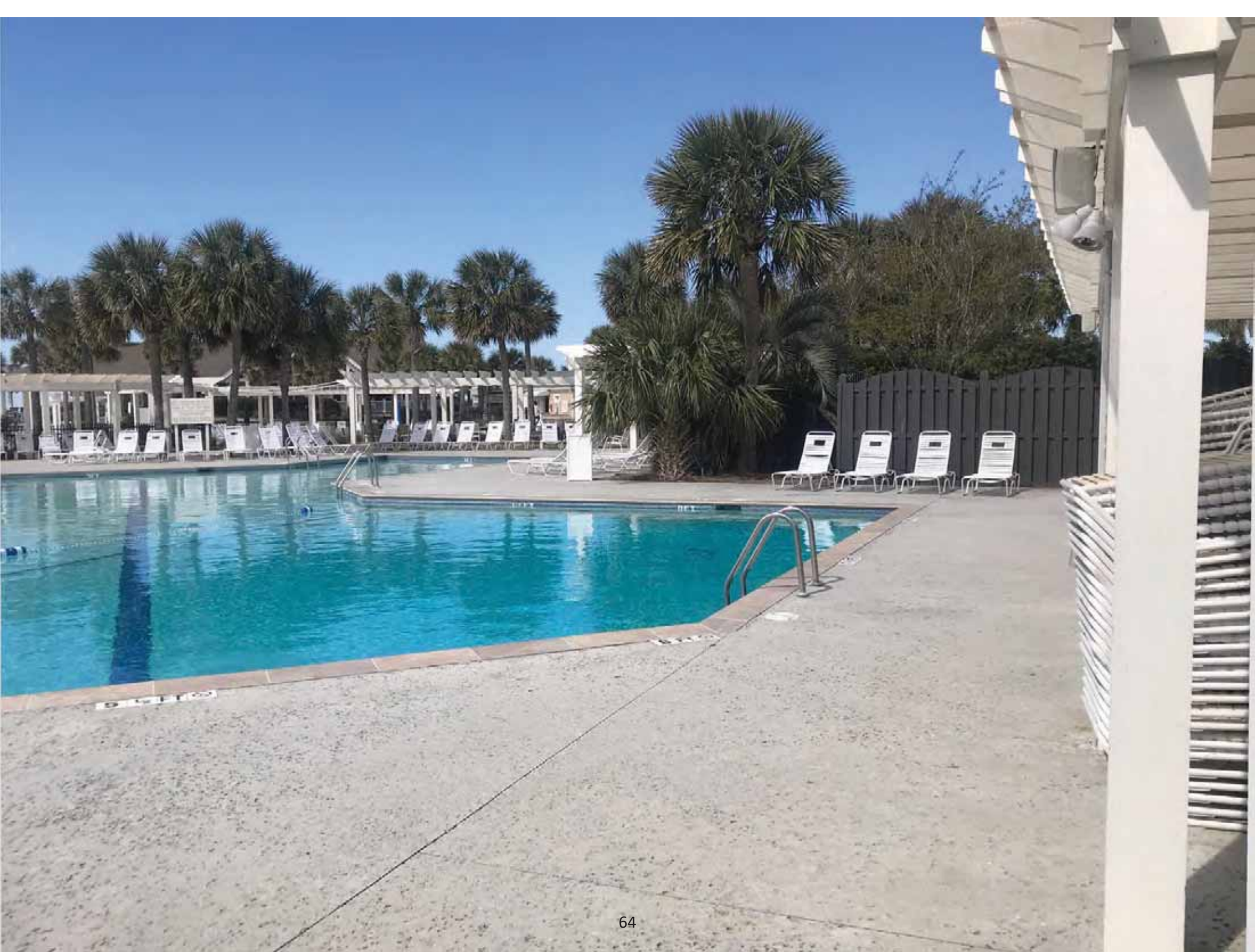








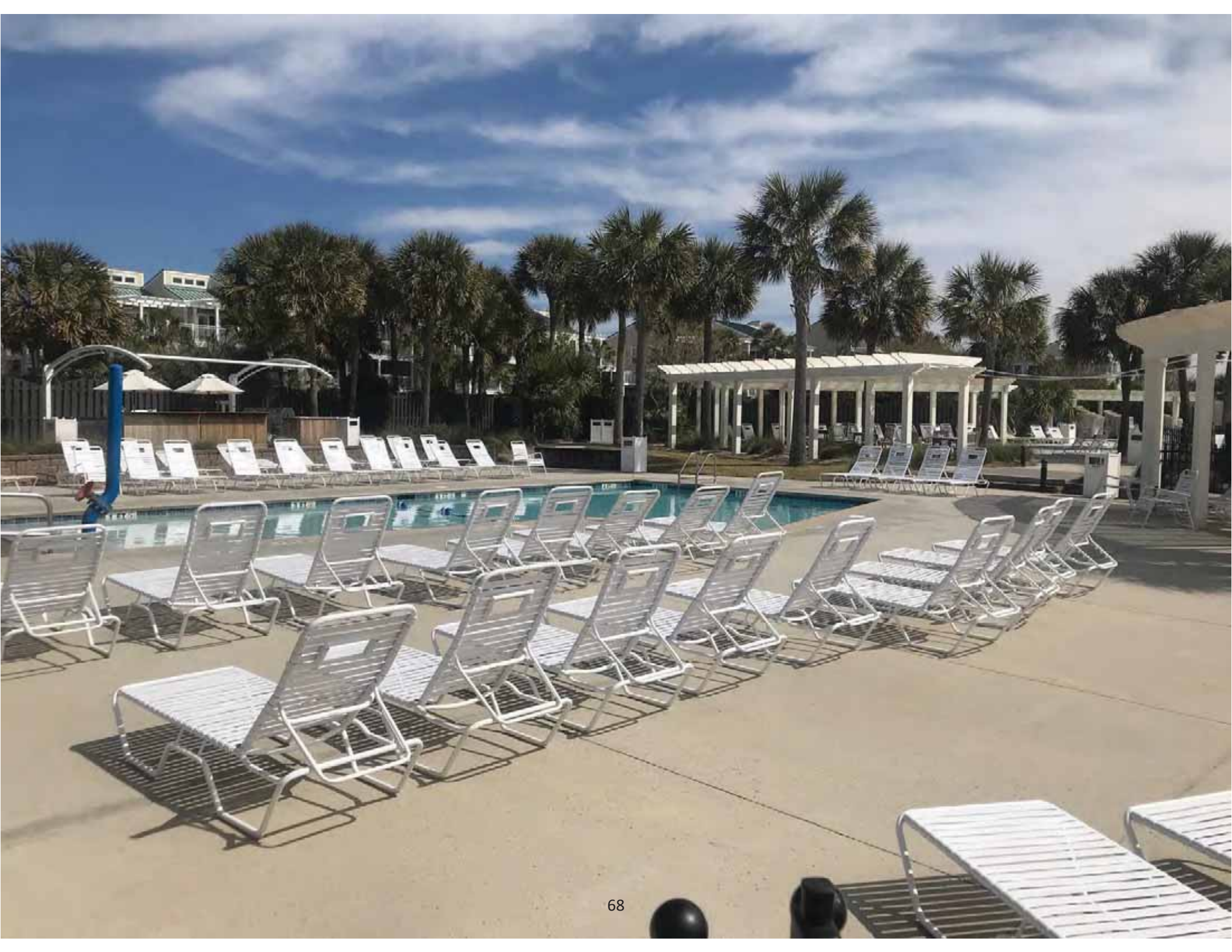




