

TOWN OF SEABROOK ISLAND

Planning Commission Regular Meeting
December 13, 2023 – 1:30PM

Town Hall, Council Chambers
2001 Seabrook Island Road
Seabrook Island, SC 29455



[Watch Live Stream \(YouTube\)](#)

AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. **Regular Meeting: November 8, 2023** *[pages 2 – 4]*

OLD BUSINESS ITEMS

There are no old business items

NEW BUSINESS ITEMS

1. **Commercial Site Plan Review: Seabrook Island Racquet Club Phase 1B** *[pages 5 – 65]*

Request from The Club at Seabrook Island for Phase 1B improvements at the Seabrook Island Racquet Club.

2. **Rezoning Request: 2723 Old Oak Walk** *[pages 66 – 82]*

An ordinance amending the Zoning Map of the Town of Seabrook Island so as to change the zoning designation for Charleston County Tax Map Number 147-06-00-070, containing approximately 0.225 +/- acres located at 2723 Old Oak Walk, from the Moderate Lot Single Family (R-SF2) District to the Conservation (CP) District.

ITEMS FOR INFORMATION / DISCUSSION

There are no items for information/discussion

ADJOURN

TOWN OF SEABROOK ISLAND

Planning Commission Regular Meeting

November 8, 2023

[Watch Live Stream \(YouTube\)](#)



MINUTES

Present: Wayne Billian (Vice Chair), Tom Hund, Jim Newton, Sharon Welch (virtual)

Absent: Stan Ullner (Chair)

Staff: Joe Cronin (Town Administrator), Tyler Newman (Zoning Administrator), Robin Ochoa (Communications & Events Manager), Katharine Watkins (Asst. Town Administrator)

Guests: None.

Vice Chair Billian called the meeting to order at 1:32PM.

APPROVAL OF MINUTES

1. Regular Meeting: August 9, 2023

Mr. Newton moved to approve the previous meeting minutes of August 9; Mr. Hund seconded. All voted in favor.

The previous meeting minutes of August 9th were approved.

OLD BUSINESS ITEMS

There are no old business items.

NEW BUSINESS ITEMS

1. **Rezoning Request: 2856 Cap'n Sam's Road**

Zoning Administrator Newman summarized the rezoning request at 2856 Cap'n Sams Rd from Moderate Lot Single Family (R-SF2) to Conservation (CP) District.

Mr. Newton moved to recommend approval of the rezoning 2856 Cap'n Sams Rd from Moderate Lot Single Family (R-SF2) to Conservation (CP) District; Mr. Hund seconded. All voted in favor.

The rezoning recommendation for 2856 Cap'n Sams Rd was approved.

2. **Text Amendment: Ordinance 2023-15**

Town Administrator Cronin summarized Ord. 2023-15 which would amend the Development Standards Ordinance for the Town of Seabrook Island, South Carolina; Article 2, General Provisions; Section 2.1, General Compliance; So as to repeal Subsection (E) pertaining to the placement and storage of trash, litter and junk on premises within the town; Article 9, Conditional Use Requirements; Section 9.4, Specific Use Requirements; so as to amend the condition use provisions of Subsection (O) pertaining to short-term rentals units; and Appendix E, Fee Schedule; so as to update the schedule of fees to reflect changes relating to permitting requirements and procedures for short-term rental units within the town.

Discussions were had with members of the commission.

Zoning Administrator Newman summarized the enforcement side of the proposed Ord. 2023-15 and the proposed nuisance ordinance.

Mr. Newton moved to recommend approval of Ord. 2023-15 as presented and to include an exception to the proposed cap for owner-occupied properties (4% tax base and renting for 72 days or less); Ms. Welch seconded.

Discussions were had with members of the commission.

Using the motion, a vote was taken, all voted in favor.

The recommendation was approved with the amendment for owner occupied properties.

ITEMS FOR INFORMATION / DISCUSSION

1. Discussion of the Board of Zoning Appeals recommendation for the Planning Commission to consider proposing amendments to Development Standards Ordinance Table 2-4E, Encroachments into Required Setbacks, to allow for certain pervious structures to encroach into required setbacks.

Zoning Administrator Newman summarized the Board of Zoning Appeals recommendation for the Planning Commission to consider proposing amendments to Development Standards Ordinance Table 2-4E, Encroachments into Required Setbacks, to allow for certain pervious structures to encroach into required setbacks.

Discussions were had with members of the commission.

2. Commissioner Billian's discussion of his desired amendments to Development Standards Ordinance Article 12, Parking and Loading, to include specific parking requirements for low-speed vehicles (LSV's).

Vice Chair Billian summarized his desired amendments to Development Standards Ordinance Article 12, Parking and Loading, to include specific parking requirements for low-speed vehicles (LSV's).

Discussions were had with members of the commission and Zoning Administrator Newman.

Discussions were had with members of the commission related to including designated EV charging stations.

3. Traffic Signage along Seabrook Island Road

Discussions were had with members of the commission with Town Administrator Cronin regarding the new traffic signage along Seabrook Island Road.

ADJOURN

Chair Billian moved to adjourn the meeting; Mr. Hund seconded. All voted in favor.

The meeting adjourned at 3:14PM.

Date: November 8, 2023

Prepared by: *Katharine E. Watkins*
Assistant Town Administrator

Note: These minutes are not verbatim minutes. To listen to the meeting, please use the following link:
<https://www.youtube.com/@townofseabrookisland5287/streams>



MEMORANDUM

TO: Planning Commission Members
FROM: Tyler Newman, Zoning Administrator
SUBJECT: Commercial Plan Review: Seabrook Island Racquet Club Phase 1B Improvements
MEETING DATE: December 13, 2023

Summary

The Planning Commission is asked to review and approve a request from The Club at Seabrook Island for Phase 1B improvements at the Seabrook Island Racquet Club which include the construction of a parking lot with pervious pavement stalls, conversion of an existing parking lot for low-speed vehicles, a new maintenance building with restrooms and associated utility services (1115 square feet), a new storage building with a hitting wall and half-court practice area, five new pickle ball courts, connecting sidewalks, and other small improvements and landscaping. The project will be located at 1701 Long Bend Drive with a Charleston County Tax Map Number of 149-01-00-001 as well as the Racquet Club owned parcel across Long Bend Drive with a Charleston County Tax Map Number of 149-01-00-093.

According to the Applicant, the pickle ball courts and hitting wall are in response to membership requests and a shortage of court time for racquet enthusiasts at the existing Racquet Club facilities. Additionally, the Applicant indicates that the maintenance building will replace the existing building and be used to store clay deliveries and provide restrooms to players on the norther property of the Racquet Club. The parking improvements are an effort to accommodate the new pickle ball court locations while also providing additional parking to support the needs of the Racquet Club.

The property is zoned Recreation (RC), and Open-Air Recreation is an approved conditional use. Per DSO § 9.4.1.1 the condition associated with an unlighted athletic court is that “unlighted athletic courts shall provide a level “B” buffer adjacent to any residential zoning boundary”. This condition is not applicable to the approval in question because the proposed pickleball and bocce courts are not directly adjacent to a residential zoning district boundary therefore the buffer isn’t required.

Copies of the applicant’s narrative, plans, supple and supplemental material are included for review.

Staff Analysis

Setback Requirements:

Four out of five of the proposed pickle ball courts, the proposed new maintenance building, and the proposed storage building with practice court and hitting wall all comply with the required 20’ front setback for structures from Seabrook Island Road and Long Bend Drive. Furthermore, the proposed parking lot complies with the required 30’ front setback for parking from Seabrook Island Road and Long Bend Drive. There is a portion of the Low-Speed Vehicle (LSV) parking area that encroaches into the 30’ front parking setback from Long Bend Drive however this is an existing asphalt parking area that is only being restriped to accommodate LSV’s and is therefore considered an existing nonconforming structure.

A portion of one of the proposed pickle ball courts and associated fencing encroaches 11’ into the required 20’ front setback for structures from Long Bend Drive. Neither the fence nor pickle ball court are an allowable encroachment into a required front setback. However, on November 22, 2023, the Town of Seabrook Island Board of Zoning Appeals reviewed and approved Variance #184 which included a variance request from DSO § 4.3.B, RC District Setbacks, to allow 34’ of fencing and pickle ball court to encroach 11’ into the required 20’ front setback for

buildings and structures.

Parking & Corresponding Landscaping Requirements:

Per the applicant's parking summary, the addition of the five pickle ball courts and associated improvements will result in the need for one (1) additional parking space on site beyond the 45 spaces that are currently provided with the existing parking lot. The proposed new parking lot will provide the DSO required 46 parking spaces. The Applicant is also proposing to provide 15 LSV parking spaces in an effort to reduce the amount of standard vehicle traffic to and from the property.

The DSO does not differentiate between standard vehicle parking spaces and LSV parking spaces therefore the proposed LSV parking is considered excess. Per DSO § 12.3.F, "in approving additional parking spaces beyond 10 percent, the site plan reviewing authority shall determine that the parking is necessary, based on documented evidence, to accommodate the use on a typical day". In this case the "site plan reviewing authority" is the Planning Commission and the Applicant has provided a narrative and corresponding photos for the Planning Commission to consider as justification for the excess LSV parking spaces. Staff has reviewed the Applicant's narrative and concurs that the excess LSV spaces are justified, however that is ultimately a determination that must be made by the Planning Commission.

DSO § 12.3.F also requires that all excess parking spaces be constructed out of pervious material. The existing parking lot is constructed out of asphalt and the proposed parking lot will have all pervious parking stalls. Because the Applicant is voluntarily constructing all their DSO required standard vehicle parking spaces out of pervious material as well as the fact that the proposed excess LSV parking will be located on an existing asphalt parking lot that is only being restriped, staff feels that it is not necessary to require the LSV parking spaces to be constructed of pervious materials.

DSO § 11.3.C.2.c.i, Parking Landscape Island, states, "rows of parking spaces located adjacent to the perimeter of all paved areas shall contain now more than 10 parking spaces uninterrupted by a landscape island". While most of the proposed new parking lot adheres to this requirement, there is one row of parking that contains 13 parking spaces in a row which exceeds the maximum allowed by the DSO by three spaces. However, on November 22, 2023, the Town of Seabrook Island Board of Zoning Appeals reviewed and approved Variance #184 which included a variance request from DSO § 11.3.C.2.ci to allow a 13-space stretch of parking stalls instead of the DSO required maximum 10-space stretch for the perimeter of the parking lot.

DSO § 11.3.C.1, Parking Landscaping, states, "all parking lots shall be screened from the adjacent street and abutting property by a perimeter landscaped strip in accordance with the following requirements". One of the requirements outlined in § 11.3.C.1 is that the landscape strip be at least 20 feet wide. The Applicant has proposed a 10-foot-wide landscape strip which deviates from the requirements of the DSO. However, on November 22, 2023, the Town of Seabrook Island Board of Zoning Appeals reviewed and approved Variance #184 which included a variance request from DSO § 11.3.C.1 to allow the installation of a 10-foot-wide strip of landscaping around the perimeter of the proposed parking lot instead of the required 20' landscaping strip.

DSO § 11.3.C.1 also outlines uniform spacing requirements for canopy trees that are required to be installed in the landscaping area surrounding the perimeter of the parking lot. The Applicant has proposed to deviate from the requirements of § 11.3.C.1 by counting existing canopy trees on site towards the canopy tree requirements of the DSO. § 11.3.C.1 goes on to state the following, "in considering a deviation from the uniform spacing requirements, the reviewing authority shall consider the presence of existing trees, sight lines from adjacent streets or property, and the distance of the parking area from the street or abutting property". In this case the reviewing authority is the Planning Commission, however, staff notes that both the town's Zoning Administrator and Arborist visited the site and examined the existing canopy trees in relation to the proposed landscape plan and determined that the requirements of § 11.3.C.1 will be met.

The proposed parking stalls meet the DSO parking dimension requirements for 90-degree angle parking of 9' x 20'. Additionally, the proposed drive aisles of the new parking lot meet the 22' width requirement for two-way traffic.

The Applicant is also proposing to construct a concrete driveway in association with the proposed new

maintenance building. Based on discussions with the Applicant, staff determined that the concrete driveway will only be used for accessing the maintenance building and will not serve as a parking area nor will there be any overnight parking of vehicles at the property. For these reasons, the buffer standards applied to a typical parking lot were not applied to the proposed driveway. Additionally, the storage building and associated driveway are located on a Recreation (RC) zoned piece of property and per DSO Table 11-3 (Buffer Zones Required), an RC zoned property is not required to provide a buffer adjacent to any other zoning district.

Height Requirements:

Both the material and height of the proposed 8’ tall chain link fencing surrounding each of the pickle ball courts are not allowable per DSO § 2.5.B.1.c, Fence Material, and DSO § 2.5.B.1.g, Fence Height, however on November 22, 2023, the Town of Seabrook Island Board of Zoning Appeals approved Variance #184 to allow the construction of the proposed 8’ tall chain link fencing.

Additionally, the proposed new maintenance building as well as the storage building with hitting wall comply with the DSO height requirements for accessory buildings and structures of 14’ above design flood elevation.

Site Lighting Requirements:

The proposed lighting associated with the Phase 1B improvements is not intended to light the actual pickle ball courts but rather only to serve as aesthetic landscaping lighting. The proposed site lighting includes ground level NITE-003TR lights that are 15 ½ ” in height as well as NITE-025DL lights that will be installed on trees with a typical height range of 10’-18’ down light directed towards paths of circulation for safety.

Tree Removal & Mitigation Requirements:

The Applicant is proposing to remove a total of 14 trees in association with the Phase 1B Improvements at the Seabrook Island Racquet Club. Of the 14 trees that are proposed to be removed, five have a diameter at breast height (DBH) greater than 24”. DSO § 11.5.B.3.d states, “no living tree which is 24 inches or more DBH may be removed or relocated without a removal permit”. To receive a permit for the removal of a 24” or greater tree the Applicant must demonstrate that the tree 1) poses an imminent safety hazard to nearby buildings pedestrians, or vehicular traffic, 2) is diseased, dead or dying, or 3) has been weakened by age, storm, fire, or other injury to the extent that it is irreparably damaged. None of the protected trees that are proposed to be removed met the aforementioned criteria however on November 22, 2023, the Town of Seabrook Island Board of Zoning Appeals reviewed and approved Variance #184 which included variance requests from DSO § 11.5.B.3.d to allow the removal of one 26” pine tree, one 30” red oak tree, two 24” live oak trees, and one 25” live oak tree.

The Applicant is required to mitigate for all tree removal in accordance with the requirements of DSO Table 11-5a:

Table 11-5a, Tree Mitigation Allowance			
Tree to be Removed	Mitigation Ratio	Replacement	Minimum Size
Less than 12-inch DBH	50 %	One inch for every two inches removed	Four-inch DBH
12-inch but less than 24-inch	100 %	One inch for every inch removed	Multi-stemmed - one (1) in. on any cane
24-inch or greater	150 %	One and one-half inch for every inch removed	Six-inch DBH

The Applicant has provided a mitigation plan that proposes to retain a significant amount of the existing trees on site while also planting over 50 new trees. The proposed mitigation plan has been reviewed by the Town’s Arborist and deemed compliant with the requirements of the DSO. It should be noted that a Certificate of Occupancy (CO) will not be released for any of the structures associated with Phase 1B until Town staff have inspected all landscaping to verify compliance with the DSO’s mitigation requirements.

Lot Coverage Requirements:

There is no maximum lot coverage requirement in the RC zoning district.

Outside Agency Approvals:

No permits will be released until the South Carolina Department of Health and Environmental Control (SCDHEC) Coastal Stormwater Permitting Division has issued a final approval of the project. Currently, the Applicant has received a Coastal Zone Consistency determination from SCDHEC and is awaiting approval from the Stormwater Permitting Division.

Long Bend Drive is owned and maintained by the Seabrook Island Property Owner's Association (SIPOA) therefore review/approval from SIPOA of the proposed new parking lot entrance on Long Bend Drive is required prior to the issuance of any permits. On October 13, 2023, the Town's Zoning Administrator received correspondence from representatives of SIPOA which stated, "the SIPOA General Operation and Maintenance Committee (GOMC) has reviewed a driveway request from the Seabrook Island Club. The attached driveway plan as submitted on 10-12-23 was approved".

Furthermore, the proposed new parking lot requires approval from the St. Johns Fire Marshal prior to the issuance of any permits. On November 17, 2023, a representative from St. Johns Fire District indicated to the Town's Zoning Administrator that the proposed Phase 1B improvements appeared compliant from a fire and life safety standpoint.

Staff Recommendation

Based on this information, staff recommends in favor of **APPROVAL** of the request, subject to the Planning Commission's review and approval of the proposed excess parking as well as the proposed deviation from the canopy tree spacing requirements of § 11.3.C.1.b.ii.

Respectfully submitted,



Tyler Newman
Zoning Administrator

Attachments

The following supplemental items have been attached for review:

1	Zoning Permit Application	p. 10 - 11
2	Applicant's Narrative	p. 12 - 14
3	Boundary Survey	p. 15
4	Full Plan Set	p. 16 - 46
5	Site Plan – Tree Removal	p. 47
6	Tree Report & Exhibit	p. 48 - 52
7	Parking Narrative	p. 53 - 59
8	CZC Determination	p. 60 - 61
9	SCDHEC Correspondence	p. 62
10	SIPOA Correspondence	p. 63 - 64
11	Seabrook Island Utility Commission Correspondence	p. 65



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
Seabrook Island, SC 29455
(843) 768-9121

Zoning Permit Application

*USE THIS FORM FOR: New Construction, Additions,
Renovations, Minor Repairs/Maintenance,
Accessory Uses/Structures*

1. PROPERTY INFORMATION					
Property Address	1701 Long Bend Dr, Seabrook Island, SC				
Tax Map Number	149-01-00-001, 149-01-00-093	Block #		Lot #	
Total Project Value	\$3M (total including structures and site improvements)				
Is this property subject to an OCRM critical line? (eg. Marshfront or Beachfront Lots)					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is this property subject to private restrictions or covenants? (eg. SIPOA and/or Regime)					<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

2. APPLICANT INFORMATION	
Please provide information regarding the individual(s) who is (are) submitting the Zoning Permit Application.	
Applicant Name(s)	The Seabrook Island Club - c/o Mitchell Laskowitz (Club GM & COO)
Applicant Address	3772 Seabrook Island Rd, Seabrook Island, SC 29455
Applicant Phone Number	610-613-9820
Applicant Email Address	MLaskowitz@SeabrookIsland.com
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	Club General Manager & COO

3. PROPERTY OWNER INFORMATION	
If the Applicant(s) is (are) <u>NOT</u> the Property Owner(s), please provide information for the Property Owner(s).	
Property Owner Name(s)	The Club at Seabrook Island, Inc. c/o Mitchell Laskowitz (Club GM & COO)
Property Owner Address	1002 Landfall Way, Johns Island, SC 29455
Property Owner Phone Number	610-613-9820
Property Owner Email Address	mlaskowitz@seabrookisland.com

4. BUILDER/CONTRACTOR INFORMATION	
Please provide information regarding the Builder or Contractor who will be completing the work, if applicable.	
Builder/Contractor Name	Monteith Construction Corporation c/o Hamer Darby
Builder/Contractor Address	208 Princess Street
Builder/Contractor Phone Number	843-532-0859
Builder/Contractor Email Address	HDarby@monteithco.com

5. Please provide a brief description of the proposed scope of work
The project includes the construction of a new parking lot with pervious pavement stalls, conversion of an existing parking lot for low-speed vehicles, a new maintenance building with restrooms and associated utility services, a new storage building with a hitting wall and half-court practice area, five (5) new pickle ball courts, connecting sidewalks, landscaping, and other small improvements at the Seabrook Island Racquet Club.

6. CERTIFICATION			
Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.			
Applicant Signature(s)	<i>Mitchell Laskowitz</i>	Date	9.13.2023
	<i>Mitchell Laskowitz</i> Revision 2	Date	12.6.2023

Copy w/
original
signature
will be hand
delivered

OFFICE USE ONLY							
Date Received		Status		Permit #		Issue Date	

7. APPLICATION MATERIALS

Zoning Permit Applications must be accompanied by the following supplemental materials, as applicable. An application is not considered “complete” until all required documentation has been received by the Zoning Administrator.

Required for ALL applications:

- **Completed and signed Zoning Permit Application Form *(Paper Required; PDF Optional)***
 - Please submit one completed paper application.
 - All signatures must be original.
- **Application Fee (See Zoning Permit Fee Rate Sheet)**
 - Application fees may be paid by cash, check, or money order (payable to “Town of Seabrook Island”). Credit card payments will be accepted if paid in-person at Seabrook Island Town Hall.

Pending Fee
Evaluation by
Town
See Pg 2 of Fee
Rate Sheet for
Project Calculation

Required if the Scope of Work will be undertaken by a Builder or Contractor:

- **Copy of Signed Contract or Customer Agreement *(Paper or PDF Required)***
 - The Signed Contract or Customer Agreement must be signed by all parties and contain a complete description of the Scope of Work and total Project Cost.

Required if the Scope of Work includes any new structure and/or modifications (expansion, replacement, etc.) to existing structures:

- **As-Built Survey / Survey of Existing Conditions *(Paper Optional; PDF Required)***
- **Proposed Site Plan *(Paper Optional; PDF Required)***
 - For lots abutting a marsh critical line or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- **Scaled Architectural Drawings *(Paper Optional; PDF Required)***
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side, and rear elevations, as appropriate.

Required if the Property is subject to private restrictions or covenants (eg. SIPOA and/or Regime) and the Scope of Work includes any new structure and/or exterior modifications to any existing structure:

- **Letter of Approval from Property Owners Association and/or Regime, as applicable. *(Paper or PDF Required)***

8. FEE SCHEDULE

See Zoning Permit Fee Rate Sheet

A “Post Facto Surcharge” equal to 100% of the permit amount shall be assessed in instances where work has commenced prior to obtaining a required permit. This surcharge shall be in addition to any other fines penalties which may be assessed, if applicable.

Seabrook Island Racquet Club Expansion – Phase 1B

Planning Commission Submittal
November 20, 2023

Prepared For:

Seabrook Island Board of Zoning
Appeals
November 22, 2023
Board Meeting

Prepared By:

Reveer Group, LLC

2971 W. Montague Ave. Ste 101
North Charleston, SC 29418
843.297.4103



SEABROOK ISLAND
RACQUET CLUB



Project Description

This project includes the design of five new pickle ball courts, a maintenance building with restrooms (1115 sq ft), a new partially pervious parking lot, a half-court practice area, connecting sidewalks, and landscaping. The pickle ball courts are in response to membership requests and a shortage of court time for racquet enthusiasts. The maintenance building will replace the existing maintenance 75 sq ft building and be used to store clay deliveries and provide restrooms to players on the northern property of the racquet club. The half-court practice area in the south is for a future phase and will not be completed at the same time as the rest of the work. The new parking lot will have one (1) additional standard space and fifteen (15) new low speed vehicle parking spaces. The pickle ball courts will be placed over the existing parking lot and the parking lot relocated in the forest just north of the existing parking lot. This project is designed so that any additional runoff from the expansion will be infiltrated into the pervious parking stalls and has a neutral effect on the overall stormwater patterns in the area.

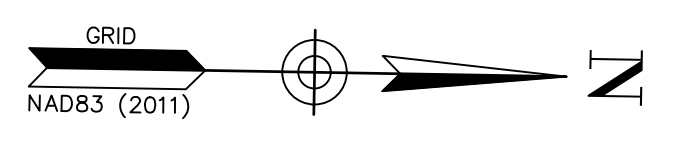
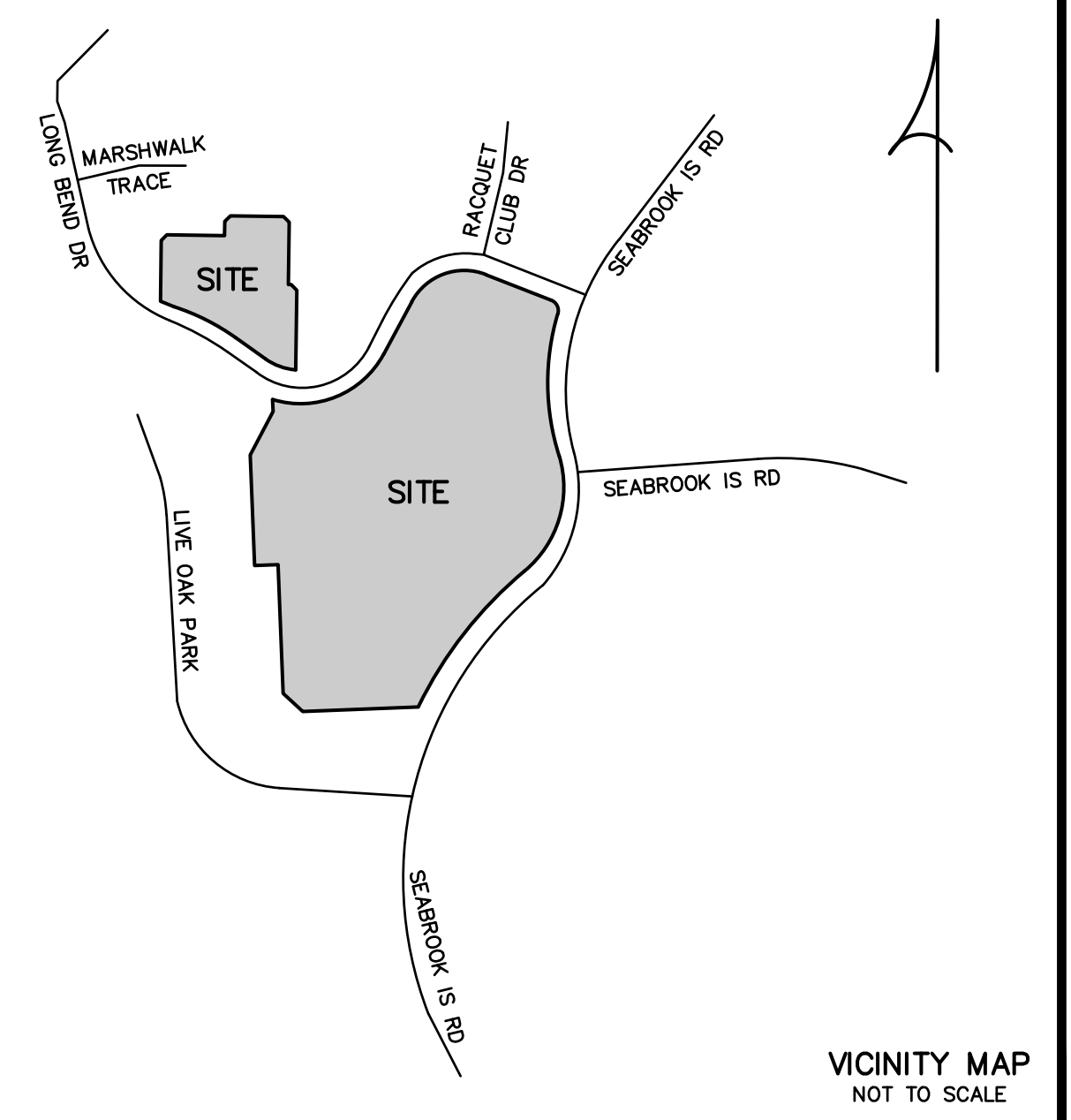
Seabrook Island Racquet Club Expansion Updated Site Plan Submittal

The Seabrook Island Racquet Club (the Club) is requesting review for a site plan that differs from a previously submitted site plan submitted in December of 2022. It should be noted that the site plan submitted in December was the first phase in a set of phased expansions and this current site plan combines multiple phases to update the Racquet Club facilities. Despite the simplification of the phasing process, the “Phase-1B” in the name has remained in reference to the ongoing South Carolina Department of Health and Environmental Control permit updated for this project and the previous hardscape/landscape improvements which were called Phase 1A.

This site plan submittal has four major differences from the submittal for Racquet Club expansion submitted last year. The differences are outlined below with rationale behind each change.

- 1) Layout – This site plan has the pervious parking lot placed in the forested area below the existing trees and the pickle ball courts in the place of the existing parking lot
 - a. This change allows **the trees** to benefit from the pervious material around their roots, rather than impervious material being added below them for the pickle ball courts
 - b. This change allows **the stormwater** flow patterns of the site to remain unchanged, relying on infiltration and eliminates the need for expanding the drainage network through the property or adding stormwater facilities to compensate for increased impervious area like the previous plan included.
 - c. This layout includes space for an **additional pickle ball court** which the Club needs based on membership requests and a nationally growing interest in the sport, please see supporting letters.
 - d. Placing the pickle ball courts in place of the existing parking lot in a compact manner allows the players to interact more with fellow players which is an important part of the social aspect of the sport.
 - e. Moving the courts away from the tree canopy will reduce the amount of tree litter that accumulates on them and allow them to dry after rains quicker resulting in safer play and more usable court time.
- 2) Additional Pickle Ball Court – this plan includes a 5th pickle ball court increasing the additional court time availability by 20% from the previous plan. It requires the removal of 3 trees, including one protected tree, a 24” live oak.
 - a. In the previous plan, adding another pickle ball court under the trees would have required the removal of at least one protected tree, a 34” live oak.

- 3) Different Parking layout and material – The proposed parking lot material is pervious and will allow water to infiltrate into the ground and to the tree’s root system.
- 4) Additional Parking in the form of LSV spaces (Please see included Need for Additional Spaces addendum)
 - a. Using a small portion of the existing parking lot and restriping it for low-speed vehicles (LSV)
 - i. By adding LSV spaces the Club is encouraging the use of a more compact and environmentally friendly form of transport to address the parking needs of the Club. This is in addition to the bike racks and increase in pedestrian pathways around the Racquet Club. Multiple forms of transportation alleviates the reliance on standard vehicles which are currently overflowing the existing parking lot.
 - b. The previous plan did not include any additional parking to address the overflowing parking issue at the Racquet Club.



MULTIPLE OWNERS
COURTSIDE VILLAS I
TMS 149-01-00 (MULTIPLE PARCELS)

MULTIPLE OWNERS
COURTSIDE VILLAS II
TMS 149-01-00 (MULTIPLE PARCELS)

MULTIPLE OWNERS
MARSH WALK PHASE 1
TMS 149-01-00 (MULTIPLE PARCELS)

TMS 149-01-00-093
1.031 ACRES

REYNOLDS-WILLIAMS
AT MARSHWOOD LLC
TMS 149-01-00-092

TMS 149-01-00-001
6.838 ACRES

SEABROOK ISLAND PROPERTY OWNERS
SEABROOK ISLAND ROAD (100' R/W)
TMS 147-00-00-001

- NOTES
- 1) THE PROPERTY IS OWNED BY THE CLUB AT SEABROOK ISLAND.
 - 2) TMS 149-01-00 PARCELS 001 AND 093.
 - 3) THE TOTAL AREA = 7.869 ACRES.
 - 4) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45019C 0795 K DATED JANUARY 29, 2021 THESE PARCELS LIE IN ZONES AE (EL 9), AE (EL 10), AND SHADED X.
 - 5) THIS SURVEY IS NOT INTENDED TO SHOW THE EXISTENCE OR NON EXISTENCE OF U.S. ARMY CORPS OF ENGINEERS "JURISDICTIONAL WETLANDS".
 - 6) THE HORIZONTAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 1983 (2011 SHIFT).
 - 7) THIS SURVEY DOES NOT REFLECT A TITLE SEARCH. IT IS BASED ON THE REFERENCES LISTED AND EVIDENCE FOUND IN THE FIELD. ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCES MAY NOT BE SHOWN ON THIS SURVEY.
 - 8) ALL PROPERTY CORNERS ARE MARKED WITH 5/8" REBAR SET UNLESS NOTED OTHERWISE.
 - 9) THE LOCATIONS OF THE TREES, UTILITIES, AND SOME OF THE OTHER IMPROVEMENTS ARE TAKEN FROM AN EARLIER SURVEY BY FORSBERG ENGINEERING & SURVEYING, INC.

- LEGEND
- RF - REBAR FOUND
 - OTPF - OPEN TOP PIPE FOUND
 - PTPF - PINCH TOP PIPE FOUND
 - CPPT - COMPUTED POINT (UNABLE TO SET MARKER)
 - SSMH - SANITARY SEWER MANHOLE
 - FH - FIRE HYDRANT
 - WV - WATER VALVE
 - WM - WATER METER
 - DI - DROP INLET
 - RCPP - REINFORCED CONCRETE PIPE
 - LP - LIGHT POLE

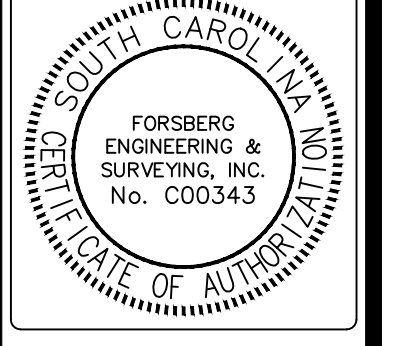
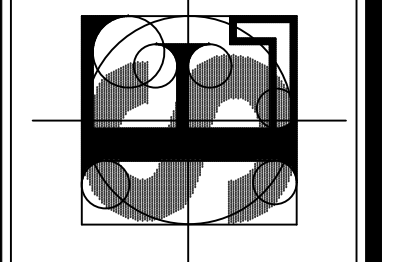
- REFERENCES
- 1) PLAT BY E.M. SEABROOK, JR. DATED AUGUST 4, 1983 AND RECORDED IN THE CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK AY PAGE 67.
 - 2) PLAT BY E.M. SEABROOK, JR. DATED FEBRUARY 5, 1985 AND RECORDED IN THE CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK BD PAGE 158.

- LINE LEGEND
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - - - RIGHT OF WAY LINE
 - x-x-x- CHAIN LINK FENCE
 - o-o-o- WOOD FENCE
 - w-w-w- WATER LINE
 - s-s-s- SANITARY SEWER LINE
 - d-d-d- DRAINAGE EASEMENT

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

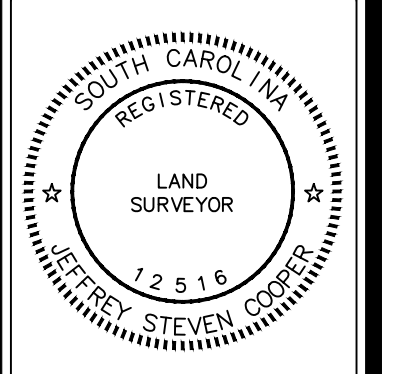
JEFFREY STEVEN COOPER, R.L.S. No. 12516

FORSEBERG ENGINEERING AND SURVEYING, INC.
1887 SAVANNAH HIGHWAY SUITE B
P.O. BOX 30875
CHARLESTON, SOUTH CAROLINA 29417
CIVIL ENGINEERING, SURVEYING AND LAND PLANNING



BOUNDARY SURVEY

2 TRACTS OF LAND OWNED BY THE CLUB AT SEABROOK ISLAND
TOWN OF SEABROOK ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA



JEFFREY S COOPER

DATE
JUNE 22, 2021
DRAWN/CHECKED
JSC/LSM
LAST REVISED

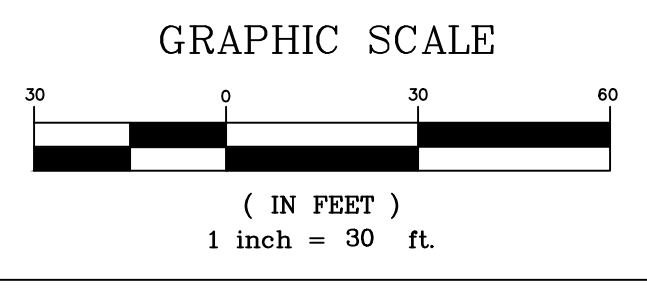
APPROVED
JSC

SCALE
1" = 30'

PROJECT NO.
3962-1

SHEET NUMBER

1
OF 1



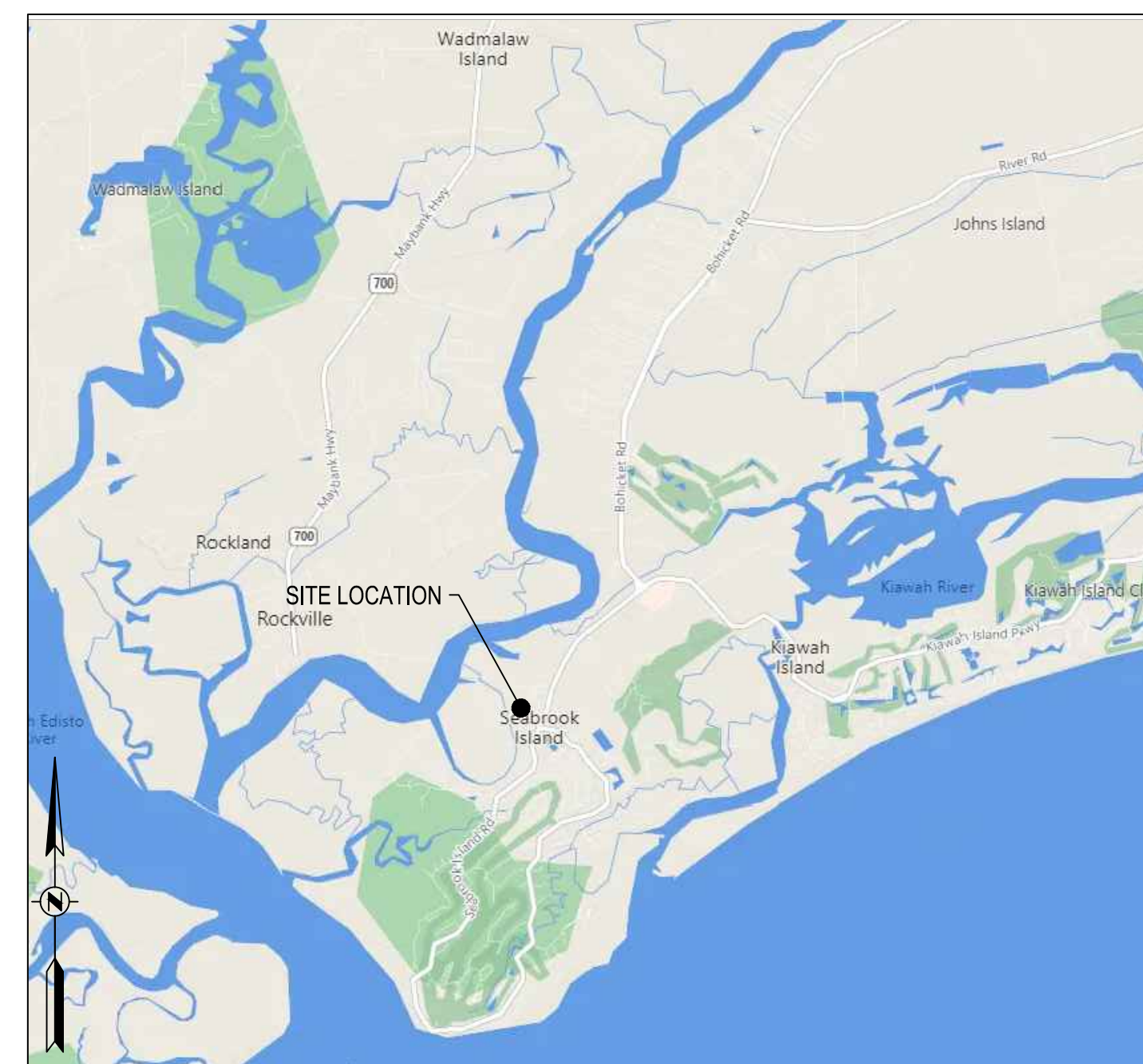
SITE DEVELOPMENT PLANS FOR SEABROOK ISLAND RACQUET CLUB EXPANSION

PHASE 1B

1701 LONG BEND DR, SEABROOK ISLAND, SC

PROJECT INFORMATION	
TMS #:	149-01-00-001, 149-01-00-093
HORIZONTAL DATUM:	NAD 83 SOUTH CAROLINA STATE PLANE, INTERNATIONAL FOOT (SC83IF)
VERTICAL DATUM:	NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
STREET ADDRESS:	1701 LONG BEND DR, SEABROOK ISLAND, SC 29455
LATITUDE & LONGITUDE:	32° 35' 36" N 80° 09' 49" W
PROPOSED USE:	RACQUET CLUB EXPANSION
SITE ZONING:	RC (RECREATION DISTRICT)
ADJACENT SITE ZONING:	R-TH (RESIDENTIAL TOWNHOME), R-MF (RESIDENTIAL MULTI-FAMILY)
FEMA FLOOD MAP:	45019C0785K, IN COMMUNITY #450256; EFFECTIVE 01/29/2021, FLOOD ZONE X & AE ELEVATION 9-10
PROJECT AREAS:	TOTAL PARCEL AREA = 7.88 AC. DISTURBED AREA = 2.60 AC.

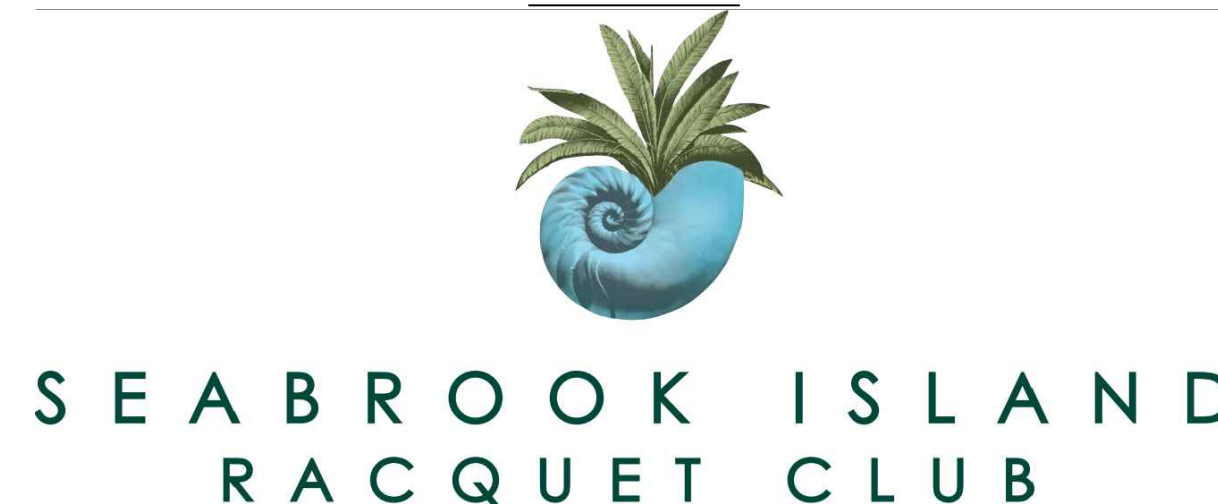
PERMITTING INFORMATION	
DHEC-OCRM PERMIT #:	XXXX
NPDES COVERAGE #:	XXXX
CZC CERTIFICATION #:	HPR-NVCC-MRHHN
TOWN OF SEABROOK ISLAND BZA PROJECT ID#:	XXXX
TOWN OF SEABROOK ISLAND PLANNING COMMISSION PERMIT #:	XXXX
VARIANCES:	VARIANCE 184



LOCATION MAP

SCALE: 1" = 5000'

PREPARED FOR:



SITE MAP

SCALE: 1" = 150'

PREPARED BY:



SHEET INDEX		
SHEET #	SHEET TITLE	PAGE #
GENERAL		
C001	TITLE SHEET	1
C002	LEGEND	2
C003	GENERAL NOTES	3
C004	ATLAS SURVEY	4
C005	ATLAS SURVEY	5
C006	ATLAS SURVEY	6
EXISTING CONDITIONS		
C101	EXISTING CONDITIONS	7
C102	EXISTING CONDITIONS	8
DEMOLITION		
C111	DEMOLITION AND TREE REMOVAL PLAN	9
C112	DEMOLITION AND TREE REMOVAL PLAN	10
SITE PLANS		
C121	SITE PLAN	11
C122	SITE PLAN	12
GRADING AND DRAINAGE		
C151	GRADING AND DRAINAGE PLAN	13
C152	GRADING AND DRAINAGE PLAN	14
UTILITIES		
C171	UTILITY PLAN	15
C172	UTILITY PLAN	16
C173	UTILITY PLAN	17
SWPPP		
C251	SWPPP PLAN	18
C252	SWPPP PLAN	19
DETAILS		
C501	SITE DETAILS	20
C502	SITE DETAILS	21
C541	SWPPP DETAILS	22
C-551	CONSTRUCTION TRAFFIC PLAN	23
LANDSCAPE AND BUILDINGS		
L1.0	LANDSCAPE PLAN	24
L2.0	IRRIGATION NOTES	25
L3.0	LANDSCAPE LIGHTING PLAN	26
A101	STORAGE BUILDING FLOOR PLAN	27
A102	STORAGE BUILDING ELEVATIONS	28
A201	MAINTENANCE BUILDING EXTERIOR ELEVATIONS	29
A201	MAINTENANCE BUILDING FLOOR PLAN	30
A202	MAINTENANCE BUILDING EXTERIOR ELEVATIONS	31

PROJECT DESCRIPTION:

THIS PROJECT INCLUDES THE DESIGN OF FIVE NEW PICKLE BALL COURTS, A MAINTENANCE BUILDING WITH RESTROOMS (1115 SQ FT), A NEW PARTIALLY PERVIOUS PARKING LOT, A HALF-COURT PRACTICE AREA, CONNECTING SIDEWALKS, AND LANDSCAPING. THE HALF-COURT PRACTICE AREA IS FOR A FUTURE PHASE AND WILL NOT BE COMPLETED AT THE SAME TIME AS THE REST OF THE WORK. THE NEW PARKING LOT WILL HAVE ONE (1) ADDITIONAL STANDARD SPACE AND FIFTEEN (15) NEW LOW SPEED VEHICLE PARKING. THIS PROJECT WILL RELY ON EXISTING INFILTRATION AREAS AND A PARTIALLY PERVIOUS PARKING LOT FOR ADDRESSING ADDITIONAL STORMWATER RUNOFF.

SUBMITTAL: ISSUE FOR PLANNING COMMISSION

REVEER PROJECT #: 202202.02

DATE: December 1, 2023



PROJECT CONTACTS:

GENERAL CONTRACTOR:
MONTEITH CONSTRUCTION CORP.
C/O ZAC BROWN
208 PRINCESS STREET
WILMINGTON, NC 28401
P. 901-453-0789

PROJECT MANAGER:
MONTEITH CONSTRUCTION CORP.
C/O HAMER DARGY
208 PRINCESS STREET
WILMINGTON, NC 28401
P. 901-453-0859

OWNER:
SEABROOK ISLAND CLUB
C/O MITCHELL LASKOWITZ
3772 SEABROOK ISLAND RD
SEABROOK ISLAND, SC 29455
P. 843-613-9820

CIVIL ENGINEER:
REVEER GROUP, LLC
C/O PAUL FORD
2971 W. MONTAGUE AVENUE, SUITE 101
NORTH CHARLESTON, SC 29418
P. 843-297-4113

GEOTECHNICAL ENGINEER:
INSIGHT GROUP
C/O BRYAN SHIVER
3359 MEETING STREET RD
N CHARLESTON SC 29405
P. 843-610-6902

ARCHITECT:
LOYAL ARCHITECTS
C/O GEORGE COOK
P. 843-709-8726

SURVEYOR:
ATLAS SURVEYING INC
C/O COLIN J. BEARDEN
1017 BANKTON CIRCLE
HANAHAN, SC 29410
P. 843-673-7831



S:\202202.02_SPROA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Title Sheet Legend and Notes.dwg, 12/1/2023, CLAUTRUP THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

S:\2022\2022-00-SPRA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Title Sheet Legend and Notes.dwg, 12/1/2023, CLAUTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

SITE FEATURES:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT-OF-WAY LINE	---	---
SITE / ZONING SETBACK	---	---
IRON PIN OR PIPE	○	●
HORIZONTAL CONTROL POINT	○	○
SURVEY BENCHMARK	△	△
RIGHT-OF-WAY MONUMENT	⊠	⊠
PROPERTY IDENTIFICATION	OWNER TMS #: XXX-XX-XX-XXX	OWNER TMS #: XXX-XX-XX-XXX
CONTOUR LINE, MAJOR	---	---
CONTOUR LINE, MINOR	---	---
SPOT ELEVATION	×	×
FLAG POLE	⊗	⊗
GRAVES / TOMBSTONES	⊠	⊠
MAILBOX	⊠	⊠
BOLLARD	⊠	⊠
MONITORING WELL	⊕	⊕
PUMP STATION (SS, SD, W, ETC)	⊕	⊕
SHRUB	⊕	⊕
ROAD SIGN	⊕	⊕
BUSINESS SIGN	⊕	⊕
TREE LINE	---	---
TREE (TYP., PALM)	⊕	⊕
SECURITY FENCE	---	---
GUARDRAIL	---	---
RAILROAD TRACKS	---	---
ASPHALT	---	---
CONCRETE	---	---
GRAVEL	---	---
BRICK PAVERS	---	---
CONSTRUCTION FENCE	---	---
SILT FENCE	---	---
SEDIMENT TUBE	---	---
TYPE A INLET PROTECTION	---	---
TYPE B INLET PROTECTION	---	---
TYPE C INLET PROTECTION	---	---
TYPE D INLET PROTECTION	---	---
TYPE E INLET PROTECTION	---	---
TYPE F INLET PROTECTION	---	---
SEDIMENT BASIN	---	---
ROCK DITCH CHECK DAM	---	---
SEDIMENT TRAP	---	---
STABILIZED CONSTRUCTION ENTRANCE	---	---
RIPRAP OUTLET PROTECTION	---	---
TURF REINFORCEMENT MAT	---	---
LIMIT OF DISTURBANCE	---	---
TEMPORARY & PERMANENT SEEDING	---	---
DUST CONTROL	---	---
MULCHING	---	---
SURFACE ROUGHENING	---	---
SODDING	---	---
TOPSOILING	---	---
POLYACRYLAMIDE	---	---
TEMPORARY STOCKPILE	---	---
SOIL TYPE	---	---
CONCRETE WASHOUT	---	---
SEEDING (TEMPORARY & PERMANENT)	---	---
TREE BARRICADE	---	---

HYDROLOGY:

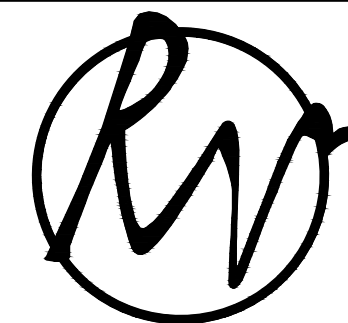
WETLAND / SWAMP	---
MARSH / CRITICAL AREA	---
DITCH / SWALE CENTERLINE	---
RIVER / CREEK / STREAM CENTERLINE	---

UTILITIES:

	EXISTING	PROPOSED
AIR RELEASE VALVE	⊕	⊕
CABLE TV, COMM., TELEPHONE CABLE - UNDERGROUND	---	---
CABLE TV, COMM., TELEPHONE CABLE - OVERHEAD	---	---
CABLE TV ACCESS (HANDHOLE OR PEDESTAL)	⊠	⊠
CABLE TV MANHOLE	⊕	⊕
CABLE TV MARKER	⊕	⊕
COMM / TELEPHONE ACCESS (HANDHOLE OR PEDESTAL)	⊠	⊠
COMMUNICATION TELEPHONE MANHOLE	⊕	⊕
COMMUNICATION TELEPHONE MARKER	⊕	⊕
FIBER OPTIC CABLE	---	---
FIBER OPTIC CABLE MARKER	⊕	⊕
ELECTRIC LINES - UNDERGROUND	---	---
ELECTRIC LINES - OVERHEAD	---	---
ELECTRIC ACCESS (HANDHOLE OR PEDESTAL)	⊠	⊠
ELECTRICAL MANHOLE	⊕	⊕
ELECTRICAL MARKER	⊕	⊕
ELECTRICAL TRANSFORMER	⊕	⊕
ELECTRICAL VAULT	⊕	⊕
ELECTRICAL DUCT BANK	---	---
NATURAL GAS LINE	---	---
NATURAL GAS MANHOLE	⊕	⊕
NATURAL GAS METER	⊕	⊕
NATURAL GAS LINE MARKER	⊕	⊕
NATURAL GAS VAULT	⊕	⊕
LIGHT POLE	⊕	⊕
UNKNOWN UTILITY	---	---
SANITARY SEWER LINE	---	---
SANITARY SEWER FORCE MAIN	---	---
SANITARY SEWER CLEAN OUT	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
SANITARY SEWER METER	⊕	⊕
SANITARY SEWER MARKER	⊕	⊕
SANITARY SEWER VALVE VAULT	⊕	⊕
STORM DRAIN LINE	---	---
STORM DRAIN CATCH BASIN	⊕	⊕
SCDOT TYPE 1	---	---
SCDOT TYPE 16	---	---
SCDOT TYPE 17	---	---
SCDOT TYPE 18	---	---
STORM DRAIN DROP INLET	⊕	⊕
STORM DRAIN MANHOLE	⊕	⊕
STORM DRAIN JUNCTION BOX	⊕	⊕
STORM DRAIN CONTROL STRUCTURE	⊕	⊕
STORM DRAIN HEADWALL / WINGWALL	---	---
TRAFFIC CONTROL BOX	⊕	⊕
TRAFFIC CONTROL CABLE ACCESS (HANDHOLE OR PEDESTAL)	⊠	⊠
UTILITY POLE (PP, GP, LP, MP, ETC)	⊕	⊕
UTILITY POLE GUY WIRE	---	---
VALVE (GAS-GV, WATER-WV, ETC)	⊕	⊕
DOMESTIC WATER LINE	---	---
WATER BACKFLOW PREVENTER	⊕	⊕
WATER HYDRANT (FH, PH, YH, ETC)	⊕	⊕
WATER METER	⊕	⊕
WATER VALVE VAULT	⊕	⊕
WATER LINE MARKER	⊕	⊕
FIRE WATER LINE	---	---
CAP, TEE, BEND, & REDUCER	---	---