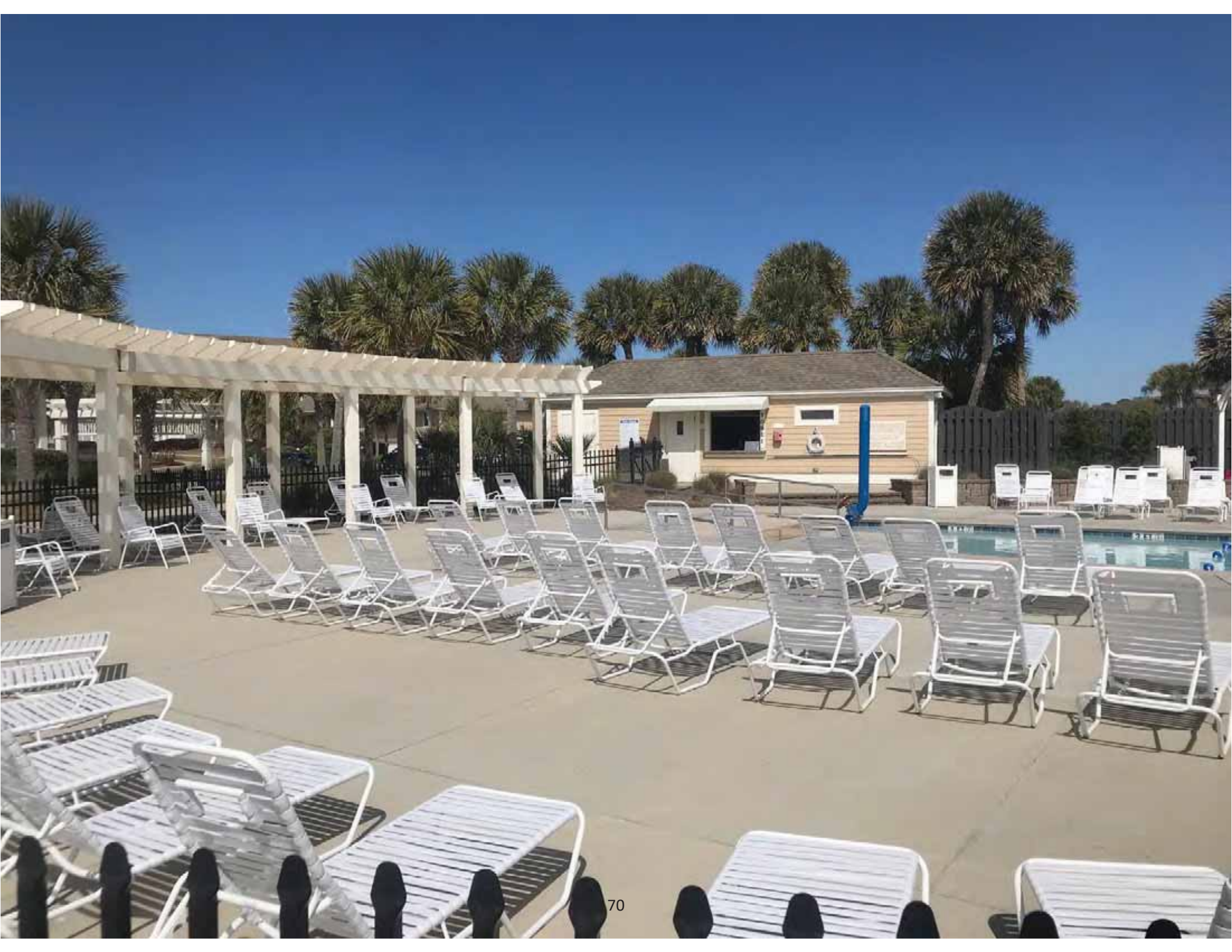


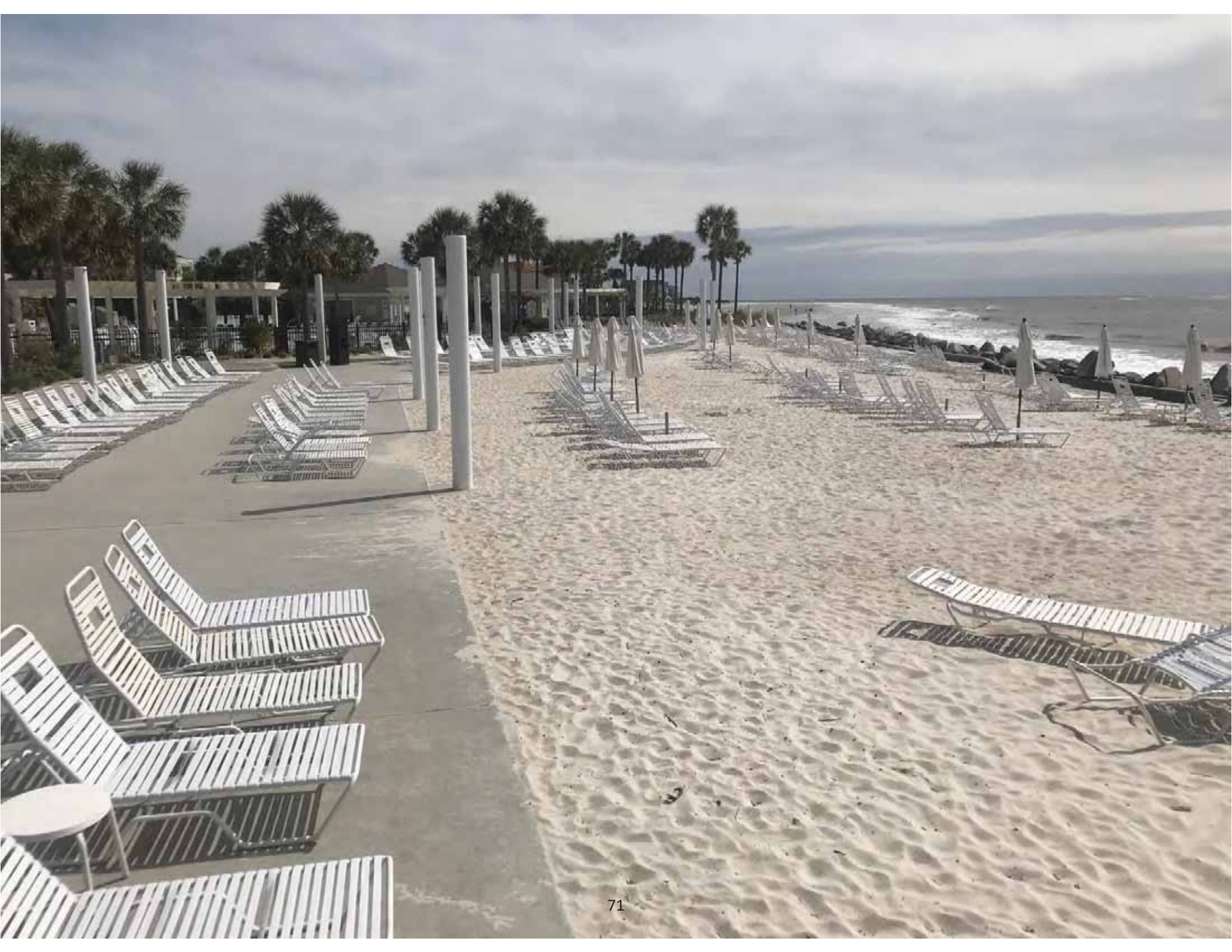
















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