ABBREVIATIONS:

#	POUNDS	MAX	MAXIMUM
@	AT	ME	MATCH EXISTING
AC	AIR CONDITIONING	MFR	MANUFACTURER
A/E	ARCHITECTURAL / ENGINEERING	MH	MANHOLE
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	MN	MINIMUM
ACR	ACRE	MISC	MISCELLANEOUS
ACCORD	ACCORDANCE	MJ	MECHANICAL JOINT
ADA	AMERICANS WITH DISABILITIES ACT	MCO	MODIFIED
AL	ALUMINUM	MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM
ALT	ALTERNATE; ALTERNATIVE; ALTITUDE	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
ALUM	ALUMINUM	N	NORTH-NORTHING
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	N/A	NOT APPLICABLE
APPROX	APPROXIMATELY; APPROXIMATE	NAVDB88	NORTH AMERICAN VERTICAL DATUM OF 1988
AR	ARCHITECT RATED	NCSO	NORTH CHARLESTON SEWER DISTRICT
ARCH	ARCHITECT; ARCHITECTURAL	NE	NORTHEAST
ARV	AIR RELEASE VALVE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ASPH	ASPHALT	NG	NATURAL GAS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NGVD	NATIONAL GEODETIC VERTICAL DATUM
AVG	AVERAGE	NIC	NOT IN CONTRACT
AWWA	AMERICAN WATER WORKS ASSOCIATION	NO	NUMBER
BFP	BACKFLOW PREVENTER	NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
BLDG	BUILDING	NRIC	NATIONAL RESPONSE CENTER
BLVD	BOULEVARD	NSF	NATIONAL SCIENCE FOUNDATION
BM	BENCH MARK	NTS	NOT TO SCALE
BMP	BEST MANAGEMENT PRACTICE	NW	NORTHWEST
BOTT	BOTTLE	NWL	NORMAL WATER LEVEL
CA	COMPRESSED AIR	Ø	DIAMETER
CB	CATCH BASIN; COMBINATION INLET	OC	ON CENTER
CCW	COUNTERCLOCKWISE	OCEW	ON CENTER EACH WAY
CF	CUBIC FEET; CONSTRUCTION FENCE	OCRM	OCEAN AND COASTAL RESOURCE MANAGEMENT
CFS	CUBIC FEET PER SECOND	OD	OUTSIDE DIAMETER
CI	CURB INLET	ORTH	ORTHOGONALLY
CL	CENTRELINE	OVS	OIL/WATER SEPARATOR
CMF	CONCRETE MONUMENT FOUND	OZ	OUNCES
CMP	CORRUGATED METAL PIPE	PB	PLAT BOOK; PULL BOX
CMU	CONCRETE MASONRY UNIT	PC	POINT OF CURVATURE
CO	CLEAN OUT; COMPANY; CHANGE ORDER	PCD	PORTLAND CEMENT CONCRETE
COMM	COMMUNICATION	PCF	POUNDS PER CUBIC FOOT
CONC	CONCRETE	PG	PAGE
CONT	CONTINUOUS	PI	POINT OF INTERSECTION
CPEP	CORRUGATED POLYETHYLENE PIPE	PVI	POST INDICATOR VALVE
CPW	CHARLESTON PUBLIC WORKS	PL	PROPERTY LINE
CTB	CEMENT TREATED BASE	PP	POWER POLE
CU FT	CUBIC FEET	PR	PROPOSED
CU IN	CUBIC INCHES	PROP	PROPOSED
CW	CLOCKWISE	PSF	POUNDS PER SQUARE FOOT
CWR	CHILLED WATER RETURN	PSI	POUNDS PER SQUARE INCH
CWS	CHARLESTON WATER SYSTEM; CHILLED WATER SUPPLY	PSG	POUNDS PER SQUARE INCH GAGE
CY	CUBIC YARDS	PT	POINT OF TANGENCY
DB	DEED BOOK	PLPS	PALMETTO UTILITY PROTECTION SERVICE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	PVC	POLYVINYL CHLORIDE; POINT OF VERTICAL CURVATURE
DEG	DEGREES	PVI	POINT OF VERTICAL INTERSECTION
DEPT	DEPARTMENT	PVT	POINT OF VERTICAL TANGENCY
DI	DIAMETER	PYMT	PAVEMENT QUANTITY
DIA	DIAMETER	R	RADIUS
DIM	DIMENSION	ROW	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DR	DRIVE	RD	ROAD
DS	DOWNSPOUT	REINF	REINFORCED; REINFORCING
DW	DOMESTIC WATER	REQD	REQUIRED
DWG	DRAWING	RELY	RELIABLE
E	EAST; EASTING	REV	REVISED; REVISION
EA	EACH	RJ	RESTRAINED JOINT
EB	ELECTRICAL BOX	RIP	RESTRAINING JOINT PIPE
EG	EXISTING GRADE; EXISTING GROUND	ROW	RIGHT OF WAY
EJ	EXPANSION JOINT	RPM	REVOLUTIONS PER MINUTE
EL	ELEVATION	S	SOUTH
ELEV	ELEVATION	SAN	SANITARY SEWER
EMS	ENVIRONMENTAL, HEALTH, AND SAFETY	SC	SOUTH CAROLINA
EMH	ELECTRICAL MANHOLE	SC83F	SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM OF 1983
EQC	ENVIRONMENTAL QUALITY CONTROL	SCHEC	SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
ES & PC	EROSION, SEDIMENTATION, AND POLLUTION CONTROL	SCH	SCHEDULE
ESMT	EASEMENT	SCHED	SCHEDULE
ETC	ETCETERA	SD	STORM DRAIN
EW	EACH WAY; EDGE OF WALK	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	SE	SOUTHEAST
EXIST	EXISTING	SEQ	SEQUENCE; SEQUENTIAL
FAA	FEDERAL AVIATION ADMINISTRATION	SF	SQUARE FEET
FDC	FIRE DEPARTMENT CONNECTION	SQ IN	SQUARE INCHES
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SQ FT	SQUARE FEET
FFE	FINISHED FLOOR ELEVATION	SS	SANITARY SEWER; STAINLESS STEEL
FG	FINISHED GRADE; FINISHED GROUND	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	ST	STREET
FL	FLIGHTLINE; FLOW LINE; FLORIDA; FLANGE; FLOOD LIGHT	STA	STATION
FLG	FLANGE	STD	STANDARD
FM	FORCE MAIN	STR	STRUCTURE
FO	FIBER OPTIC	STS	STORM DRAIN
FOCM	FIBER OPTIC CABLE MARKER	SW	SOUTHWEST
FOO	FOREIGN OBJECT DEBRIS	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
FT	FEET	SWR	SEWER
FTG	FITTING	SY	SYMBOL
FW	FIRE WATER	SYM	SYMBOL
G	GAS	TBM	TEMPORARY BENCHMARK
GA	GAUGE; GAGE; GALVANIZED	TD	TRENCH DRAIN
GABC	GRADED AGGREGATE BASE COURSE	TDM	TOTAL DYNAMIC HEAD
GALV	GALVANIZED	TEL	TELEPHONE
GC	GENERAL CONTRACTOR	TEMP	TEMPERATURE; TEMPORARY
GEN	GENERATOR; GENERAL	THRU	THROUGH
GI	GRATE INLET	TMH	TELEPHONE MANHOLE
GLM	GAS LINE MARKER	TMS	TAX MAP SEQUENCE
GPM	GALLONS PER MINUTE	TOB	TOP OF BANK
GSP	GALVANIZED STEEL PIPE	TOPO	TOPOGRAPHY
GV	GATE VALVE	TR	TRANSFORMER
H	HORIZONTAL	TRM	TURF REINFORCING MAT
HDPE	HIGH DENSITY POLYETHYLENE	TS	TRAFFIC SIGNAL
HDPP	HIGH DENSITY POLYPROPYLENE	TSB	TRAFFIC SIGNAL BOX
HP	HIGH PRESSURE	TSCU	TRAFFIC SIGNAL CONTROL UNIT
HMV	HIGHWAY	TV	TELEVISION
HZ	HERTZ	TYP	TYPICAL
HYD	FIRE HYDRANT	UL	UNDERWRITERS LABORATORIES
ICV	IRRIGATION CONTROL VALVE	UNK	UNKNOWN
ID	INSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
IE	INVERT ELEVATION; FOR EXAMPLE	USACE	UNITED STATES ARMY CORPS OF ENGINEERS
IN	INCHES	UTIL	UTILITY
INC	INCORPORATED; INCOMPLETE	V	VOLT; VERTICAL; VENTED
INV	INVERT	VI	VERTICAL INSTALL
IP	IRRIGATION PANEL	VOL	VOLUME
JB	JUNCTION BOX	W	WATER; WEST; WIDTH
KV	KILOVOLT	WI	WITH
L	LENGTH	W/O	WITHOUT
LP	LIGHTPOLE	WAP	WIRELESS APPLICATION PROTOCOL; WIRELESS ACCESS POINT
LB	POUNDS	WL	WATER LINE
LF	LINEAR FEET	WM	WATER METER; WATER MAIN
LOD	LIMIT OF DISTURBANCE	WOS	WATERS OF THE STATE
LP	LIGHTPOLE	WV	WATER VALVE
LS	LIFT STATION	YI	YARD INLET
MAINT	MAINTENANCE		



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

Owner:




SEABROOK ISLAND

1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

PAF	PAF	PAF	PAF	PAF	PAF	PAF	By
PLANNING COMMISSION SUBMITTAL - UPDATE	PLANNING COMMISSION SUBMITTAL - UPDATE	PLANNING COMMISSION SUBMITTAL	BAZ SUBMITTAL - UPDATE	BAZ SUBMITTAL - UPDATE	BAZ SUBMITTAL	COURT AND FACILITIES ADJUSTMENT	Date
07	12/01/2023	06	11/20/2023	05	11/10/2023	04	11/17/2023
03	10/12/2023	02	09/08/2023	01	08/15/2023	Rev	

RACQUET CLUB EXPANSION
PHASE 1B
THE CLUB AT SEABROOK ISLAND

Project: _____ Sheet Title: _____



PAUL A. FORD
 LICENSED PROFESSIONAL ENGINEER
 No. 23706

Project No.:	202202.00
Designed By:	CGL
Checked By:	JSD
Approved By:	PAF

Sheet No.:

C002

Sheet 2 of 22

NOTE:

- THE INTENT OF THIS SHEET IS TO PROVIDE TYPICAL SYMBOLS AND ABBREVIATIONS USED IN THE DEVELOPMENT OF THE DRAWINGS. ALL SYMBOLS AND ABBREVIATIONS ON THIS SHEET MAY NOT BE USED. ADDITIONAL SYMBOLS AND ABBREVIATIONS NOT ON THIS SHEET MAY BE USED.
- SHEET SPECIFIC LEGENDS, IF PROVIDED, SUPERSEDE THE INFORMATION SHOWN ON THIS SHEET.

GENERAL CONSTRUCTION NOTES:

- 1. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING WORK ON THE SITE.
2. ELEVATION DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. HORIZONTAL DATUM: THE SOUTH CAROLINA COORDINATE SYSTEM AS DEFINED IN TITLE 27, CHAPTER 2, SECTION 27 OF THE SOUTH CAROLINA CODE OF LAWS. IN GENERAL, THIS SYSTEM IS THE NORTH AMERICAN DATUM OF 1983 WITH 2011 ADJUSTMENT, SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, BASED ON INTERNATIONAL FEET, WITH SPCS83 CODE 3900 HEREIN REFERRED TO AS NAD83(2011).
4. HORIZONTAL AND VERTICAL SURVEY PERFORMED BY ATLAS SURVEYS, INC.
5. CONTRACT DOCUMENTS FOR THIS PROJECT INCLUDE THE PLANS AND ASSOCIATED TECHNICAL SPECIFICATIONS. IF THERE IS A CONFLICT BETWEEN DRAWINGS AND TECHNICAL SPECIFICATIONS, THE TECHNICAL SPECIFICATIONS SHALL GOVERN. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO UNDERSTAND THE EXISTING CONDITIONS AND WORK ENVIRONMENT.
6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND OTHER AGENCY REGULATIONS.
7. CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
8. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
9. CONTRACTOR SHALL HOLD ALL PERMITS IN HAND PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, COMPLIANCE WITH OSHA REQUIREMENTS, LOCAL POLICIES AND PROCEDURES, JOBSITE SAFETY, SCOPE OF WORK, CITY/COUNTY REQUIREMENTS, AND ALL NECESSARY PERMITS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, GRADES, AND STAKING FOR THE PROJECT.
12. PROTECT AND/OR RESTORE ALL IMPROVEMENTS ON THE OWNER'S PROPERTY OR EASEMENT AND ALL ADJOINING PROPERTIES.
13. CONTRACTOR SHALL ADVISE ENGINEER IF EXISTING GRADES THAT ARE TO REMAIN ARE IN CONFLICT WITH PROPOSED WORK, CAUSING LIMITATIONS IN DRAINAGE PERFORMANCE OR SIGNIFICANT CHANGES IN CONSTRUCTION LIMITS DEFINED WITH CUT OR FILL LIMITS, SPECIFICALLY THAT WHICH RESULTS IN ANY CONSTRUCTION TAKING PLACE OUTSIDE OF PROPOSED CONSTRUCTION LIMITS.
14. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ANY EXISTING VISIBLE TRASH, DEBRIS, CONSTRUCTION DEBRIS, ETC. SUCH DEBRIS AND MATERIAL SHALL BE REMOVED, HAULED, AND DISPOSED OF OFFSITE IN A PROPER AND LEGAL MANNER.
15. CONTRACTOR SHALL REVIEW AND STAMP APPROVED ANY AND ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO THE ENGINEER FOR REVIEW.
16. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
17. CONTRACTOR SHALL DESIGNATE ONE SET OF DRAWINGS FOR 'AS-BUILT DRAWINGS'. THE CONTRACTOR SHALL INDICATE ON THESE DRAWINGS ALL FIELD CHANGES AFFECTING THE DESIGN AS WELL AS LOCATIONS AS ACTUALLY INSTALLED. THE 'AS-BUILT DRAWINGS' SHALL BE KEPT CURRENT BY THE CONTRACTOR. THE 'AS-BUILT DRAWINGS' SHALL BE DELIVERED TO THE OWNER UPON COMPLETION AND ACCEPTANCE OF THE WORK. FINAL PAYMENT FOR THE WORK WILL NOT BE MADE UNTIL THE 'AS-BUILT DRAWINGS' HAVE BEEN COMPLETED AND DELIVERED.
18. DISPOSAL OF EXCESS EXCAVATED MATERIALS OFF-SITE AND HAULING OF FILL MATERIALS REQUIRED FOR CONSTRUCTION SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
19. OFFSITE BORROW NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR FROM SOURCES DEVELOPED BY THE CONTRACTOR.
20. CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
21. COMPLY WITH THE GUIDELINES OF THE SCDHEC OFFICE OF OCEAN AND COASTAL RESOURCE MANAGER'S 'STORMWATER BMP HANDBOOK' DURING THE ENTIRE CONSTRUCTION PERIOD. SEDIMENT AND EROSION CONTROL PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED TO, SILT FENCE, BERMS, INLET PROTECTION, ETC. AS NEEDED OR AS DIRECTED BY THE ENGINEER.
22. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT THE TRANSFER OF SUSPENDED SOLIDS AND/OR CHEMICAL SOLUTIONS OFF-SITE, AND TO PREVENT EXCESSIVE SILTATION OF EXISTING DRAINAGE PIPES, CULVERTS, AND DITCHES. CONTRACTOR SHALL ROUTINELY INSPECT AND MAINTAIN THESE DEVICES.
23. CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
24. WHERE ROADWAY DITCHES AND DRAINAGE PIPES ARE DAMAGED OR DISTURBED, THE CONTRACTOR SHALL REPLACE IN KIND DRAINAGE PIPE TO ORIGINAL INVERT ELEVATIONS AND RE-GRADE DITCHES TO ESTABLISH POSITIVE DRAINAGE.
25. AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH GRASS, SOO, MULCH, ETC. PER PLANS AND DETAILS, OR AT THE DIRECTION OF THE ENGINEER AS MAY BE APPLICABLE.
26. CONTRACTOR SHALL FURNISH INSTALL, AND MAINTAIN ALL NECESSARY PROVISIONS FOR TRAFFIC CONTROL FOR THE DURATION OF THE PROJECT. THESE PROVISIONS SHALL CONFORM TO THE REQUIREMENTS CONTAINED IN THE SCDOT STANDARD SPECIFICATIONS, SCDOT STANDARD DRAWINGS (610-005-00, 610-005-20, AND 610-205-00), SCDOT SUPPLEMENTAL SPECIFICATIONS, SCDOT SPECIAL PROVISIONS, AND THE MUTCD (2009 EDITION).
27. CONTRACTOR SHALL FURNISH, INSTALL, MONITOR, AND MAINTAIN EXCAVATION SUPPORT & PROTECTION SYSTEMS CAPABLE OF SUPPORTING EXCAVATION SIDEWALLS, OF RESISTING SOIL, HYDROSTATIC PRESSURE, SUPERIMPOSED, AND CONSTRUCTION LOADS. PREVENT SURFACE WATER FROM ENTERING EXCAVATIONS BY GRADING, DIKES, OR OTHER MEANS. INSTALL EXCAVATION SUPPORT AND PROTECTION SYSTEMS WITHOUT DAMAGING EXISTING BUILDINGS, STRUCTURES, AND SITE IMPROVEMENTS ADJACENT TO EXCAVATION, MONITOR VIBRATIONS, SETTLEMENTS, AND MOVEMENTS, SHOW EXISTING CONDITIONS OF ADJACENT CONSTRUCTION AND SITE IMPROVEMENTS WITH PHOTOGRAPHS AND/OR VIDEOS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY THE ABSENCE OF, OR THE PERFORMANCE OF EXCAVATION SUPPORT AND PROTECTION SYSTEMS AND SUBMIT BEFORE WORK BEGINS.

SCDHEC STANDARD NOTES:

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR10000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED: WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL; WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF

IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

- 19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

EXISTING UTILITIES AND FACILITIES NOTES:

- 1. THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE OR ASSUME RESPONSIBILITY FOR THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING POWER, GAS, AND COMMUNICATION LINES. THE LOCATION OF UTILITIES SHOWN ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE ONLY. CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL CALL PALMETTO UTILITY PROTECTION SERVICE (PUPS) AND ANY LOCAL UTILITY COMPANY NOT REPRESENTED BY PUPS A MINIMUM OF 72 HOURS PRIOR TO STARTING ANY PROPOSED WORK (811).
3. CONTRACTOR SHALL NOTIFY ANY APPLICABLE UTILITY AGENCY AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION OR LAND DISTURBANCE NEAR EXISTING UTILITY LINES LOCATED ABOVE OR BELOW GROUND.
4. CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ALL EXISTING BUILDINGS AT ALL TIMES. NOTIFY AT LEAST 48 HOURS IN ADVANCE AND COORDINATE TEMPORARY DISRUPTIONS IN SERVICE AND RECONNECTION OF UTILITIES AS MAY BE NEEDED WITH THE EXISTING PROPERTY OWNER. THE APPLICABLE AGENCY, THE PROJECT OWNER, AND ENGINEER. THE DRAWINGS INDICATE APPROXIMATE LOCATIONS OF UTILITIES THAT MAY REQUIRE RELOCATION OR REMOVAL FOR THE NEW WORK. CONTRACTOR SHALL HAND EXCAVATE AND CONFIRM THE CONFLICT BEFORE ARRANGING FOR RELOCATION OR REMOVAL BY THE RESPECTIVE UTILITY OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE ENGINEER SHALL OBTAIN APPROVAL FROM THE OWNER AND UTILITY COMPANY HAVING JURISDICTION.
6. ANY MODIFICATIONS TO UTILITY LAYOUT, MATERIALS, ETC. SHALL BE COORDINATED WITH AND APPROVED BY ENGINEER AND APPLICABLE AGENCY PRIOR TO ORDERING MATERIALS OR MAKING ANY SUCH CHANGES.
7. INTERFERING PORTIONS OF UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. CONTRACTOR SHALL PLUS THE UTILITY PER AGENCY REQUIREMENTS.
8. ALL EXISTING FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE DEPICTED ON THE PLANS OR DIRECTED BY THE ENGINEER. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN, OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES NOT INDICATED TO BE REMOVED AT ALL TIMES DURING CONSTRUCTION. ALL EXISTING STRUCTURES DISTURBED DURING CONSTRUCTION THAT ARE NOT SHOWN TO BE PERMANENTLY DEMOLISHED SHALL BE RESTORED TO THEIR ORIGINAL OPERABLE CONDITION.
9. RELOCATION, REMOVAL, OR ABANDONMENT OF EXISTING UTILITIES OWNED/MAINTAINED BY OTHER AGENCIES (WATER, SEWER, GAS, POWER, COMMUNICATIONS, ETC.) SHALL BE PERFORMED BY RESPECTIVE UTILITY OWNER, UNLESS OTHERWISE NOTED ON THE PLANS, AND ALL WORK SHALL BE COORDINATED BY THE CONTRACTOR.
10. CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING SURFACE FEATURES (UNLESS INDICATED TO BE PERMANENTLY DEMOLISHED) NECESSARY FOR INSTALLATION/REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND WORK AS INDICATED ON THESE PLANS AND IN THE SCOPE OF WORK. THIS SHALL INCLUDE BUT NOT BE LIMITED TO FENCES, CURB & GUTTER, LANDSCAPING, SIDEWALKS, AND PAVEMENT.
11. ANY PAVEMENT DAMAGED DURING CONSTRUCTION THAT IS NOT INDICATED TO BE PERMANENTLY DEMOLISHED SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER. ANY BROKEN PAVEMENT EDGES SHALL BE SAW-CUT SMOOTH AND THE PAVEMENT REPLACED TO MATCH EXISTING GRADES.
12. DRAINAGE PIPES DAMAGED DURING CONSTRUCTION (WHICH ARE NOT INDICATED TO BE PERMANENTLY DEMOLISHED) ARE TO BE REPLACED WITH CURRENT AGENCY STANDARD, TO BE APPROVED BY ENGINEER.
13. ANY SEPTIC TANKS ENCOUNTERED DURING CONSTRUCTION SHALL BE PUMPED OUT BY A CERTIFIED COMPANY. THE TANK EXCAVATED, AND DISPOSED OF PER APPLICABLE REGULATIONS.
14. ANY FUEL TANKS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF PER SCDHEC REQUIREMENTS. BACKFILL WITH COMPACTED GRANULAR MATERIAL.
15. ANY UNKNOWN TYPES OF WELLS, TANKS, PIPES, STRUCTURES ETC., ENCOUNTERED SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IN THE EVENT CONTAMINATED OR HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.

GRADING, DRAINAGE, AND PAVING NOTES:

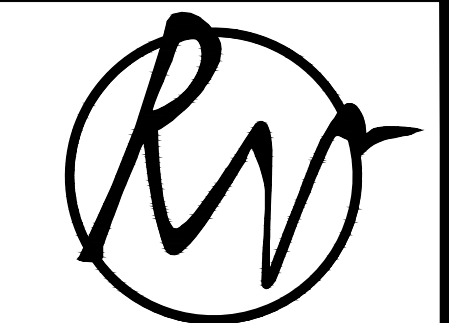
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES SUCH THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST, AND DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
2. GRADING WORK, MATERIALS AND EQUIPMENT, UNLESS SPECIFICALLY STATED OTHERWISE HEREIN, SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
3. CONTRACTOR SHALL STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CAN NOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH, AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING, OR GRADING SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED IN THE PLANS. ANY TREES MARKED OR SUSPECTED OF BEING PROTECTED SHALL BE COORDINATED THROUGH THE OWNER AND ENGINEER PRIOR TO REMOVAL.
4. ALL UTILITY MANHOLES SHALL BE FLUSH WITH THE ADJACENT FINAL SURFACE.
5. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V.
6. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO GRADES THAT RESULT IN POSITIVE DRAINAGE TO EXISTING INLETS, UNLESS OTHERWISE NOTED.
7. ANY LARGE DIAMETER RCP STORM PIPING WITH EYELET LIFTING HOLES SHALL BE REPAIRED AND INSPECTED PRIOR TO BACKFILLING OVER PIPES.
8. ALL FILL MATERIAL SHALL BE COMPACTED IN LIFTS TO THE DESIRED COMPACTION RATES WITH FIELD DENSITY TEST REPORTS DOCUMENTING THAT THE REQUIREMENTS HAVE BEEN ACHIEVED. ALLOW INSPECTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTH MOVING ONLY AFTER TESTING RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY, MOISTEN, AND AERATE OR REMOVE AND REPLACE SOIL MATERIALS TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
9. CONTRACTOR SHALL DESIGN, FURNISH, INSTALL, TEST, OPERATE, MONITOR, AS APPLICABLE A DEWATERING SYSTEM OF SUFFICIENT SCOPE, SIZE, AND CAPACITY TO CONTROL HYDROSTATIC PRESSURES AND TO LOWER, CONTROL, REMOVE, AND DISPOSE OF GROUND WATER AND PERMIT EXCAVATION AND CONSTRUCTION TO PROCEED ON DRY, STABLE SUBGRADES.
10. CONTRACTOR SHALL CONTINUOUSLY MONITOR AND MAINTAIN DEWATERING OPERATIONS TO ENSURE EROSION CONTROL, STABILITY OF EXCAVATIONS AND CONSTRUCTED SLOPES, THAT EXCAVATION DOES NOT FLOOD, AND THAT DAMAGE TO SUBGRADES AND PERMANENT STRUCTURES IS PREVENTED.
11. CONTRACTOR SHALL ACCOMPLISH DEWATERING WITHOUT DAMAGING EXISTING BUILDINGS, STRUCTURES, AND SITE IMPROVEMENTS ADJACENT TO EXCAVATION.
12. THE CONTRACTOR'S DEWATERING OPERATION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND STANDARDS FOR WATER QUALITY AND QUANTITY.
13. ALL FILL SHALL BE ENGINEERED AND CONSTRUCTED IN 10' LIFTS MAXIMUM WITH HEAVY COMPACTION EQUIPMENT. EACH LIFT SHALL BE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PER ASTM D1557 AND BE WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT. IMPORTED FILL FROM BORROW SOURCES SHALL MEET ENVIRONMENTAL REQUIREMENTS IDENTIFIED IN THE ENVIRONMENTAL MANAGEMENT PLANS.

NOTES FOR WATER SYSTEM:

- 1. WATER INSTALLATION SHALL BE IN ACCORDANCE WITH 'TEN STATES STANDARDS', S.C.D.H.E.C. REGULATIONS, AND PER THE REQUIREMENTS AND SPECIFICATIONS OF THE SEABROOK ISLAND UTILITY COMMISSION

CONSTRUCTION SEQUENCE: (HALF-COURT AND STORAGE BUILDING TO BE INSTALLED IN FUTURE PHASE, OMITTED IN CONSTRUCTION SEQUENCE)

- 1. RECEIVE MPDES COVERAGE FROM DHEC AND MSA APPROVAL FROM SCDHEC
2. RECEIVE BUILDING PERMIT FROM CHARLESTON COUNTY
3. CONDUCT ON-SITE PRE-CONSTRUCTION MEETING. ALL PARTIES INVOLVED SHALL BE INVITED
4. NOTIFY DHEC EDC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES
5. INSTALLATION OF CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
6. CLEARING AND GRUBBING, ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS
7. INSTALL PERIMETER CONTROLS, EXISTING INLET PROTECTION, AND TREE BARRICADES
8. ESTABLISH LIMITS OF STOCKPILE AREA
9. CLEARING AND GRUBBING OF SITE
10. COMPLETION OF NEW MAINTENANCE BUILDING AND UTILITY SERVICE CONNECTIONS
11. DEMOLITION OF EXISTING MAINTENANCE BUILDING
12. DEMOLITION OF PORTIONS OF EXISTING PARKING LOT
13. COMPLETION OF NEW PARKING ACCESS AND PERVIOUS STALLS
14. DEMOLITION OF REMAINING PARKING LOT AND FEATURES AS NOTED ON THE PLANS
15. ROUGH GRADING OF THE NEW PICKLE BALL COURT AREAS
16. INSTALL REMAINING UNDERGROUND UTILITIES
17. CONSTRUCT COURTS
18. FINE GRADING
19. INSTALL PERMANENT/FINAL BMP PROTECTIONS
20. PERMANENT/FINAL STABILIZATION OF ALL DISTURBED AREAS AND LANDSCAPING
21. REMOVE TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES
22. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AND THE TOWN OF SEABROOK ISLAND
23. SUBMIT AS-BUILT OF NEW STRUCTURES TO THE TOWN OF SEABROOK ISLAND



REVEER GROUP
2971 W. Montague Ave., Suite 101
North Charleston, SC 29418
843.297.4103
www.reveergroup.com



1819 LONG BEND DR
SEABROOK ISLAND, SC 29455

Table with columns: PAF, Date, Description, DOCUMENT CONTROL LOG

RACQUET CLUB EXPANSION PHASE 1B
THE CLUB AT SEABROOK ISLAND
GENERAL NOTES



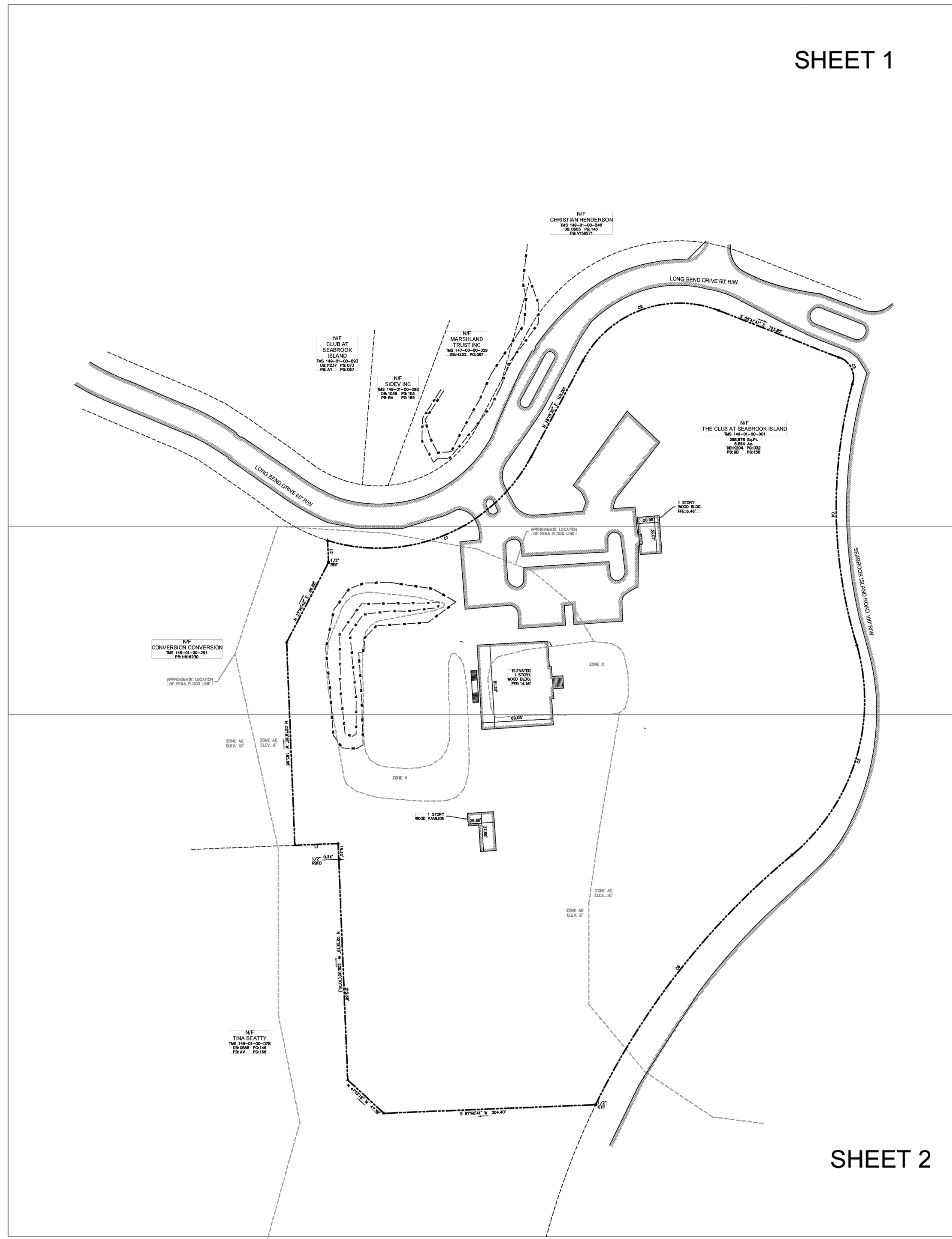
Project No.: 202202.00
Designed By: COL
Checked By: JSD Approved By: PAF

Sheet No.:
C003
Sheet 3 of 22

S:\202202.00_SPROA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Title Sheet Legend and Notes.dwg, 12/17/2023, CLAUTRIP
THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

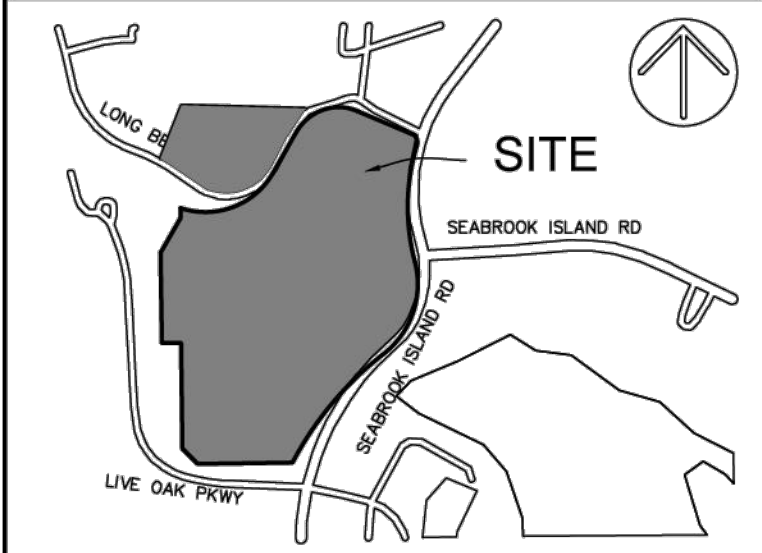
NORTH
SC GRID (NAD 83)

SHEET 1



SHEET 2

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X & AE ELEVATION 9'-10', COMMUNITY 450256, MAP NUMBER 45019CD785K, EFFECTIVE JANUARY 29, 2021.
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NAVD 88(GEOD 18).
 4. BUILDING SETBACKS ARE PER TOWN OF SEABROOK, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 5. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID NAD 83(2011).
 6. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustICAL EVIDENCE AS OF AUGUST 9, 2022. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
 7. A BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF THE FIELD SURVEY WAS CONDUCTED. PROPERTY LINES ARE SHOWN FOR DESCRIPTIVE PURPOSES ONLY.
 8. THE GRATE INLET LOCATED AT SOUTHWEST CORNER IS INACCESSIBLE. ALL PIPES RUNNING TO AND FROM GRATE INLET WERE NOT SURVEYED AT TIME THE SURVEY WAS CONDUCTED AND WERE DRAWN PER SEABROOK ISLAND CLUBS DRAINAGE REPORT.



VICINITY MAP NOT TO SCALE

LEGEND

▲	CALC POINT - CORNER NOT SET
○	OPEN TOP PIPE
●	IRON REBAR FOUND
●	IRON REBAR FOUND DISTURBED
x12.9	SPOT ELEVATION
⊠	IRRIGATION CONTROL VALVE
⊠	LIGHT POLE
⊠	TELEPHONE PEDESTAL
⊠	ELECTRIC BOX
⊠	WATER METER
⊠	FIRE HYDRANT
⊠	STORM DRAIN MANHOLE
⊠	GRATE INLET
⊠	SIGN
⊠	SANITARY SEWER MANHOLE
⊠	NUMBER OF PARKING SPACES
BOC	BACK OF CURB
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
S	CONTOUR LINE
RO	RED OAK
LO	LIVE OAK
P	PINE
PA	PALMETTO
MAG	MAGNOLA
WO	WATER OAK
CLAY	CLAY
CONCRETE	CONCRETE
WOOD	WOOD
EDGE OF PAVEMENT	EDGE OF PAVEMENT
UE	UNDERGROUND ELECTRIC LINE
W	UNDERGROUND WATER LINE
UT	UNDERGROUND TELEPHONE
SD	UNDERGROUND DRAINAGE LINE
SS	UNDERGROUND SEWER LINE
LSA	LANDSCAPING

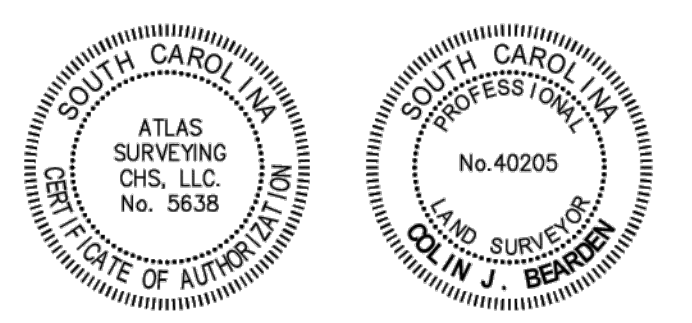
PREPARED FOR:
REVEER GROUP
A TREE & TOPOGRAPHIC/AS-BUILT SURVEY OF
SEABROOK RACQUET CLUB
TAX PARCEL No. 149-01-00-001
A PORTION OF TAX PARCEL No.S 149-01-00-093,
149-01-00-092, & 149-00-00-029

SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
FIELD WORK: LC
FIELD CHECK: CJB
DRAWN BY: CTB
DATE: 09-12-2022
SCALE: 1"=60'
PROJECT No.: CHS-2204
FILE: CHS-2204 TIZ.DWG

COVER SHEET

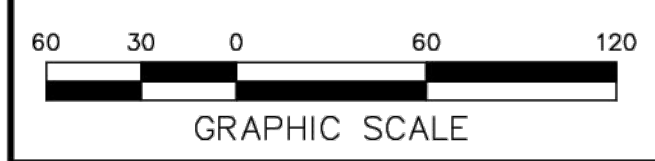
ATLAS
SURVEYING, INC.

1017 BANKTON CIRCLE
HANAHAN, SC 29410
PHONE: (843) 573-7831
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

COLIN J. BEARDEN
S.C.P.L.S. No. 40205
NOT VALID UNLESS CRIMPED WITH SEAL



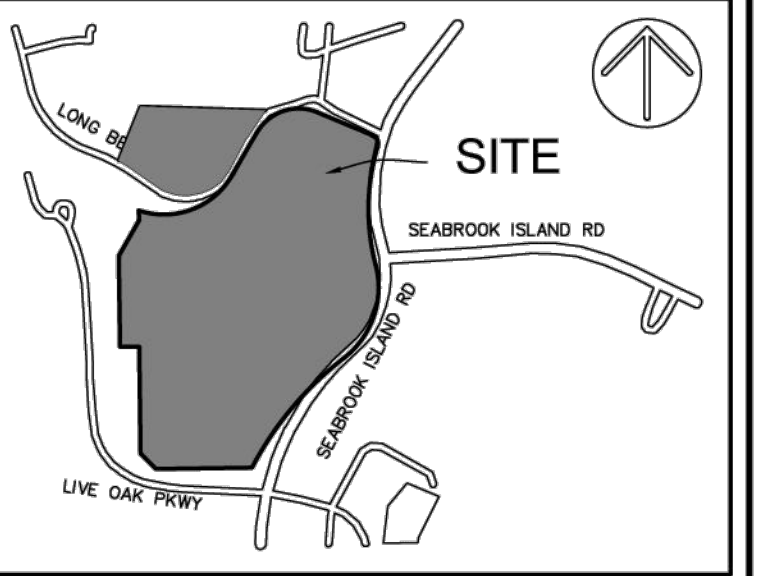
NORTH
SC GRID (NAD 83)

NOTES

- THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X & AE ELEVATION 9'-10'. COMMUNITY 450256. MAP NUMBER 45019C0785K, EFFECTIVE JANUARY 29, 2021.
- CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
- VERTICAL DATUM IS NAVD 88(GEOD 18).
- BUILDING SETBACKS ARE PER TOWN OF SEABROOK, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID NAD 83(2011).
- THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustICAL EVIDENCE AS OF AUGUST 9, 2022. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
- A BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF THE FIELD SURVEY WAS CONDUCTED. PROPERTY LINES ARE SHOWN FOR DESCRIPTIVE PURPOSES ONLY.
- THE GRATE INLET LOCATED AT SOUTHWEST CORNER IS INACCESSIBLE. ALL PIPES RUNNING TO AND FROM GRATE INLET WERE NOT SURVEYED AT TIME THE SURVEY WAS CONDUCTED AND WERE DRAWN PER SEABROOK ISLAND CLUBS DRAINAGE REPORT.

LABEL	BEARING	DISTANCE
L1	S 87°40'41" W	41.67'
L2	N 02°19'18" W	21.05'

LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	167.13'	229.76'	212.09'	N 67°38'27" E	78°46'01"
C2	105.52'	152.96'	138.91'	N 69°48'55" E	83°03'17"
C3	20.00'	31.88'	28.66'	S 77°48'02" E	91°33'08"
C4	458.12'	255.15'	251.87'	S 00°56'42" E	31°54'40"
C5	192.64'	224.59'	212.08'	S 17°15'10" W	66°47'53"
C6	720.00'	307.84'	305.50'	S 38°09'17" W	124°29'51"



VICINITY MAP NOT TO SCALE

- LEGEND
- ▲ CALC POINT - CORNER NOT SET
 - TOP OPEN TOP PIPE
 - IRON REBAR FOUND
 - IRON REBAR FOUND DISTURBED
 - ×12.9 SPOT ELEVATION
 - ⊗ IRRIGATION CONTROL VALVE
 - ⊕ LIGHT POLE
 - TELEPHONE PEDESTAL
 - ELECTRIC BOX
 - WATER METER
 - ⊕ FIRE HYDRANT
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ GRATE INLET
 - SIGN
 - SANITARY SEWER MANHOLE
 - NUMBER OF PARKING SPACES
 - BOC BACK OF CURB
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - CONTOUR LINE
 - RO RED OAK
 - LO LIVE OAK
 - P PINE
 - PA PALMETTO
 - MAG MAGNOLA
 - WO WATER OAK
 - CLAY
 - CONCRETE
 - WOOD
 - EDGE OF PAVEMENT
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND WATER LINE
 - UNDERGROUND TELEPHONE
 - UNDERGROUND DRAINAGE LINE
 - UNDERGROUND SEWER LINE
 - LSA LANDSCAPING

PREPARED FOR:
REVEER GROUP

A TREE & TOPOGRAPHIC/AS-BUILT SURVEY OF
SEABROOK RACQUET CLUB

TAX PARCEL No. 149-01-00-001
A PORTION OF TAX PARCEL No. 149-01-00-093,
149-01-00-092, & 149-00-00-029

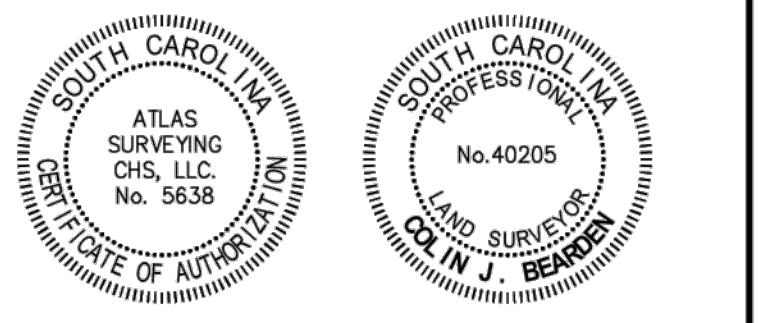
SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA

FIELD WORK: LC
FIELD CHECK: CB
DRAWN BY: CTB
DATE: 09-12-2022
SCALE: 1"=30'
PROJECT No.: CHS-2204
FILE: CHS-2204-ITZ.DWG

SHEET 1 OF 2

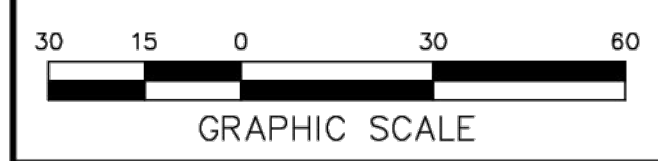
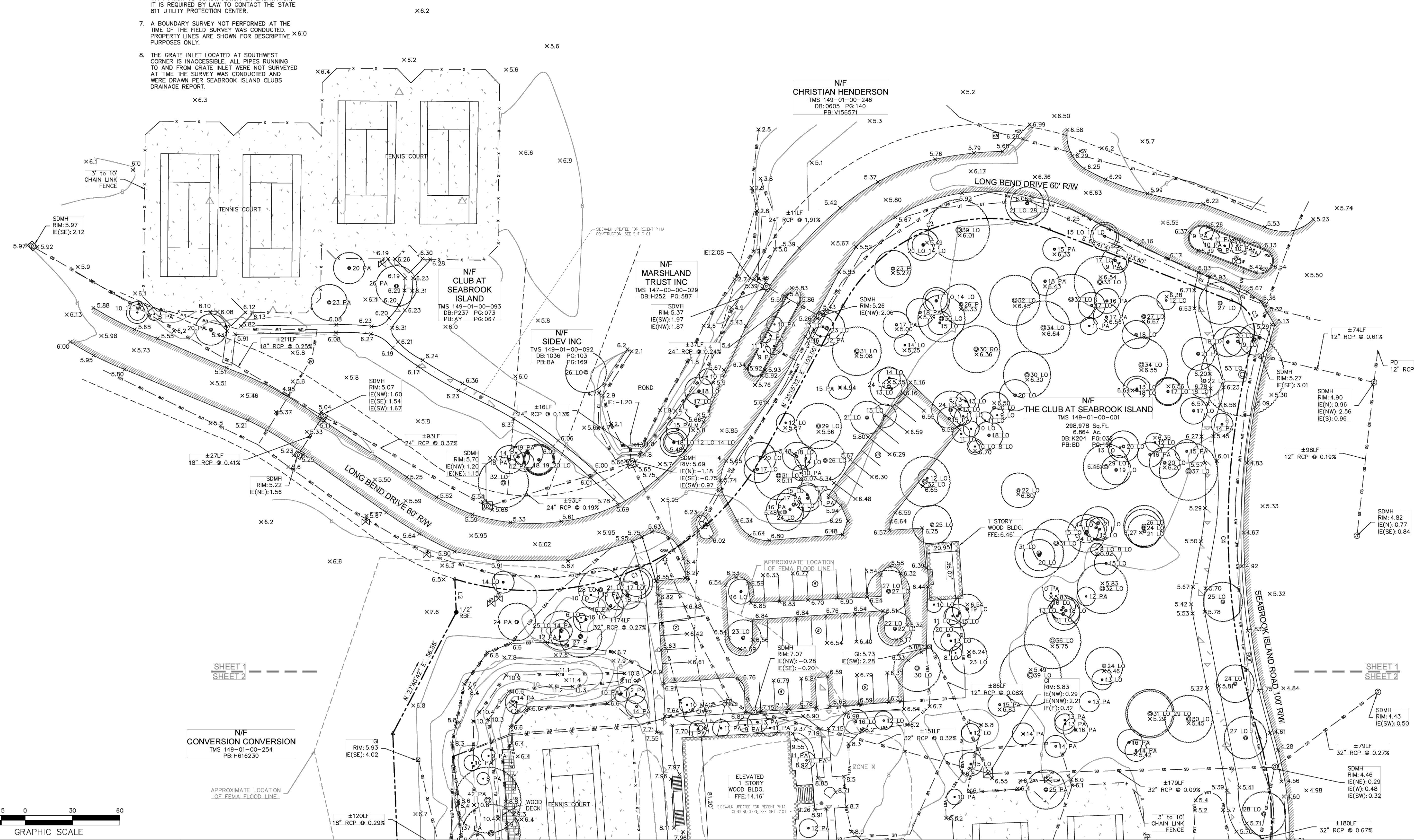
ATLAS SURVEYING, INC.

1017 BANKTON CIRCLE
HANAHAN, SC 29410
PHONE: (843) 573-7831
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

COLIN J. BEARDEN
S.C.P.L.S. No. 40205
NOT VALID UNLESS CRIMPED WITH SEAL



NORTH
SC GRID (NAD 83)

SHEET 1
SHEET 2

SHEET 1
SHEET 2

N/F
CONVERSION
TMS 149-01-00-254
PB: H616230

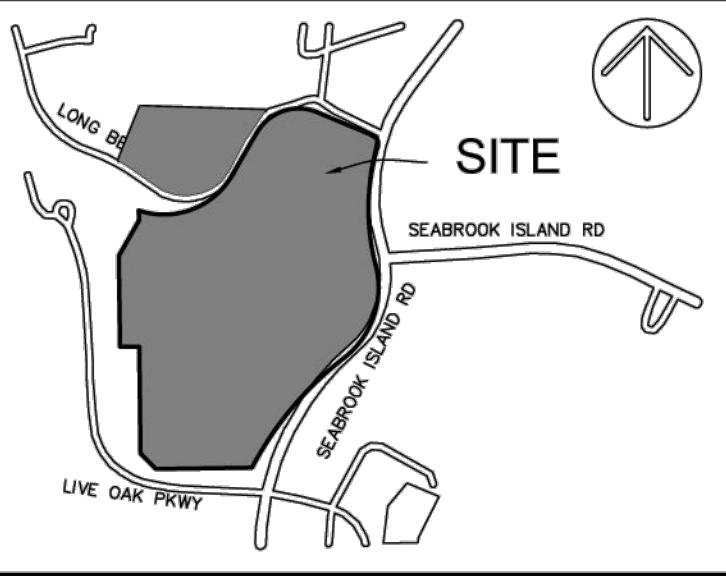
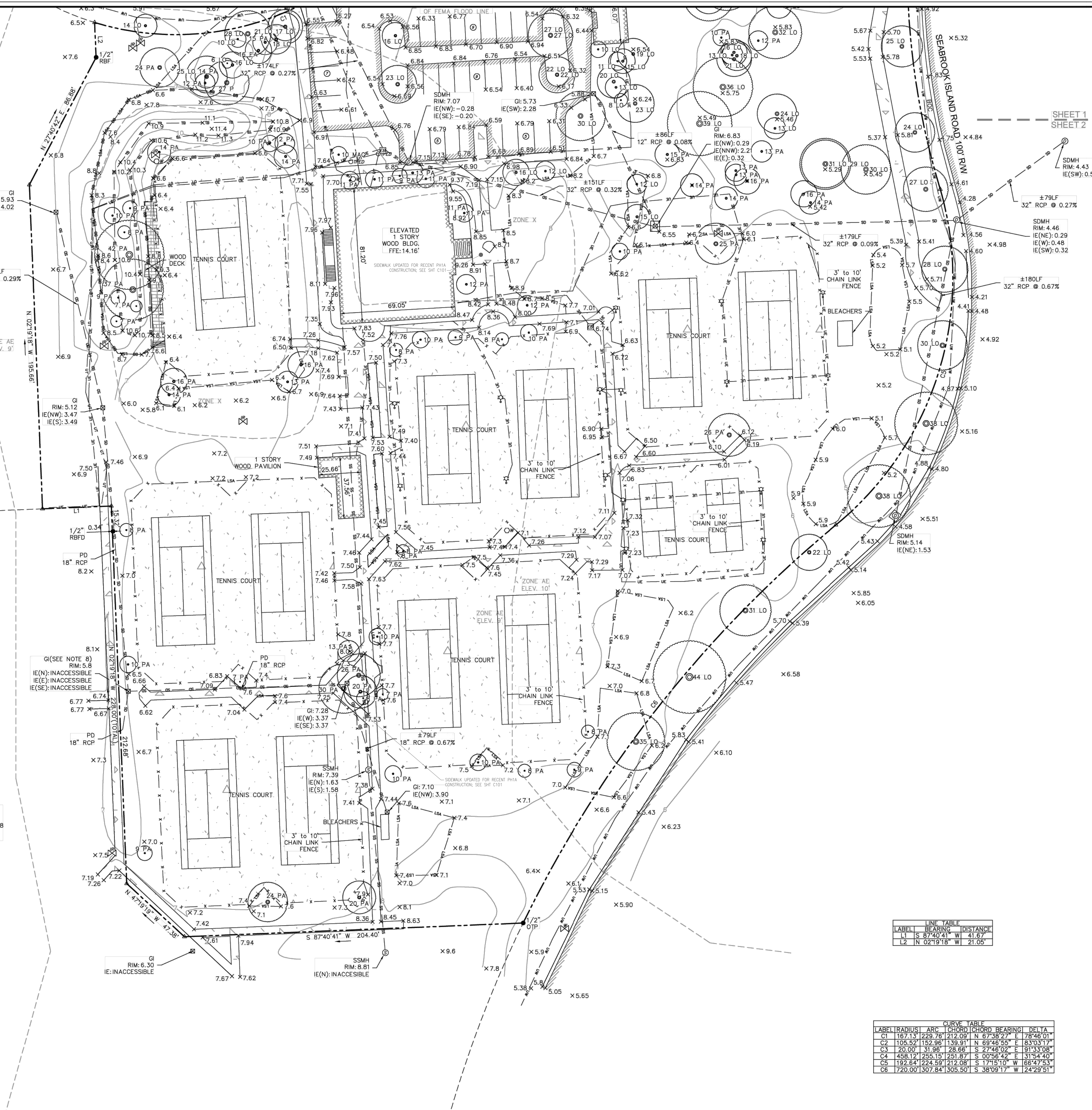
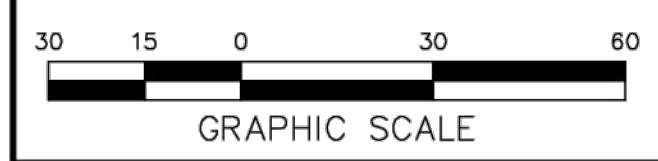
APPROXIMATE LOCATION
OF FEMA FLOOD LINE.

ZONE AE
ELEV. 10'

ZONE AE
ELEV. 9'

N/F
TINA BEATTY
TMS 149-01-00-078
DB: 0858 PG: 146
PB: AV PG: 166

- NOTES
- THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X & AE ELEVATION 9-10', COMMUNITY 450256, MAP NUMBER 45019C0785K, EFFECTIVE JANUARY 29, 2021.
 - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 - VERTICAL DATUM IS NAVD 88(GEOD 18).
 - BUILDING SETBACKS ARE PER TOWN OF SEABROOK, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 - HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID NAD 83(2011).
 - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACOUSTICAL EVIDENCE AS OF AUGUST 9, 2022. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
 - A BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF THE FIELD SURVEY WAS CONDUCTED. PROPERTY LINES ARE SHOWN FOR DESCRIPTIVE PURPOSES ONLY.
 - THE GRATE INLET LOCATED AT SOUTHWEST CORNER IS INACCESSIBLE. ALL PIPES RUNNING TO AND FROM GRATE INLET WERE NOT SURVEYED AT TIME THE SURVEY WAS CONDUCTED AND WERE DRAWN PER SEABROOK ISLAND CLUBS DRAINAGE REPORT.



VICINITY MAP NOT TO SCALE

- LEGEND
- ▲ CALC POINT - CORNER NOT SET
 - OPEN TOP PIPE
 - IRON REBAR FOUND
 - IRON REBAR FOUND DISTURBED
 - × 12.9 SPOT ELEVATION
 - ⊗ IRRIGATION CONTROL VALVE
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRIC BOX
 - ⊕ WATER METER
 - ⊕ FIRE HYDRANT
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ GRATE INLET
 - ⊕ SIGN
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ NUMBER OF PARKING SPACES
 - ⊕ BACK OF CURB
 - ⊕ CORRUGATED METAL PIPE
 - ⊕ REINFORCED CONCRETE PIPE
 - ⊕ POLYVINYL CHLORIDE PIPE
 - ⊕ CONTOUR LINE
 - ⊕ RED OAK
 - ⊕ LIVE OAK
 - ⊕ PINE
 - ⊕ PALMETTO
 - ⊕ MAGNOLIA
 - ⊕ WATER OAK
 - ⊕ CLAY
 - ⊕ CONCRETE
 - ⊕ WOOD
 - ⊕ EDGE OF PAVEMENT
 - ⊕ UNDERGROUND ELECTRIC LINE
 - ⊕ UNDERGROUND WATER LINE
 - ⊕ UNDERGROUND TELEPHONE
 - ⊕ UNDERGROUND DRAINAGE LINE
 - ⊕ UNDERGROUND SEWER LINE
 - ⊕ LANDSCAPING

PREPARED FOR:
REVEER GROUP

A TREE & TOPOGRAPHIC/AS-BUILT SURVEY OF
SEABROOK RACQUET CLUB

TAX PARCEL No. 149-01-00-001
A PORTION OF TAX PARCEL No. 149-01-00-093,
149-01-00-092, & 149-00-00-029

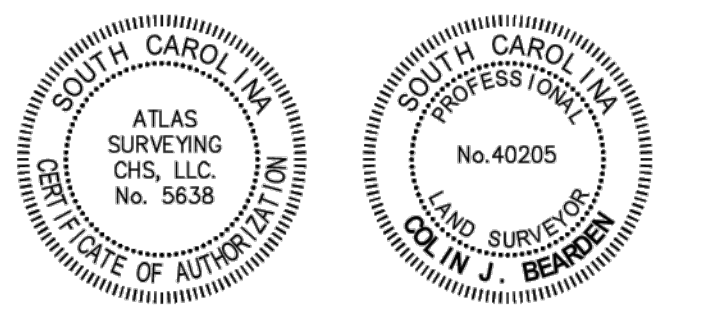
SEABROOK ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA

FIELD WORK: LC
FIELD CHECK: CB
DRAWN BY: CTB
DATE: 09-12-2022
SCALE: 1"=30'
PROJECT No.: CHS-2204
FILE: CHS-2204_T2.DWG

SHEET 2 OF 2

ATLAS SURVEYING, INC.

1017 BANKTON CIRCLE
HANAHAN, SC 29410
PHONE: (843) 573-7831
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

COLIN J. BEARDEN
S.C.P.L.S. No. 40205
NOT VALID UNLESS CRIMPED WITH SEAL

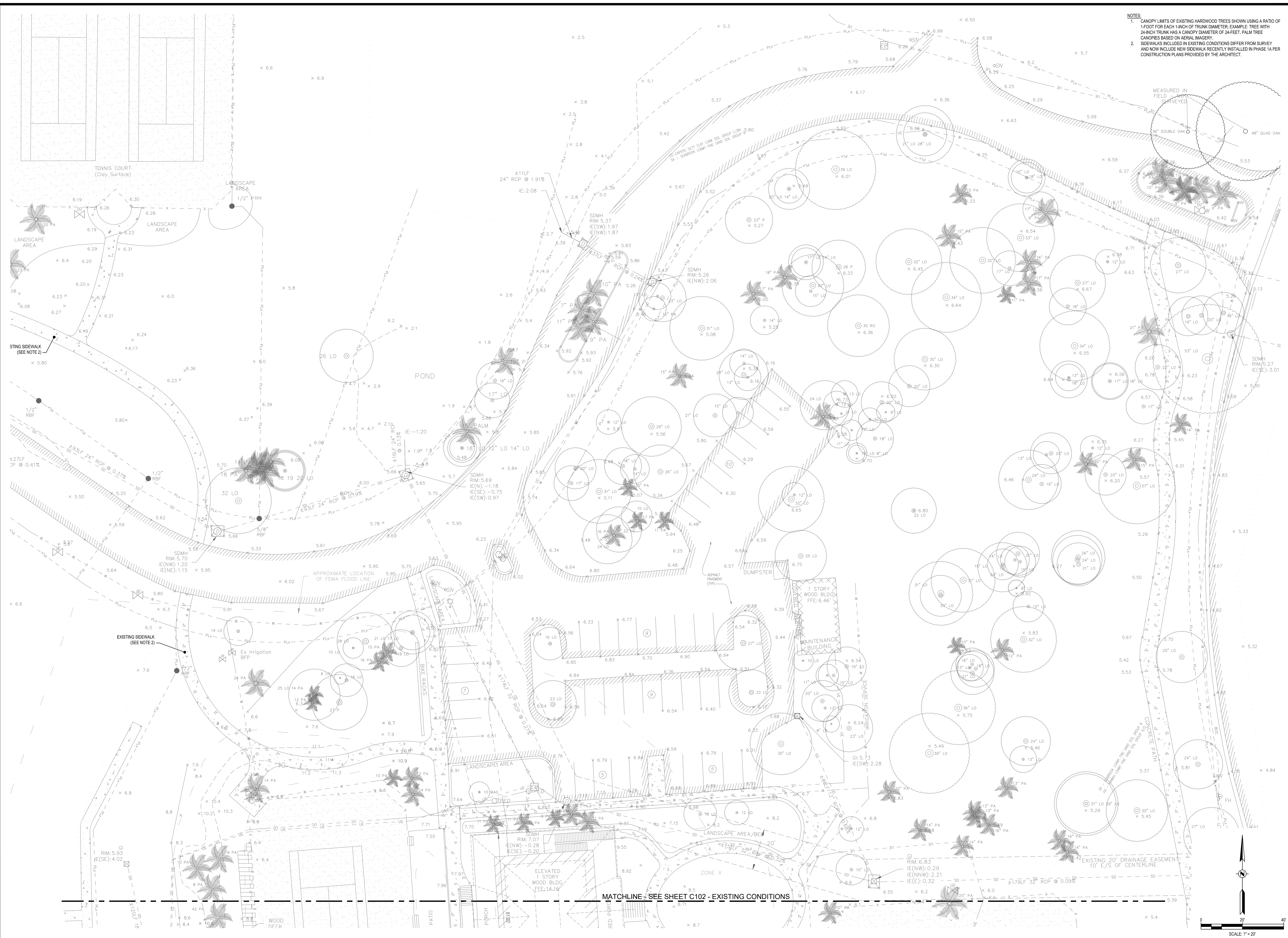
LINE TABLE

LABEL	BEARING	DISTANCE
L1	S 87°40'41" W	41.67
L2	N 02°19'18" W	21.05

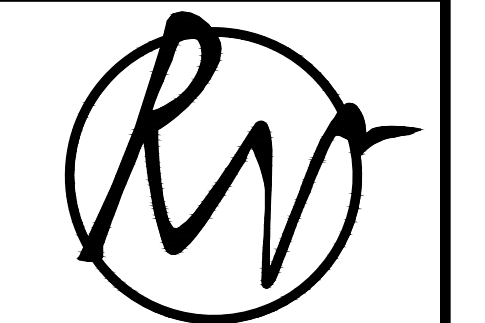
CURVE TABLE

LABEL	RADIUS	ARC LENGTH	BEARING	DELTA
C1	167.13'	229.78'	N 67°38'27" E	78°46'01"
C2	105.52'	152.96'	N 69°46'55" E	83°03'17"
C3	20.00'	31.99'	S 27°48'02" E	91°33'08"
C4	458.12'	255.13'	S 60°58'42" E	31°54'40"
C5	192.64'	224.59'	S 17°15'10" W	66°47'53"
C6	720.00'	307.84'	S 38°09'17" W	124°29'51"

S:\2022\02_00_SPCA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Existing Conditions.dwg, 12/1/2023, CLAUTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



NOTES:
 1. CANOPY LIMITS OF EXISTING HARDWOOD TREES SHOWN USING A RATIO OF 1-FOOT FOR EACH 1-INCH OF TRUNK DIAMETER. EXAMPLE: TREE WITH 24-INCH TRUNK HAS A CANOPY DIAMETER OF 24-FEET. PALM TREE CANOPIES BASED ON AERIAL IMAGERY.
 2. SIDEWALKS INCLUDED IN EXISTING CONDITIONS DIFFER FROM SURVEY AND NOW INCLUDE NEW SIDEWALK RECENTLY INSTALLED IN PHASE 1A PER CONSTRUCTION PLANS PROVIDED BY THE ARCHITECT.



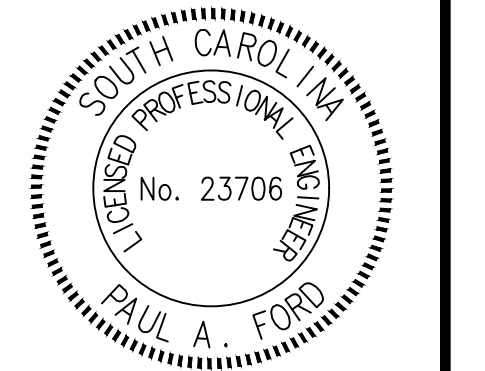
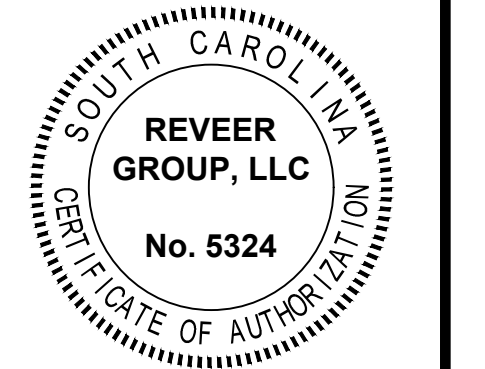
REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com



1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	EIA SUBMITTAL - UPDATE
03	10/12/2023	EIA SUBMITTAL
02	09/08/2023	EIA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**
 Existing Conditions



Project No: 202202.00
 Designed By: CCL
 Checked By: JSD Approved By: PAF

Sheet No:
C101
 Sheet 7 of 22

S:\2022\2022_00_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Existing Conditions.dwg, 12/1/2023, CLAUTRUP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	EZA SUBMITTAL - UPDATE
03	10/12/2023	EZA SUBMITTAL
02	09/08/2023	EZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

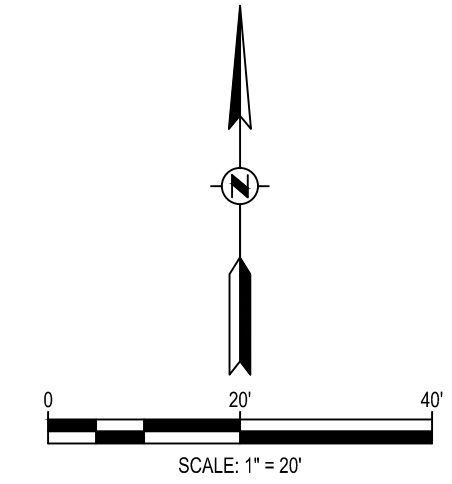
**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**
 EXISTING CONDITIONS

REVEER GROUP, LLC
 No. 5324
 SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 No. 23706
 PAUL A. FORD

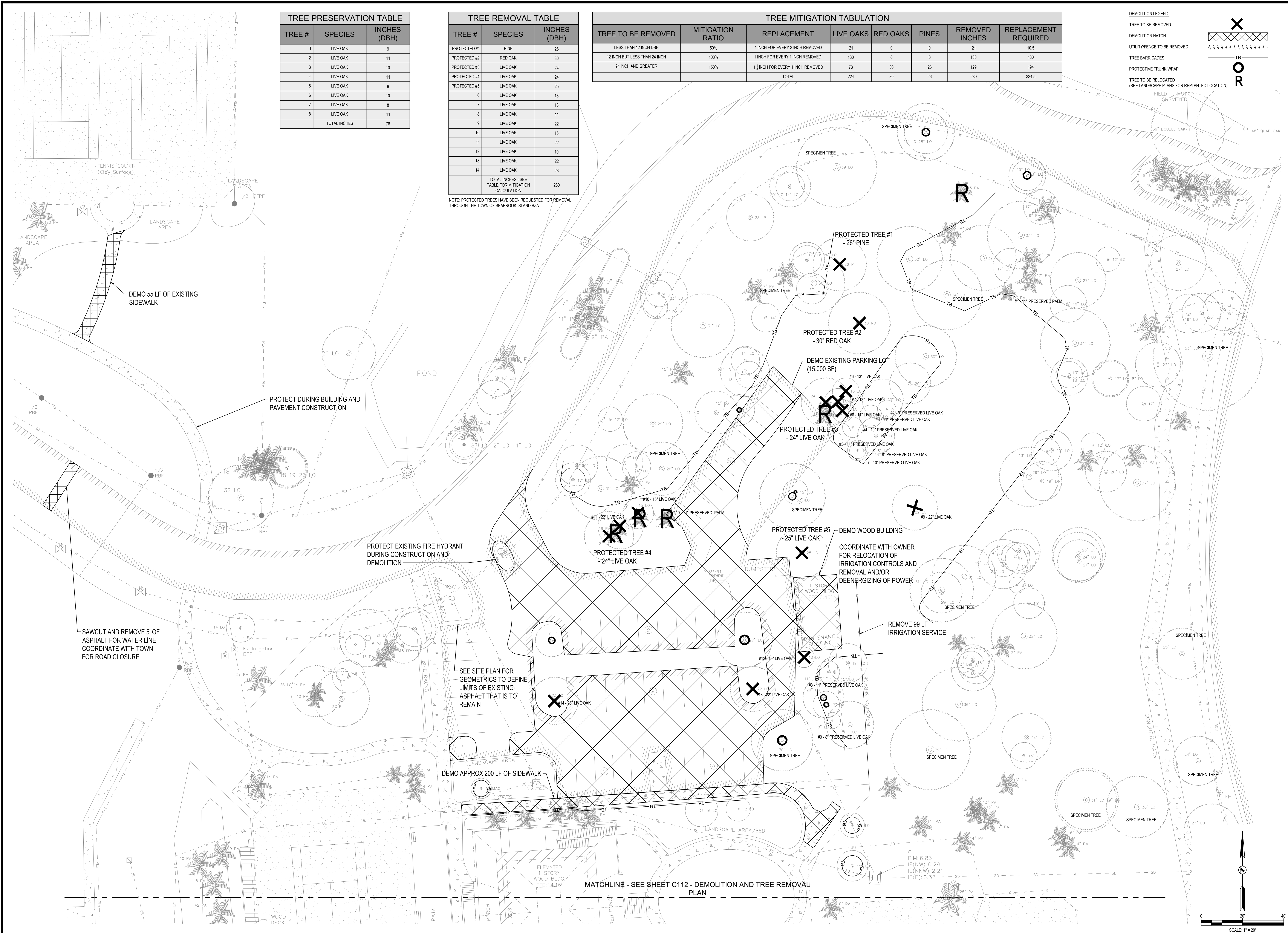
Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

C102
 Sheet 8 of 22

- NOTES:**
- CANOPY LIMITS OF EXISTING HARDWOOD TREES SHOWN USING A RATIO OF 1-FOOT FOR EACH 1-INCH OF TRUNK DIAMETER. EXAMPLE: TREE WITH 24-INCH TRUNK HAS A CANOPY DIAMETER OF 24-FEET. PALM TREE CANOPIES BASED ON AERIAL IMAGERY.
 - SIDEWALKS INCLUDED IN EXISTING CONDITIONS DIFFER FROM SURVEY AND NOW INCLUDE NEW SIDEWALKS RECENTLY INSTALLED IN PHASE 1A PER CONSTRUCTION PLANS PROVIDED BY THE ARCHITECT.



S:\2022\2022_00_SPRM Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Demolition Plans.dwg, 12/1/2023, CLAUSTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



TREE #	SPECIES	INCHES (DBH)
1	LIVE OAK	9
2	LIVE OAK	11
3	LIVE OAK	10
4	LIVE OAK	11
5	LIVE OAK	8
6	LIVE OAK	10
7	LIVE OAK	8
8	LIVE OAK	11
TOTAL INCHES		78

TREE #	SPECIES	INCHES (DBH)
PROTECTED #1	PINE	26
PROTECTED #2	RED OAK	30
PROTECTED #3	LIVE OAK	24
PROTECTED #4	LIVE OAK	24
PROTECTED #5	LIVE OAK	25
6	LIVE OAK	13
7	LIVE OAK	13
8	LIVE OAK	11
9	LIVE OAK	22
10	LIVE OAK	15
11	LIVE OAK	22
12	LIVE OAK	10
13	LIVE OAK	22
14	LIVE OAK	23
TOTAL INCHES - SEE TABLE FOR MITIGATION CALCULATION		280

NOTE: PROTECTED TREES HAVE BEEN REQUESTED FOR REMOVAL THROUGH THE TOWN OF SEABROOK ISLAND BZA

TREE TO BE REMOVED	MITIGATION RATIO	REPLACEMENT	LIVE OAKS	RED OAKS	PINES	REMOVED INCHES	REPLACEMENT REQUIRED
LESS THAN 12 INCH DBH	50%	1 INCH FOR EVERY 2 INCH REMOVED	21	0	0	21	10.5
12 INCH BUT LESS THAN 24 INCH	100%	1 INCH FOR EVERY 1 INCH REMOVED	130	0	0	130	130
24 INCH AND GREATER	150%	1 1/2 INCH FOR EVERY 1 INCH REMOVED	73	30	26	129	194
TOTAL			224	30	26	280	334.5

DEMOLITION LEGEND:

TREE TO BE REMOVED

DEMOLITION HATCH

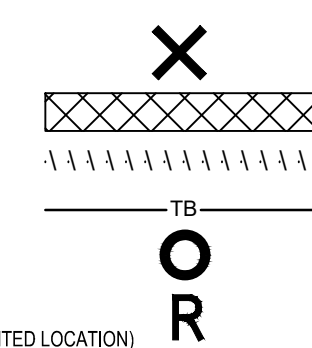
UTILITY/FENCE TO BE REMOVED

TREE BARRICADES

PROTECTIVE TRUNK WRAP

TREE TO BE RELOCATED

(SEE LANDSCAPE PLANS FOR REPLANTED LOCATION)



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

Owner:

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL - UPDATE
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

Project: **RACQUET CLUB EXPANSION PHASE 1B**
 Sheet Title: **THE CLUB AT SEABROOK ISLAND**
 DEMOLITION AND TREE REMOVAL PLAN

SOUTH CAROLINA
 REVEER GROUP, LLC
 No. 5324
 CREATIVE LICENSED PROFESSIONAL ENGINEER
 No. 23706
 PAUL A. FORD

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.: **C111**
 Sheet 9 of 22

S:\2022\20_SPA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Demolition Plans.dwg, 12/1/2023, CLAUTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/7/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL - UPDATE
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

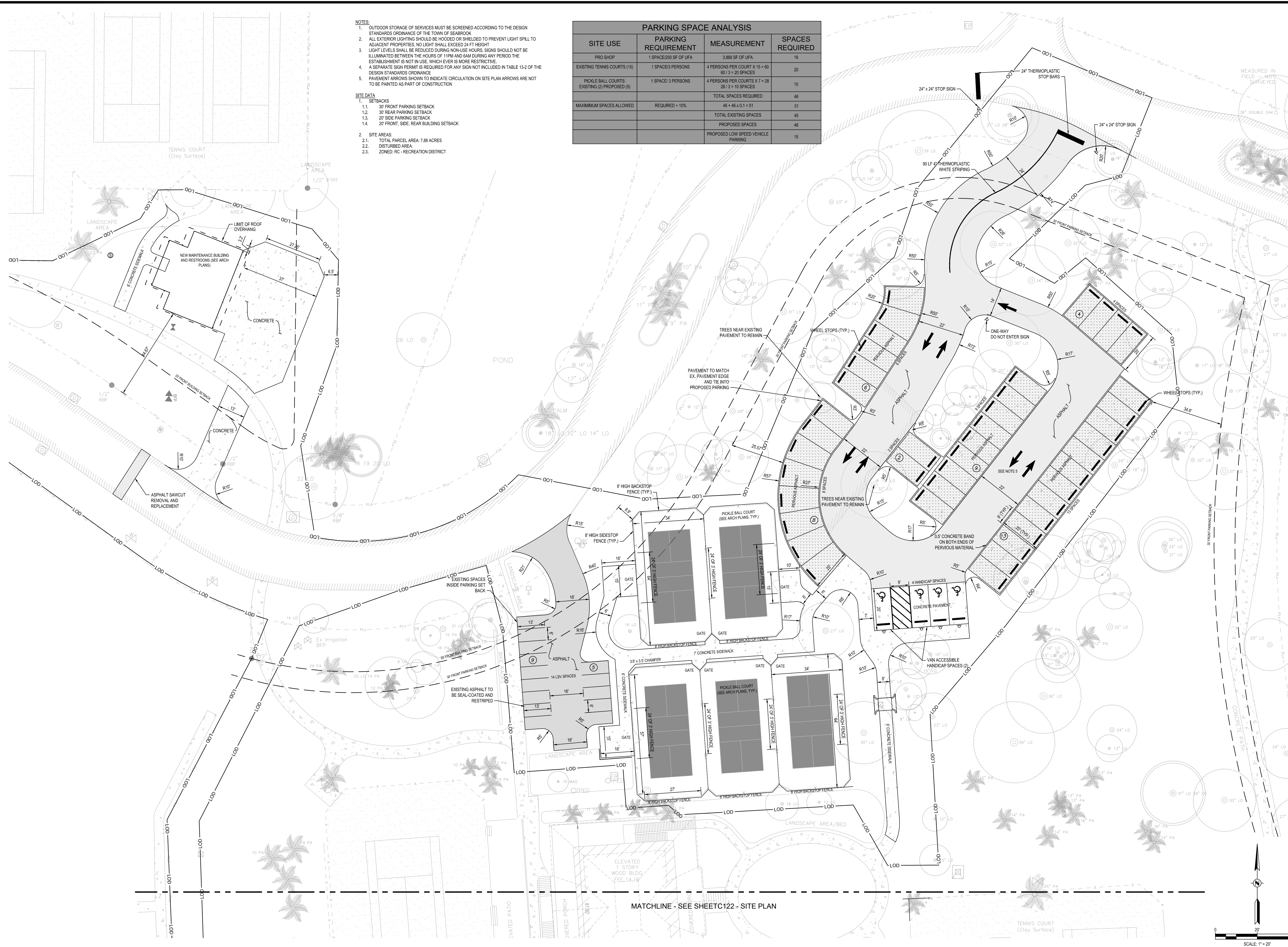
**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**
 Sheet Title:
DEMOLITION AND TREE REMOVAL PLAN

REVEER GROUP, LLC
 No. 5324
 STATE OF SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 No. 23706
 PAUL A. FORD

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.:
C112
 Sheet 10 of 22

S:\2022\02_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Site Plan and Construction Plan.dwg, 12/7/2023, CLMTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



- NOTES**
1. OUTDOOR STORAGE OF SERVICES MUST BE SCREENED ACCORDING TO THE DESIGN STANDARDS ORDINANCE OF THE TOWN OF SEABROOK.
 2. ALL EXTERIOR LIGHTING SHOULD BE HOODED OR SHIELDED TO PREVENT LIGHT SPILL TO ADJACENT PROPERTIES. NO LIGHT SHALL EXCEED 24 FT HEIGHT.
 3. LIGHT LEVELS SHALL BE REDUCED DURING NON-USE HOURS. SIGNS SHOULD NOT BE ILLUMINATED BETWEEN THE HOURS OF 11PM AND 6AM DURING ANY PERIOD THE ESTABLISHMENT IS NOT IN USE. WHICH EVER IS MORE RESTRICTIVE.
 4. A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGN NOT INCLUDED IN TABLE 13-2 OF THE DESIGN STANDARDS ORDINANCE.
 5. PAVEMENT ARROWS SHOWN TO INDICATE CIRCULATION ON SITE PLAN ARROWS ARE NOT TO BE PAINTED AS PART OF CONSTRUCTION.
- SITE DATA**
1. SETBACKS
 - 1.1. 30' FRONT PARKING SETBACK
 - 1.2. 30' REAR PARKING SETBACK
 - 1.3. 20' SIDE PARKING SETBACK
 - 1.4. 20' FRONT, SIDE, REAR BUILDING SETBACK
 2. SITE AREAS
 - 2.1. TOTAL PARCEL AREA 7.88 ACRES
 - 2.2. DISTURBED AREA
 - 2.3. ZONED: RC - RECREATION DISTRICT

PARKING SPACE ANALYSIS			
SITE USE	PARKING REQUIREMENT	MEASUREMENT	SPACES REQUIRED
PRO SHOP	1 SPACE/250 SF OF UFA	3,866 SF OF UFA	16
EXISTING TENNIS COURTS (15)	1 SPACE/3 PERSONS	4 PERSONS PER COURT X 15 = 60 60 / 3 = 20 SPACES	20
PICKLE BALL COURTS, EXISTING (2) PROPOSED (5)	1 SPACE/3 PERSONS	4 PERSONS PER COURT X 7 = 28 28 / 3 = 10 SPACES	10
		TOTAL SPACES REQUIRED	46
		TOTAL EXISTING SPACES	45
		PROPOSED SPACES	46
		PROPOSED LOW SPEED VEHICLE PARKING	15
		MAXIMUM SPACES ALLOWED	51
	REQUIRED +10%	46 + 46 x 0.1 = 51	

REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	BEA SUBMITTAL - UPDATE
03	10/12/2023	BEA SUBMITTAL - UPDATE
02	09/08/2023	BEA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

Project Title

SITE PLAN

Project No: 202202.00
 Designed By: CCL
 Checked By: JSD Approved By: PAF

Project: SOUTH CAROLINA CREATIVE GROUP, LLC
 REVEER GROUP, LLC
 No. 5324
 STATE OF SOUTH CAROLINA
 CREATIVE GROUP, LLC

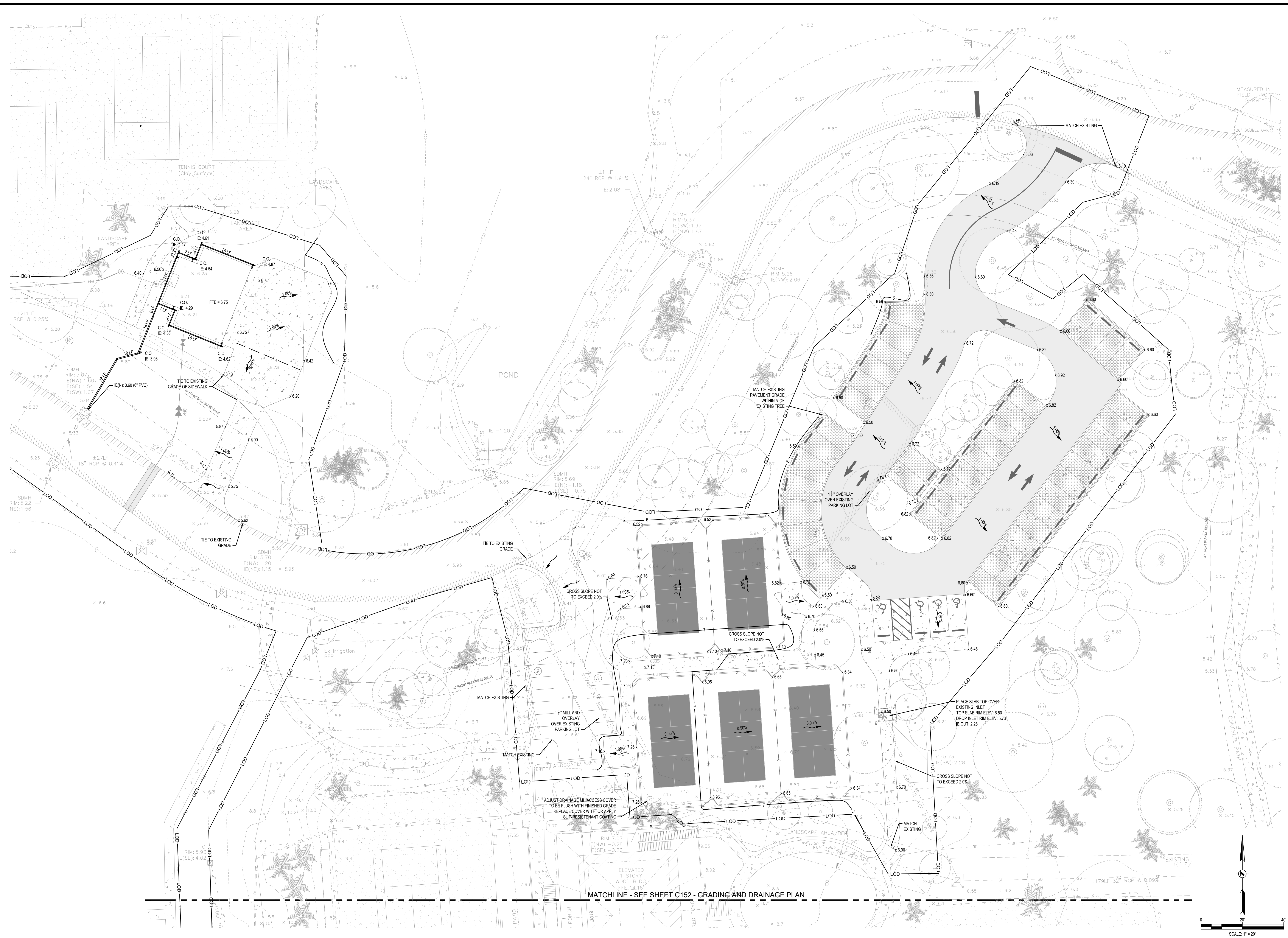
Project: SOUTH CAROLINA LICENSED PROFESSIONAL ENGINEER
 No. 23706
 PAUL A. FORD

Project No: 202202.00
 Designed By: CCL
 Checked By: JSD Approved By: PAF

Sheet No: **C121**

Sheet 11 of 22

S:\2022\00_SPRM Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Grading Plan.dwg, 12/1/2023, CLAU/TPJ
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	SEA SUBMITTAL - UPDATE
03	10/12/2023	SEA SUBMITTAL - UPDATE
02	09/08/2023	SEA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

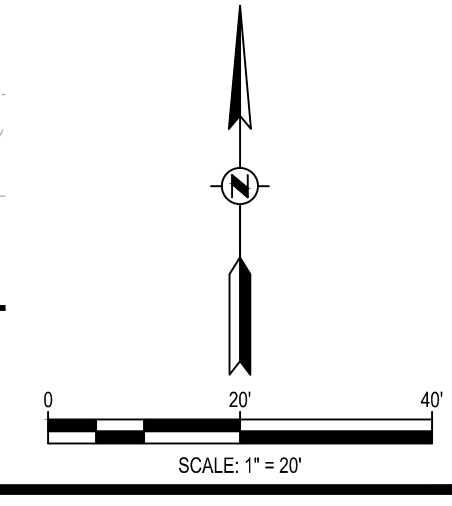
Project: THE CLUB AT SEABROOK ISLAND
 Sheet Title: GRADING AND DRAINAGE PLAN

REVEER GROUP, LLC
 No. 5324
 SOUTH CAROLINA
 PROFESSIONAL ENGINEER

PAUL A. FORD
 No. 23706
 SOUTH CAROLINA
 LICENSED PROFESSIONAL ENGINEER

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.:
C151
 Sheet 13 of 22



S:\2022\00_SPRM Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Grading Plan.dwg, 12/1/2023, CLAU/TPJ
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

Project Title

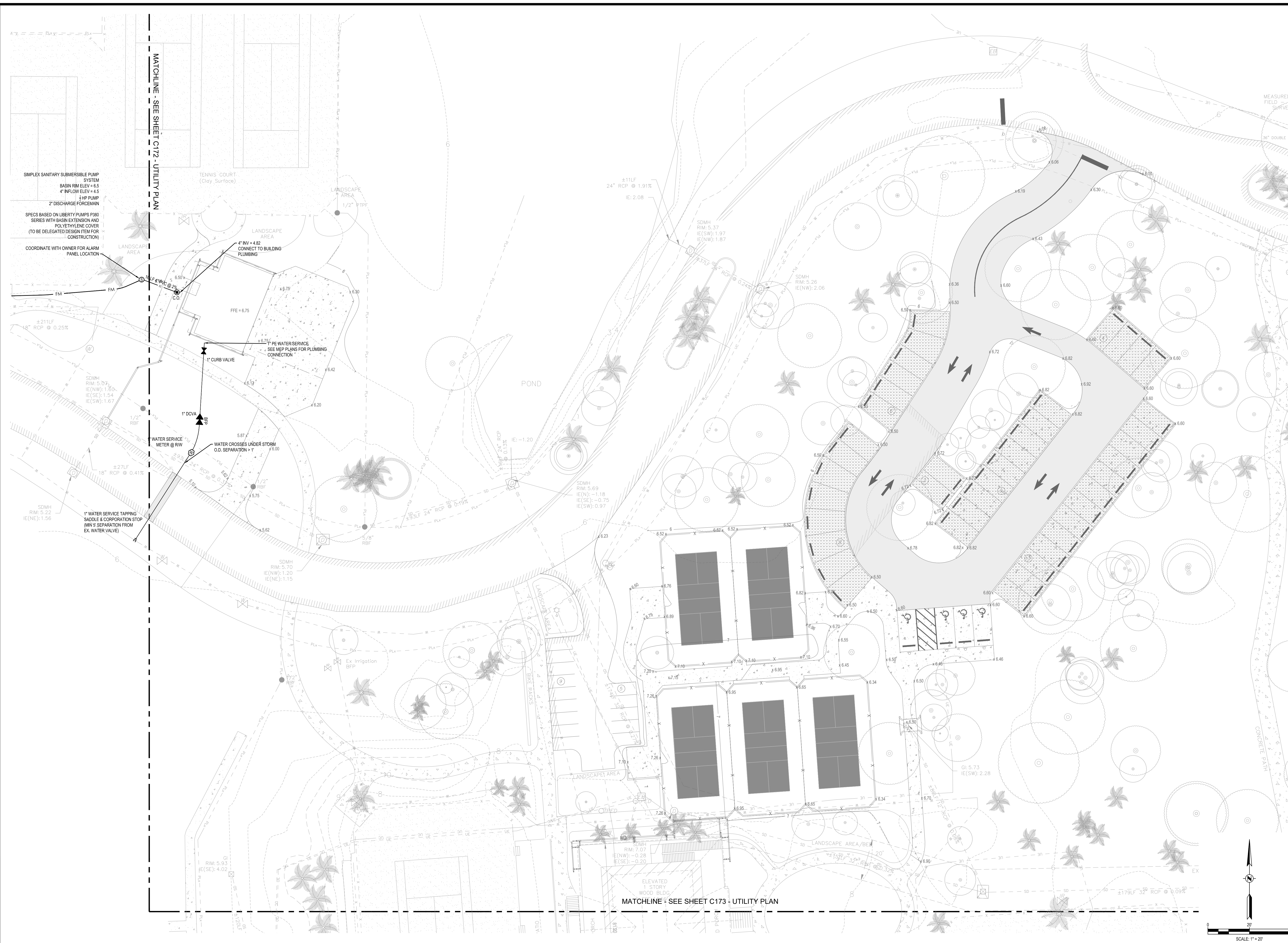
GRADING AND DRAINAGE PLAN

REVEER GROUP, LLC
 No. 5324
 STATE OF SOUTH CAROLINA
 PROFESSIONAL ENGINEER

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

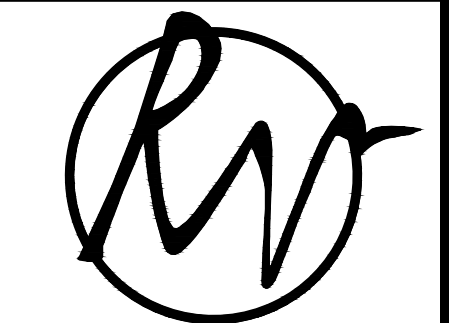
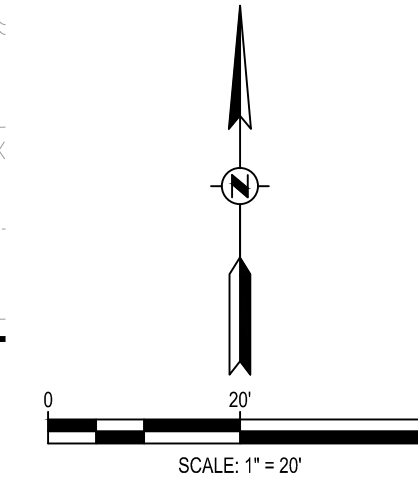
Sheet No.:
C152
 Sheet 14 of 22

S:\2022\02_00_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Utility Plan.dwg, 12/1/2023, CLAUTRUP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



MATCHLINE - SEE SHEET C172 - UTILITY PLAN

MATCHLINE - SEE SHEET C173 - UTILITY PLAN



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com



1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT
02	09/08/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL - UPDATE
04	11/17/2023	BZA SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

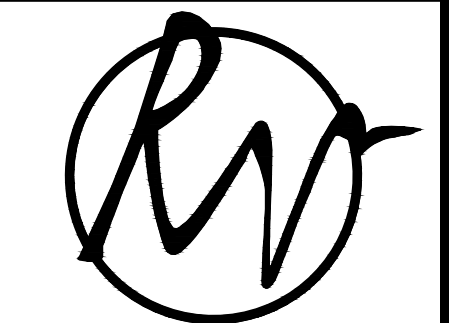
Project Title: **UTILITY PLAN**



Project No.: 202202.00
 Designed By: CCL
 Checked By: JSD Approved By: PAF

Sheet No.: **C171**
 Sheet 15 of 22

S:\2022\00_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Utility Plan.dwg, 12/1/2023, CLAUTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com



1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/7/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL
02	09/08/2023	BZA SUBMITTAL - UPDATE
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

Project Title: **UTILITY PLAN**



Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.: **C172**
 Sheet 16 of 22

S:\2022\2022_00_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Utility Plan.dwg, 12/1/2023, CLAUTRUP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

Owner:

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

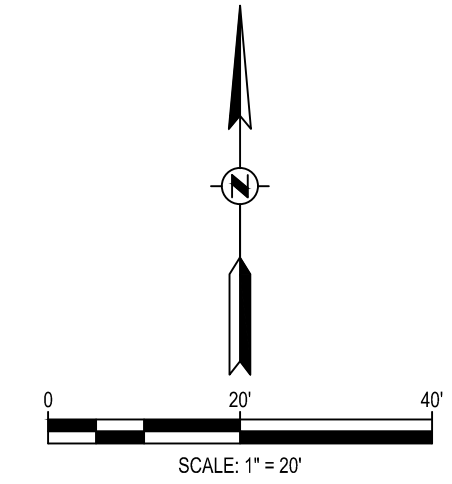
Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/7/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL - UPDATE
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

Project: **RACQUET CLUB EXPANSION PHASE 1B**
THE CLUB AT SEABROOK ISLAND
 Sheet Title: **UTILITY PLAN**

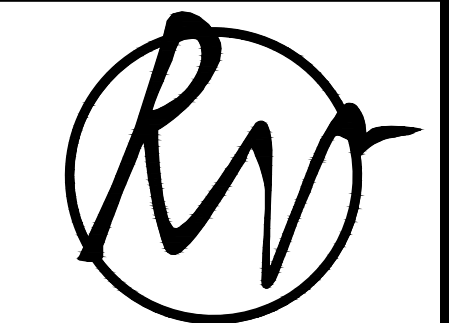
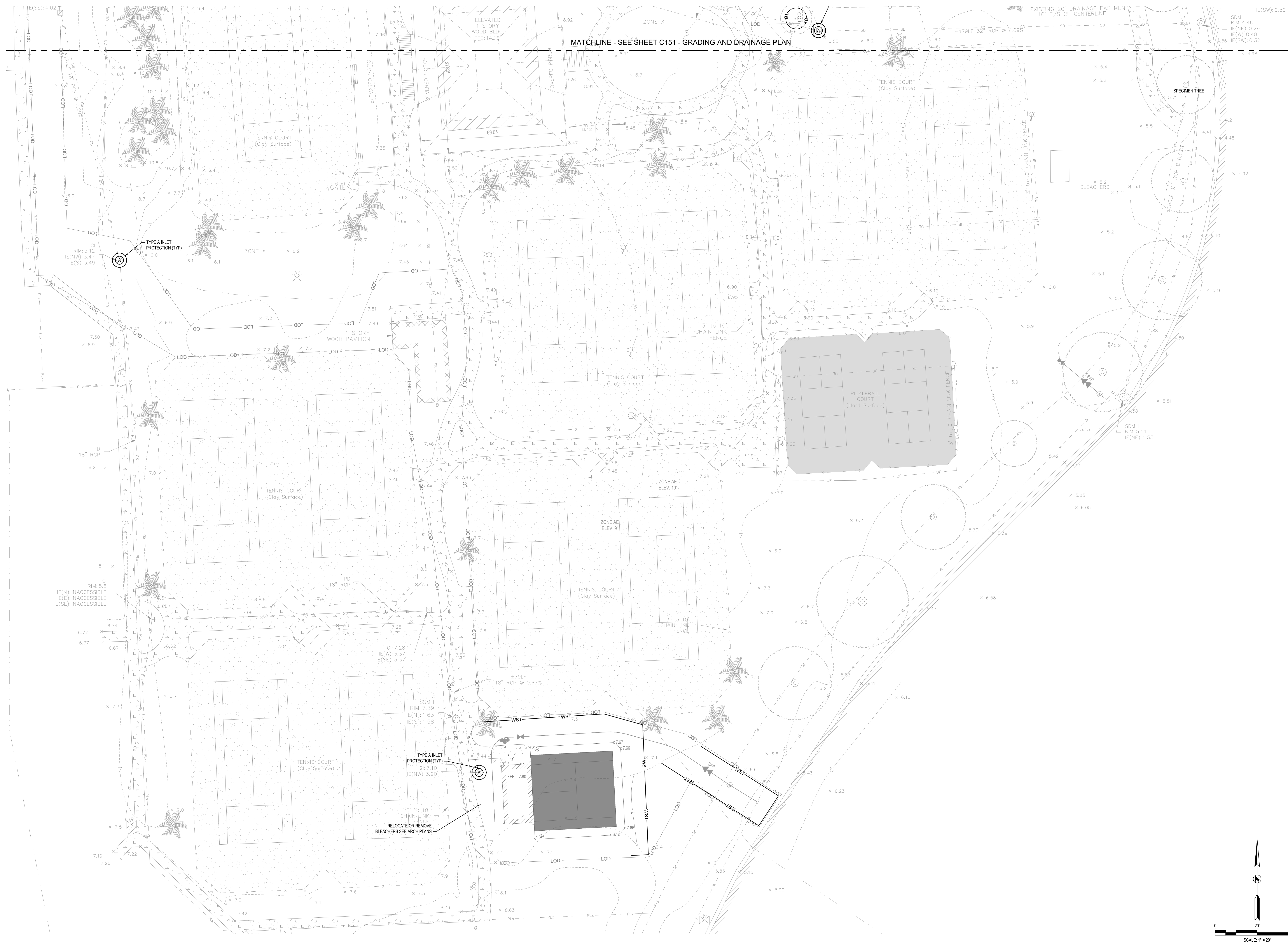
Professional Engineer Seal:
 SOUTH CAROLINA
 REVEER GROUP, LLC
 No. 5324
 LICENSED PROFESSIONAL ENGINEER
 No. 23706
 PAUL A. FORD

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.: **C173**
 Sheet 17 of 22



S:\2022\20_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - SWPPP.dwg, 12/17/2023, CLAUSTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com



1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

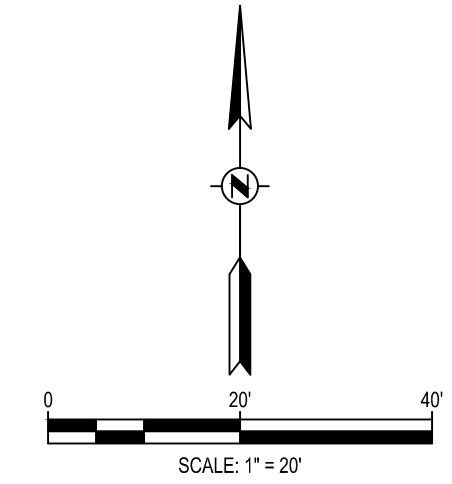
Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL - UPDATE
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

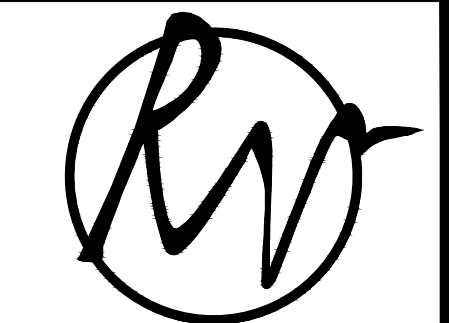
**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**
 SWPPP PLAN



Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.:
C252
 Sheet 19 of 22





REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

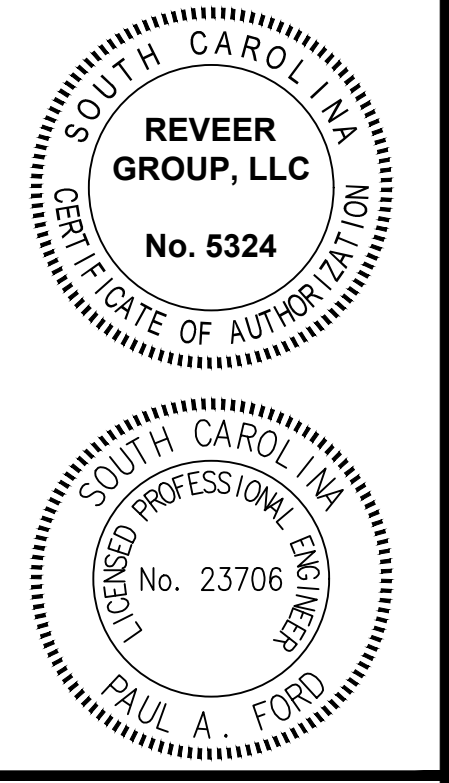


1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/17/2023	EZA SUBMITTAL - UPDATE
03	10/12/2023	EZA SUBMITTAL
02	09/08/2023	EZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

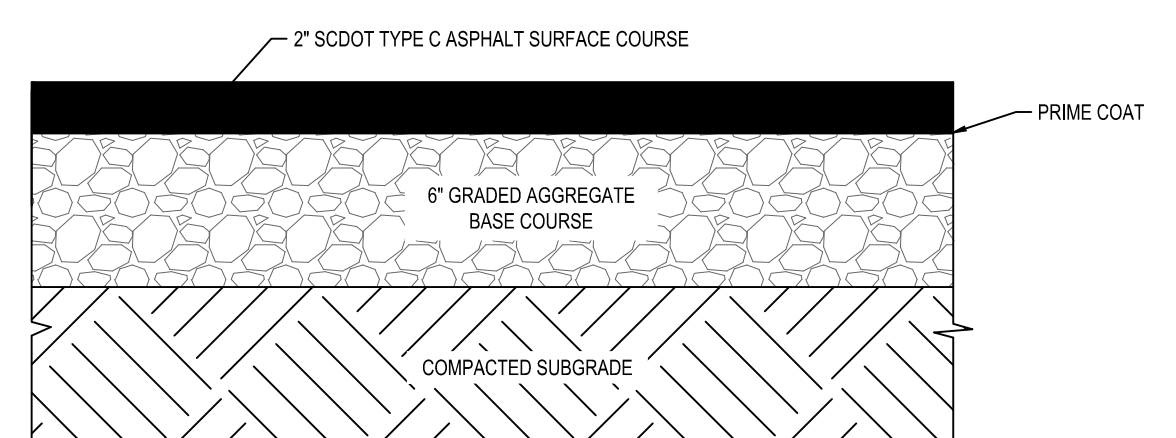
**RACQUET CLUB EXPANSION
 PHASE 1B
 THE CLUB AT SEABROOK ISLAND**

SITE DETAILS



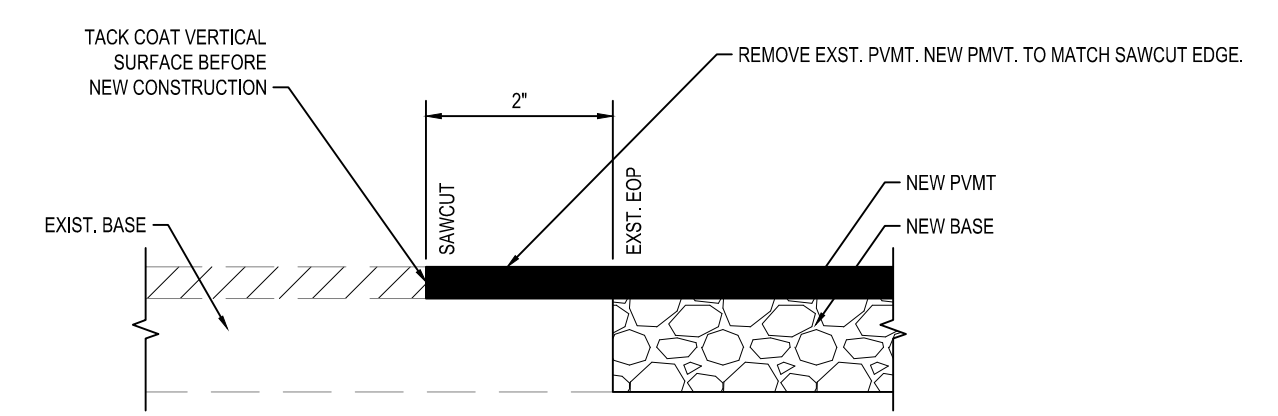
Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.: **C501**
 Sheet 20 of 22

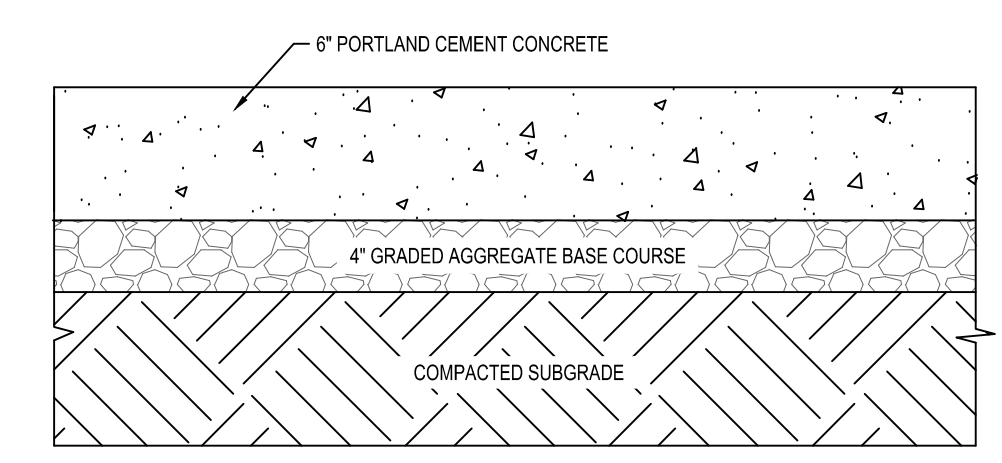


NOTES:
 1. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS.

1 TYPICAL ASPHALT SECTION
 C501 SCALE: N.T.S.

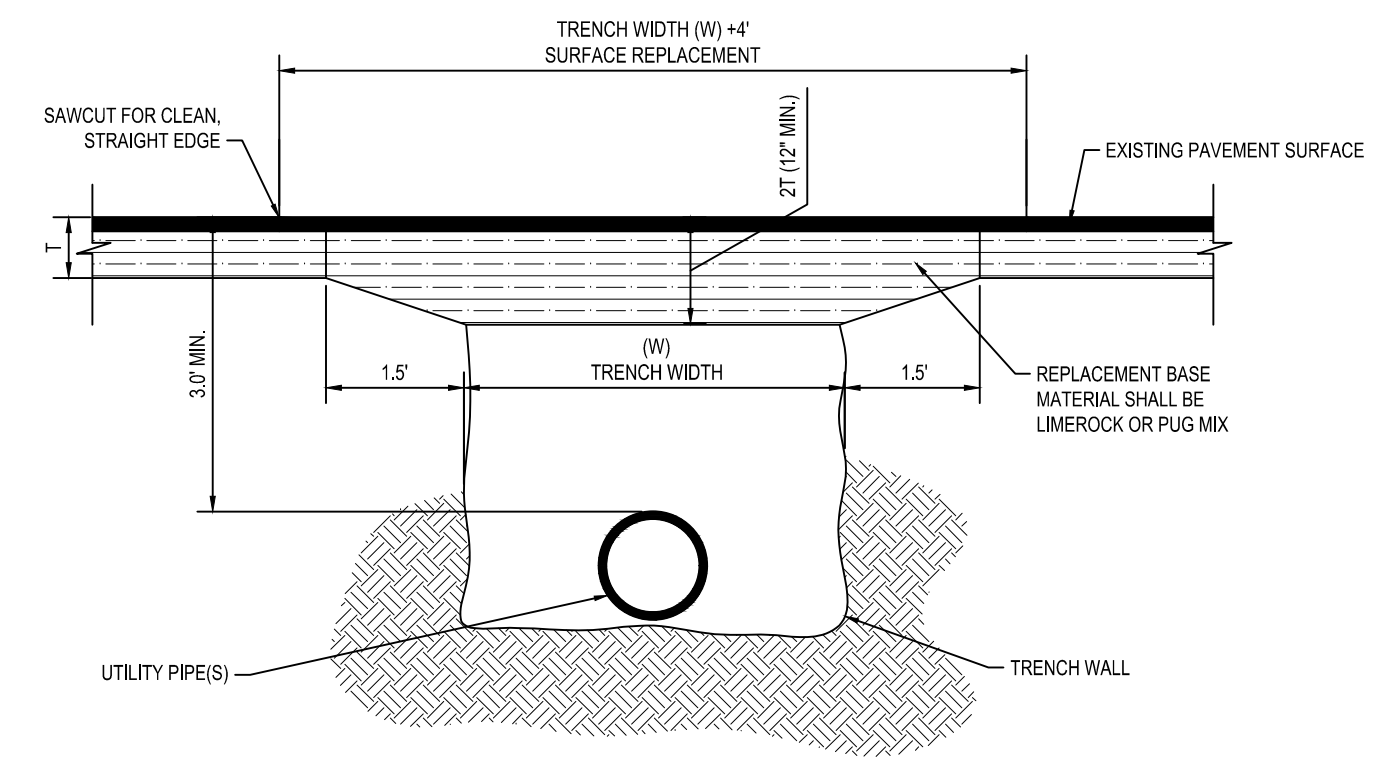


2 TIE INTO EXISTING PAVEMENT
 C501 SCALE: N.T.S.



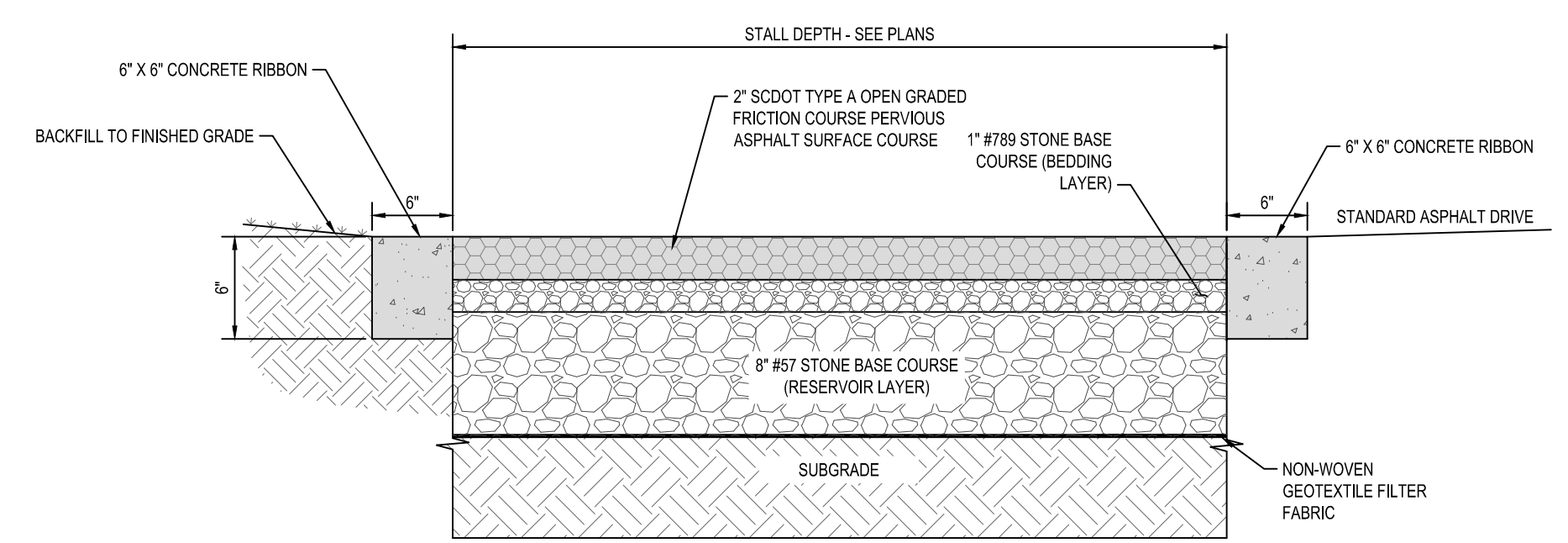
NOTES:
 1. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS.

7 HEAVY DUTY CONCRETE
 C501 SCALE: N.T.S.



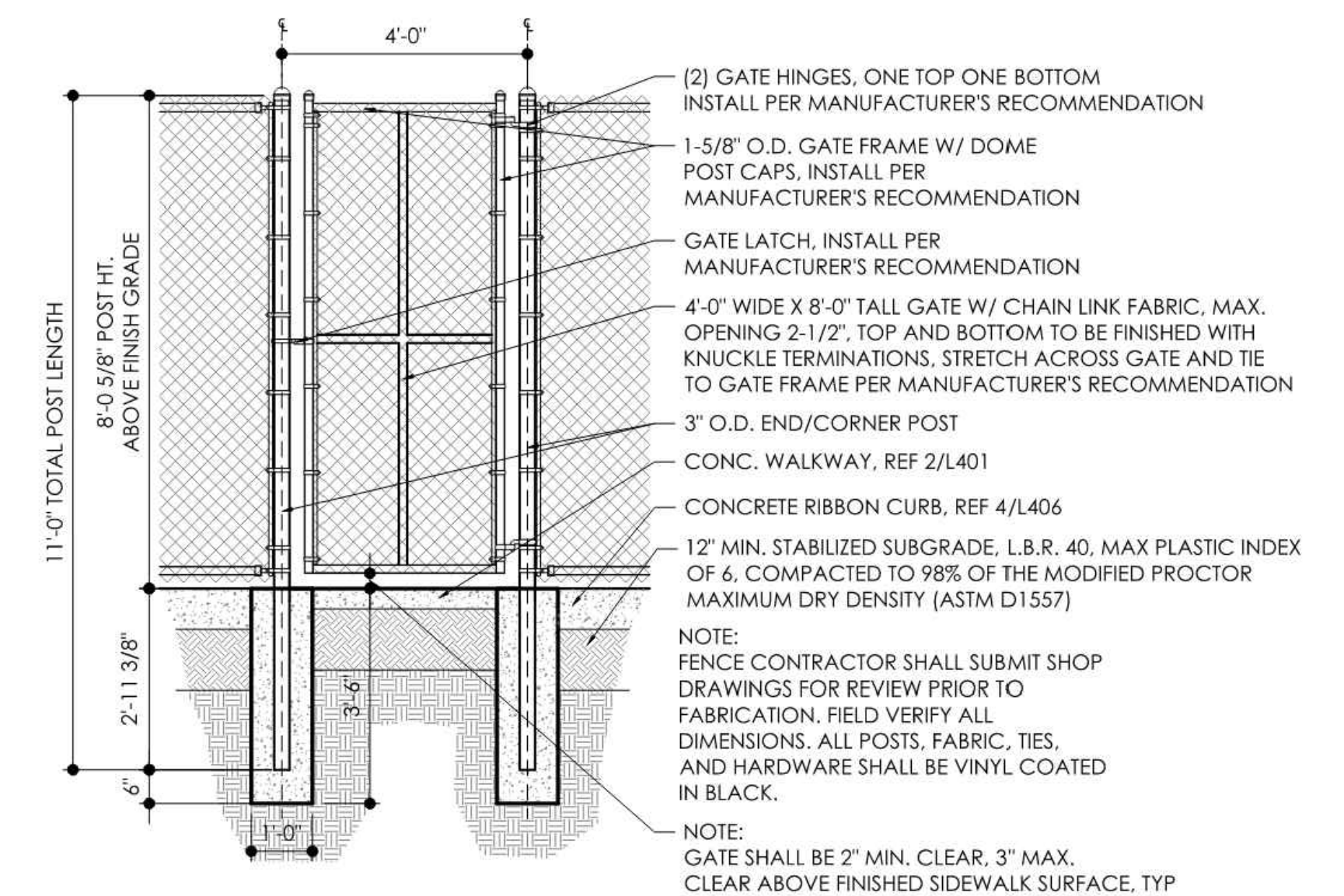
NOTES:
 1. BACKFILL SHALL BE PLACED IN 6\"/>

3 ASPHALT PAVEMENT REPLACEMENT
 C501 SCALE: N.T.S.

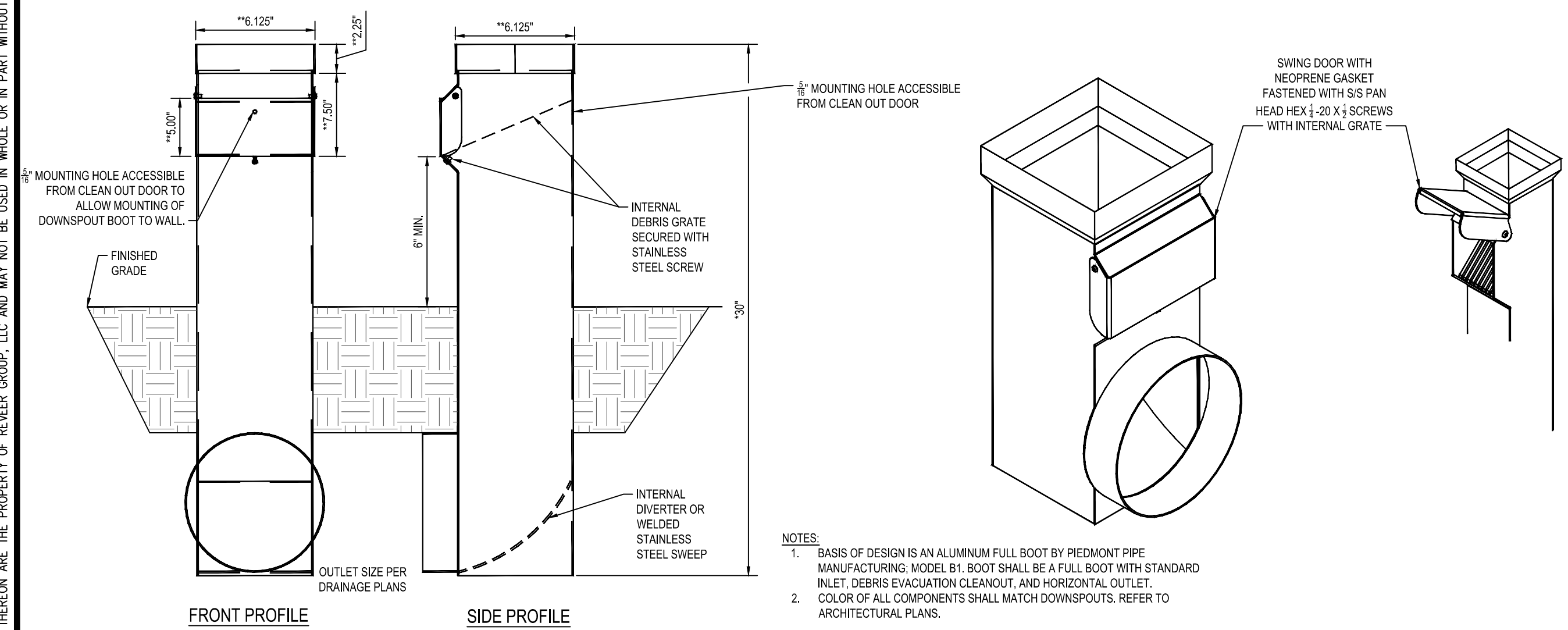


NOTES:
 1. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS.

5 PERVIOUS ASPHALT DETAIL
 C501 SCALE: N.T.S.

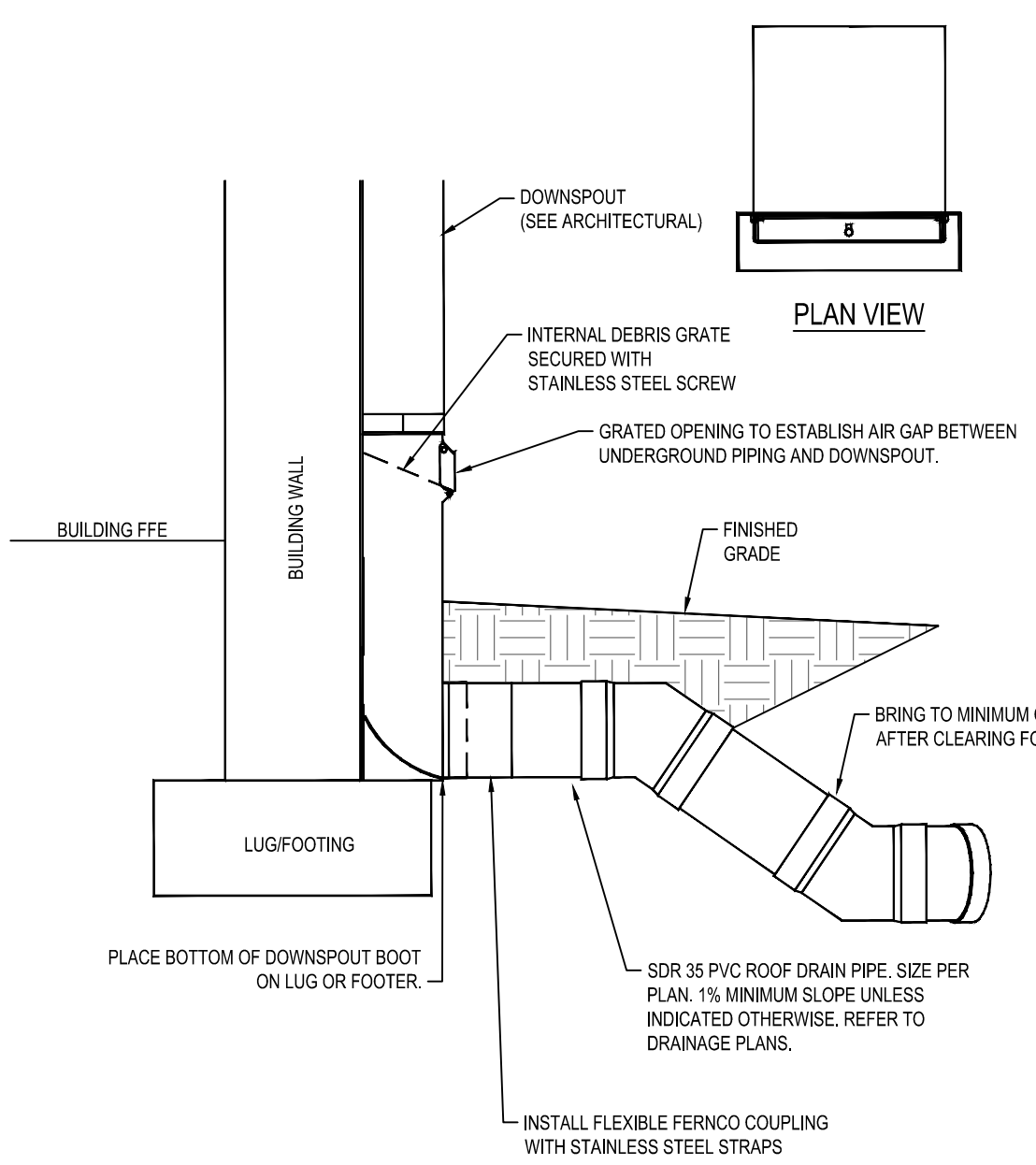


6 PICKLE BALL GATE DETAIL
 C501 SCALE: N.T.S.



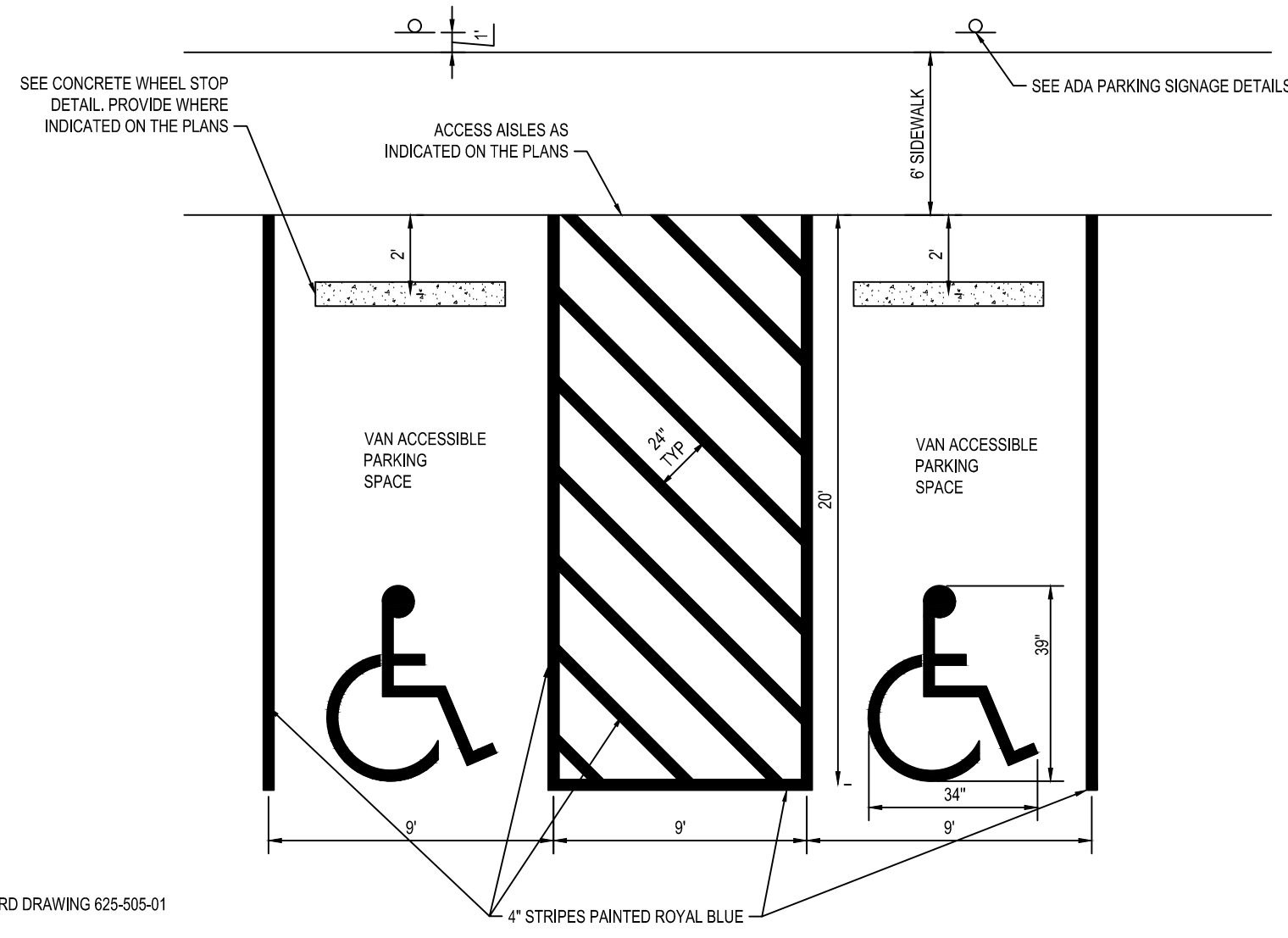
NOTES:
 1. BASIS OF DESIGN IS AN ALUMINUM FULL BOOT BY PIEDMONT PIPE MANUFACTURING, MODEL B1. BOOT SHALL BE A FULL BOOT WITH STANDARD INLET, DEBRIS EVACUATION CLEANOUT, AND HORIZONTAL OUTLET. COLOR OF ALL COMPONENTS SHALL MATCH DOWNSPOUTS. REFER TO ARCHITECTURAL PLANS.
 2. *CONFIRM HEIGHT REQUIRED TO PROVIDE MINIMUM 6\"/>

7 ROOF DRAIN AND DOWNSPOUT CONNECTION BOOT
 C501 SCALE: N.T.S.



8 PICKLE BALL FENCE DETAIL
 C501 SCALE: N.T.S.

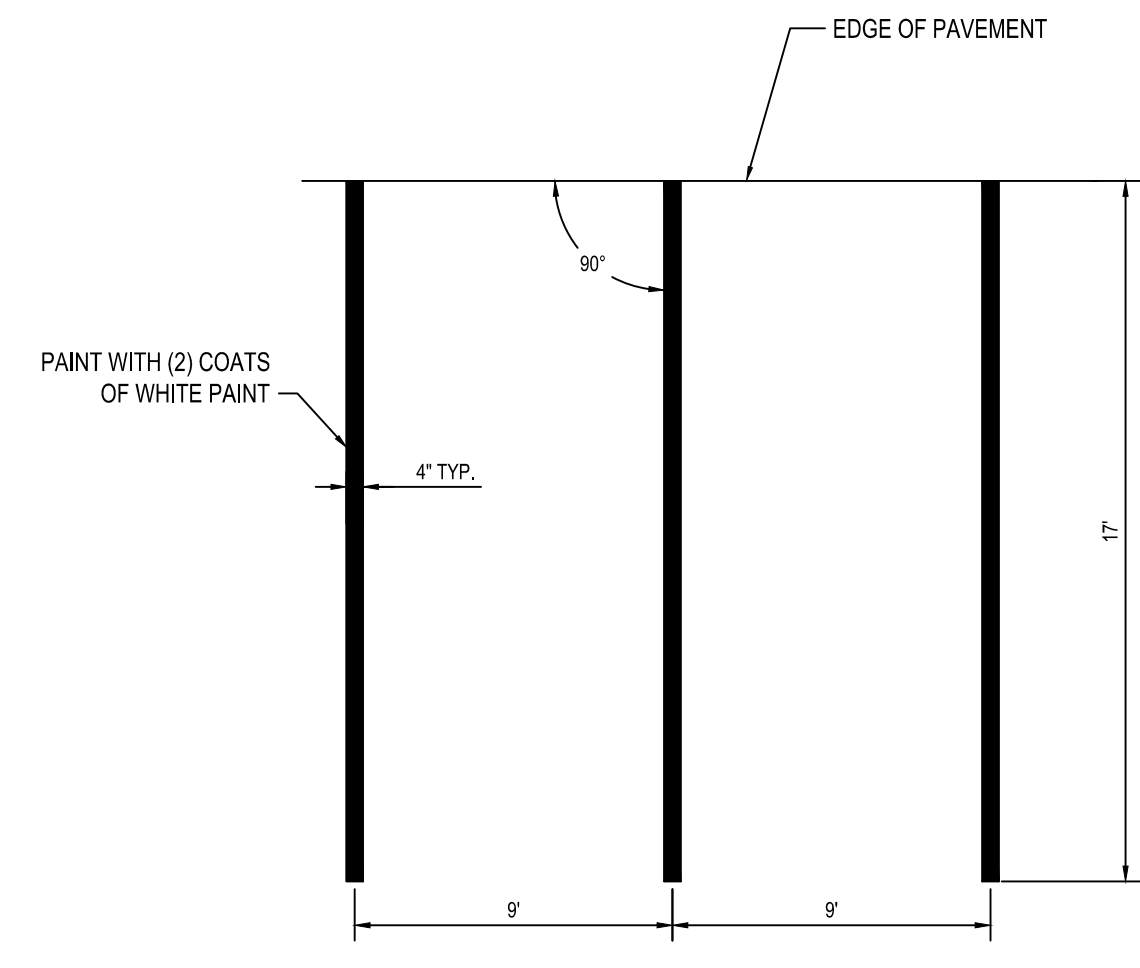
S:\202202.00_SPROA_Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Details.dwg, 12/1/2023, CLAUTRIP



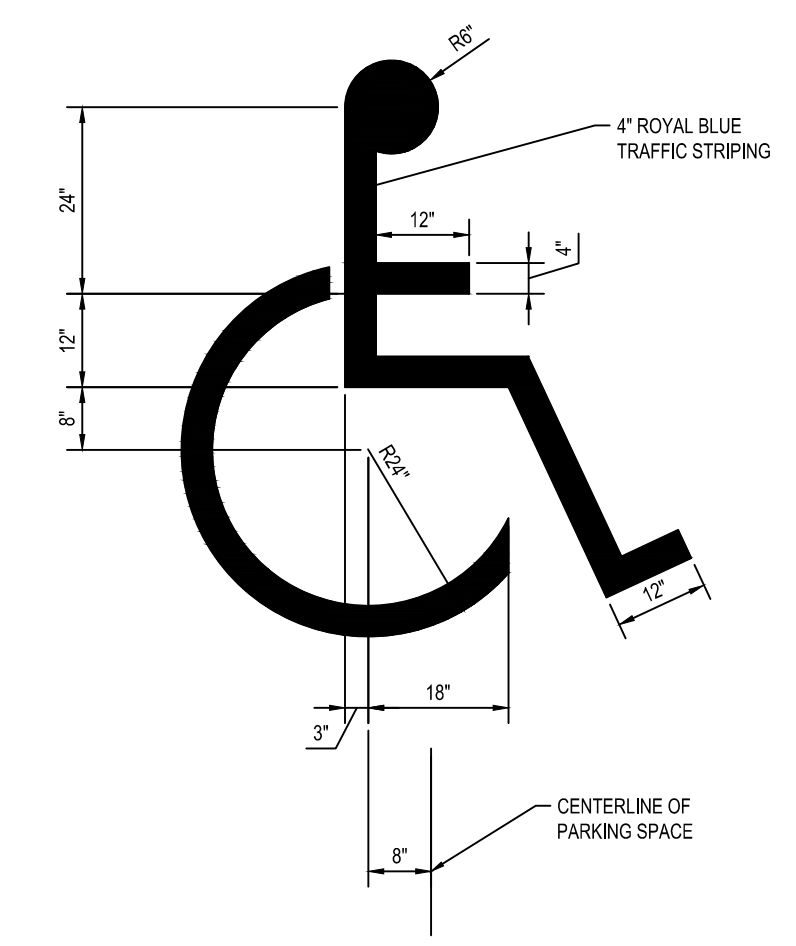
REFER TO:
SCDOT STANDARD DRAWING 625-505-01

- NOTES:
1. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.
 3. PAINT ASPHALT BACKGROUND SURFACE WITH (2) COATS OF HANDICAP BLUE.
 4. *IF BACKGROUND AND BORDER ARE OMITTED, PAINT ADA SYMBOL HANDICAP BLUE.

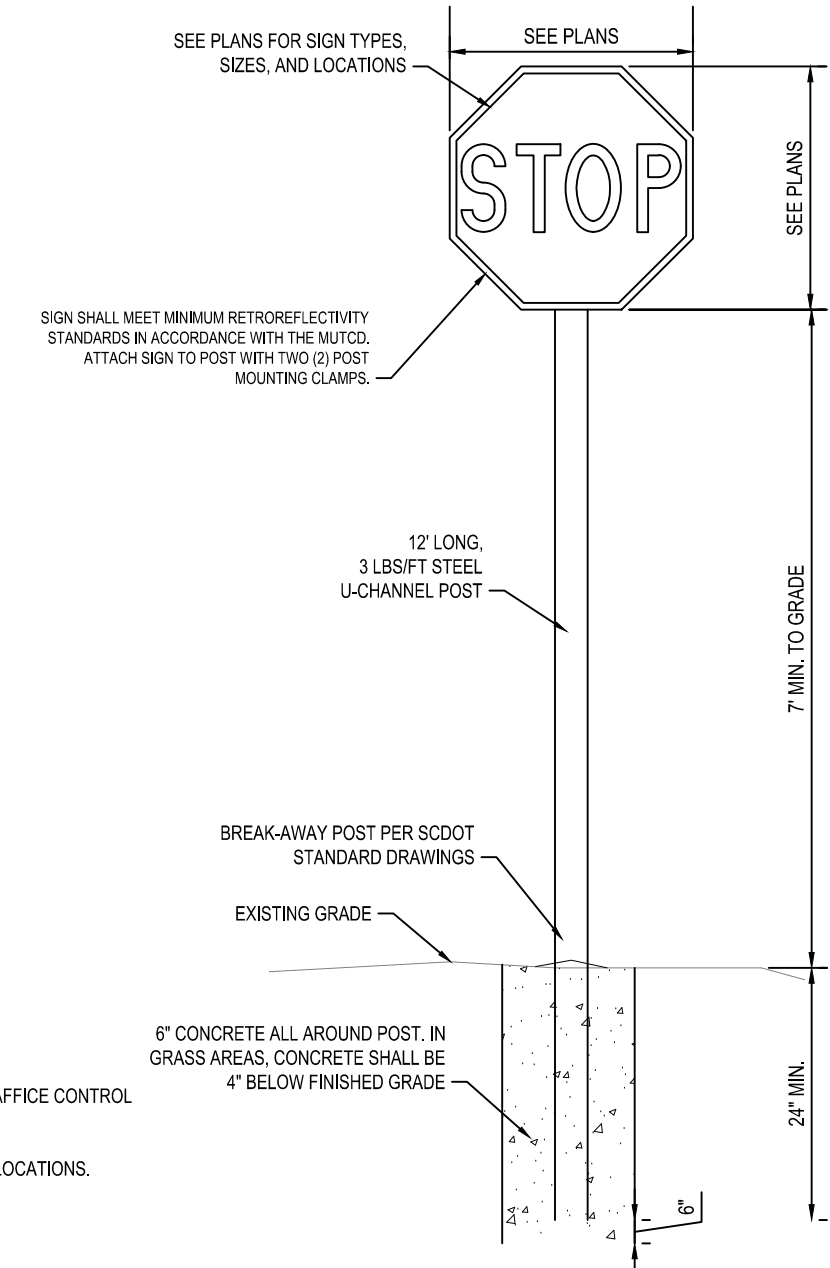
1 HANDICAP STRIPING
SCALE: N.T.S.



2 PARKING STRIPING DETAIL
SCALE: N.T.S.



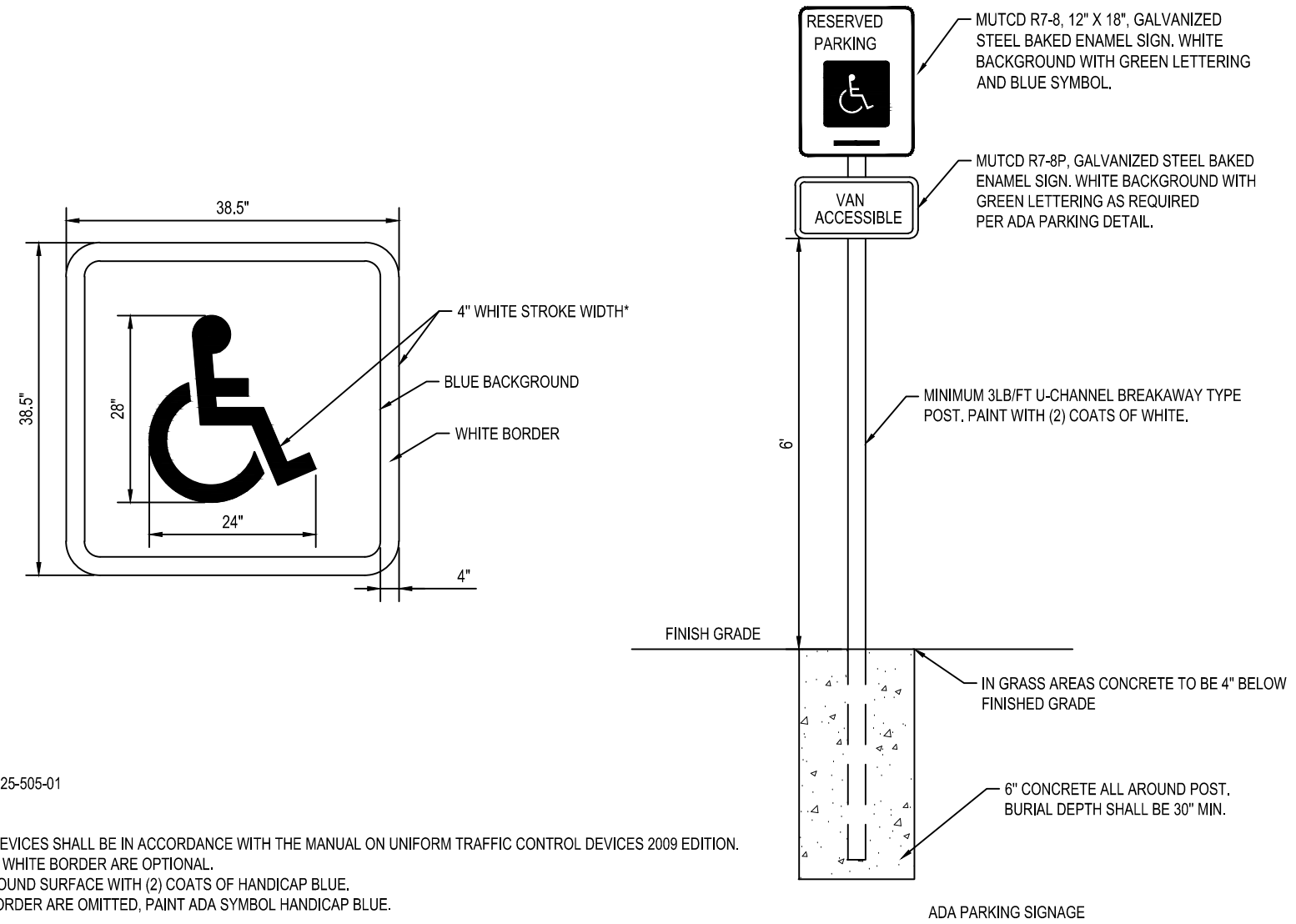
3 HANDICAP SYMBOL STRIPING
SCALE: N.T.S.



REFER TO:
SCDOT STANDARD DRAWING 651-110-00, 651-115-01, 651-115-02, 651-115-03, 651-115-04, & 651-115-05.

- NOTES:
1. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 2. TRAFFIC SIGNS SHALL CONFORM TO SCDOT STANDARDS.
 3. SIGNS SHALL BE LOCATED 2' TO 12' FROM EDGE OF PAVEMENT (EOP). SEE PLANS FOR VARYING LOCATIONS.
 4. SEE PLANS FOR TYPES OF SIGNS USED AND LOCATION.

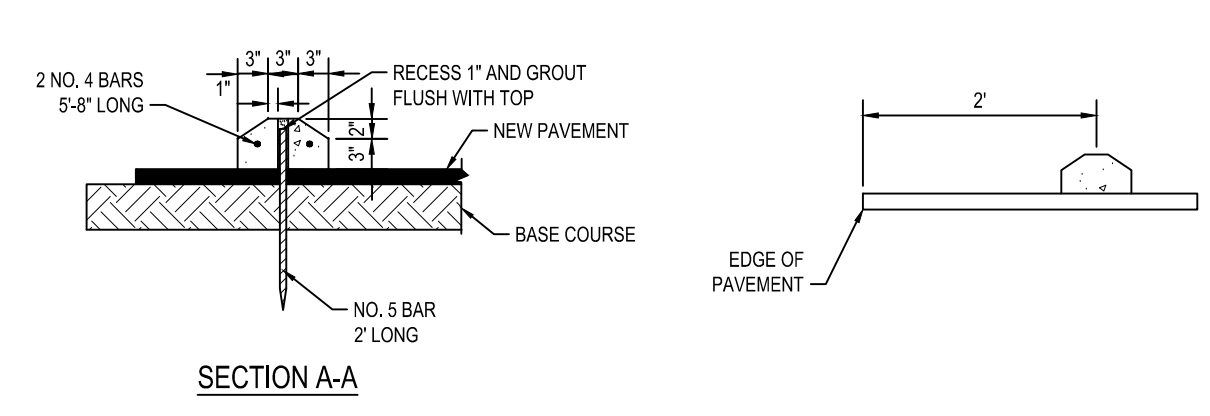
4 STOP SIGN DETAIL
SCALE: N.T.S.



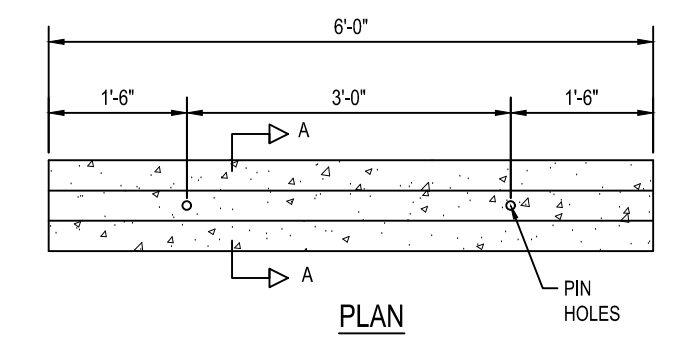
REFER TO:
SCDOT STANDARD DRAWING 625-505-01

- NOTES:
1. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.
 3. PAINT ASPHALT BACKGROUND SURFACE WITH (2) COATS OF HANDICAP BLUE.
 4. *IF BACKGROUND AND BORDER ARE OMITTED, PAINT ADA SYMBOL HANDICAP BLUE.

5 HANDICAP ACCESSIBLE SIGNAGE
SCALE: N.T.S.

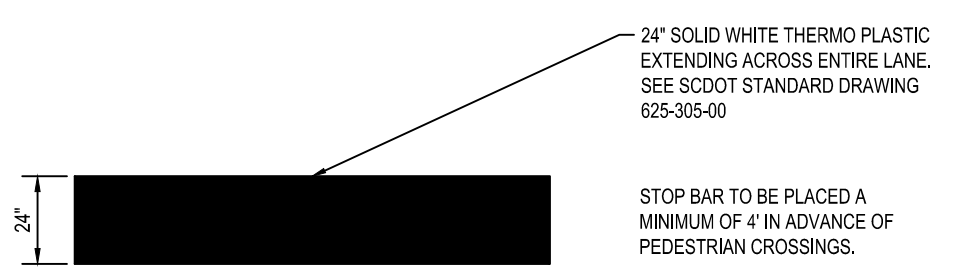


SECTION A-A



- NOTES:
1. WHEEL STOPS SHALL HAVE TWO (2) DRAINAGE SLOTS ALONG THE BOTTOM EDGE TO ALLOW STORMWATER TO DRAIN.

6 CONCRETE WHEELSTOP
SCALE: N.T.S.



- NOTES:
1. WHERE CROSSWALK MARKINGS EXISTING, STOPLINES SHOULD BE PLACED IN ADVANCE OF, AND PARALLEL TO, THE NEAREST CROSSWALK LINE. A MINIMUM DISTANCE OF 4' SHOULD EXIST BETWEEN THE CROSSWALK AND STOP BAR.
 2. IN THE ABSENCE OF A MARKED CROSSWALK, THE STOPLINE SHOULD BE PLACED AT A DISTANCE OF NO LESS THAN 4 FEET AND NO MORE THAN 30 FEET FROM THE PAVEMENT EDGE OF THE INTERSECTING ROUTE.

7 STOP BAR
SCALE: N.T.S.

THIS SPACE INTENTIONALLY LEFT BLANK

THIS SPACE INTENTIONALLY LEFT BLANK

REVEER GROUP
2971 W. Montague Ave., Suite 101
North Charleston, SC 29418
843.297.4103
www.reveergroup.com

SEABROOK ISLAND
1819 LONG BEND DR
SEABROOK ISLAND, SC 29455

Rev	Date	Description
07	12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
06	11/20/2023	PLANNING COMMISSION SUBMITTAL - UPDATE
05	11/10/2023	PLANNING COMMISSION SUBMITTAL
04	11/7/2023	BZA SUBMITTAL - UPDATE
03	10/12/2023	BZA SUBMITTAL
02	09/08/2023	BZA SUBMITTAL
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT

RACQUET CLUB EXPANSION PHASE 1B
THE CLUB AT SEABROOK ISLAND

Project Title

SITE DETAILS

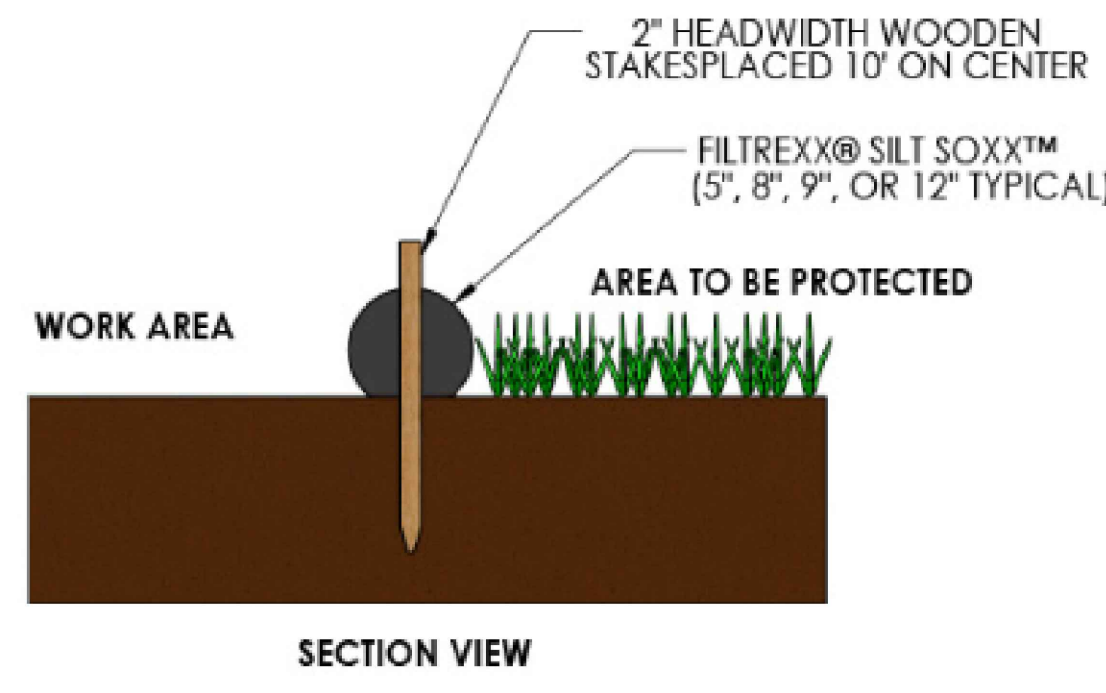
Project No.:	202202.00
Designed By:	CGL
Checked By:	JSD
Approved By:	PAF

Sheet No.:

C502

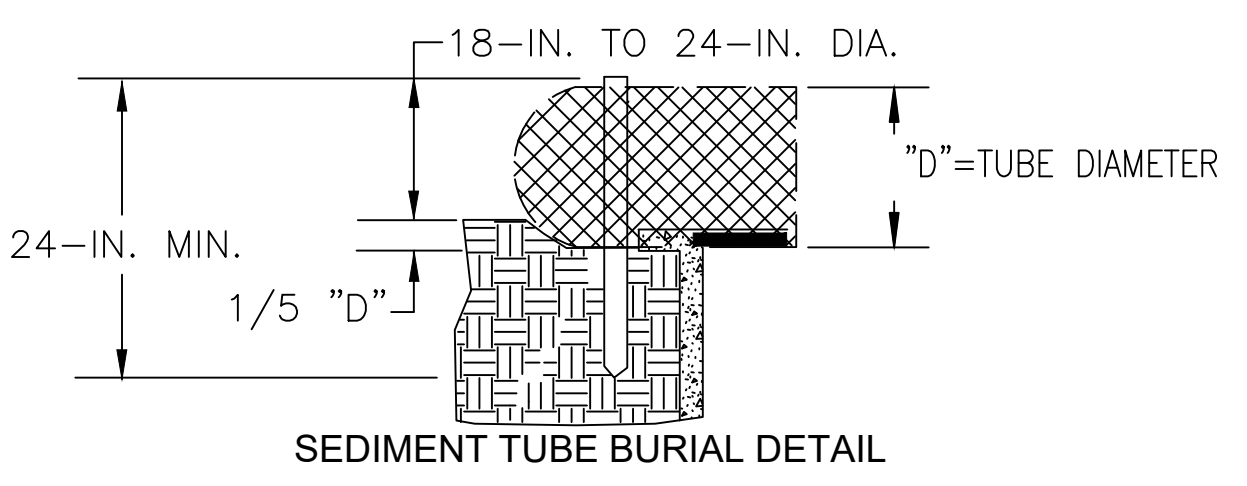
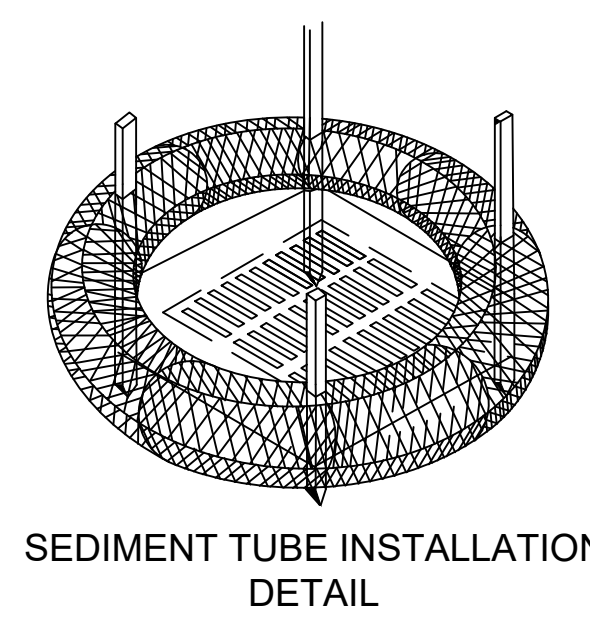
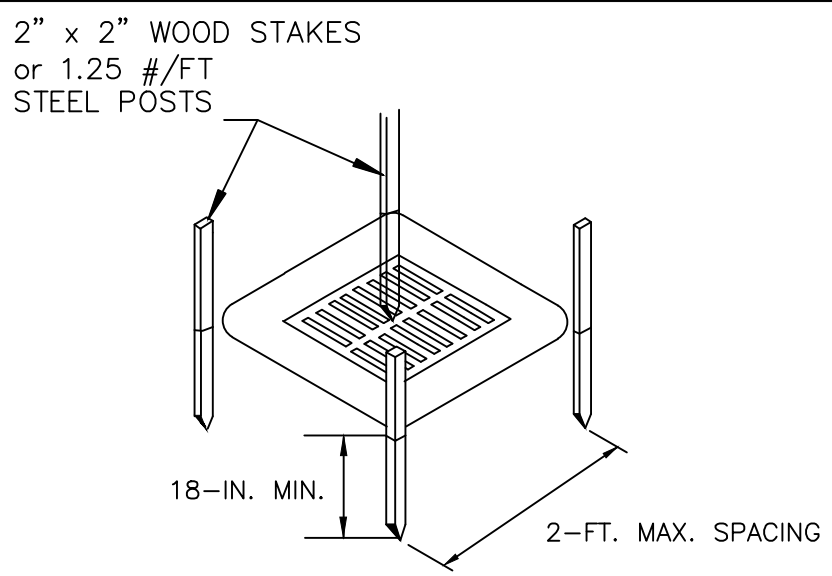
Sheet 21 of 22

S:\202202.00_SPROA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Details.dwg, 12/7/2023, CLAUTRIP THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

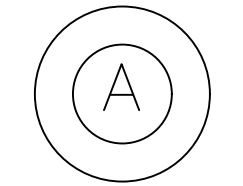


INSPECTION & MAINTENANCE

- The key to functional sediment tube fencing is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tube fencing shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Sediment tubes should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the plan elevations. Stabilize all bare areas immediately.



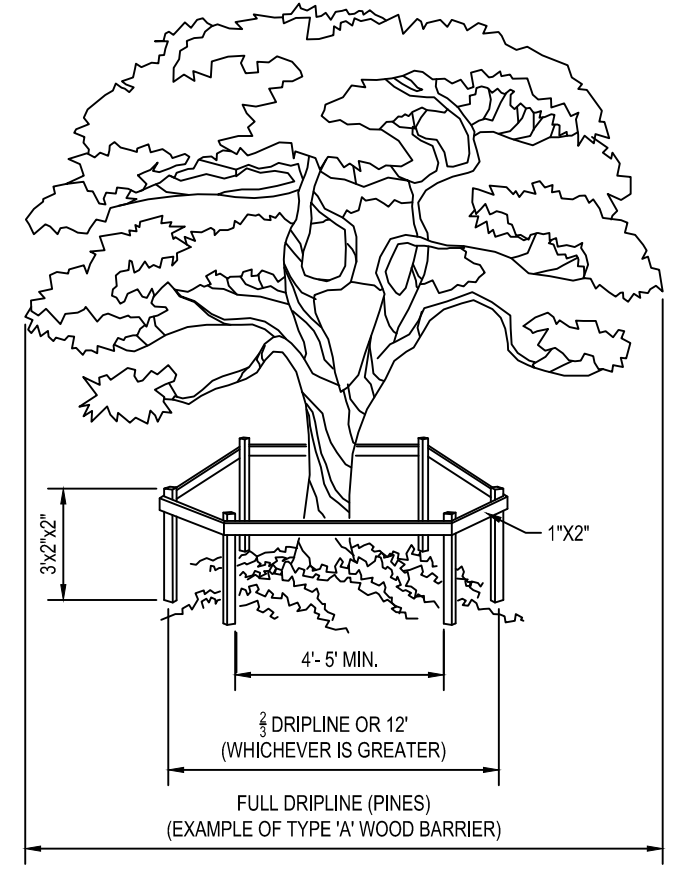
PLAN SYMBOL



REFER TO:
SCDHEC STANDARD DRAWING NO. SC-07A

1 SEDIMENT TUBE PERIMETER FENCING
SCALE: N.T.S.

- NOTES:**
- NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE ENGINEER.
 - THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE ANY TREES THAT ARE TO REMAIN.
 - ROOTS GREATER THAN 1" DIAM. SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 - ROOTS OF 1" DIAM. OR LARGER THAT NEED TO BE CUT SHALL BE CUT NEATLY.
 - STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
 - TYPE 'A' BARRIER OR TYPE 'B' BARRIER SHALL BE CONSTRUCTED WHEN CALLED FOR ON PLANS OR AS DIRECTED BY THE ENGINEER.
 - BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS DIRECTED BY THE ENGINEER.
 - COST OF ALL TREE BARRICADES SHALL BE INCLUDED IN PAY ITEM 120-110 (GRADING).
 - REFER TO CIVIL DRAWINGS FOR FINAL LOCATIONS OF TREES TO REMAIN IN PLACE.



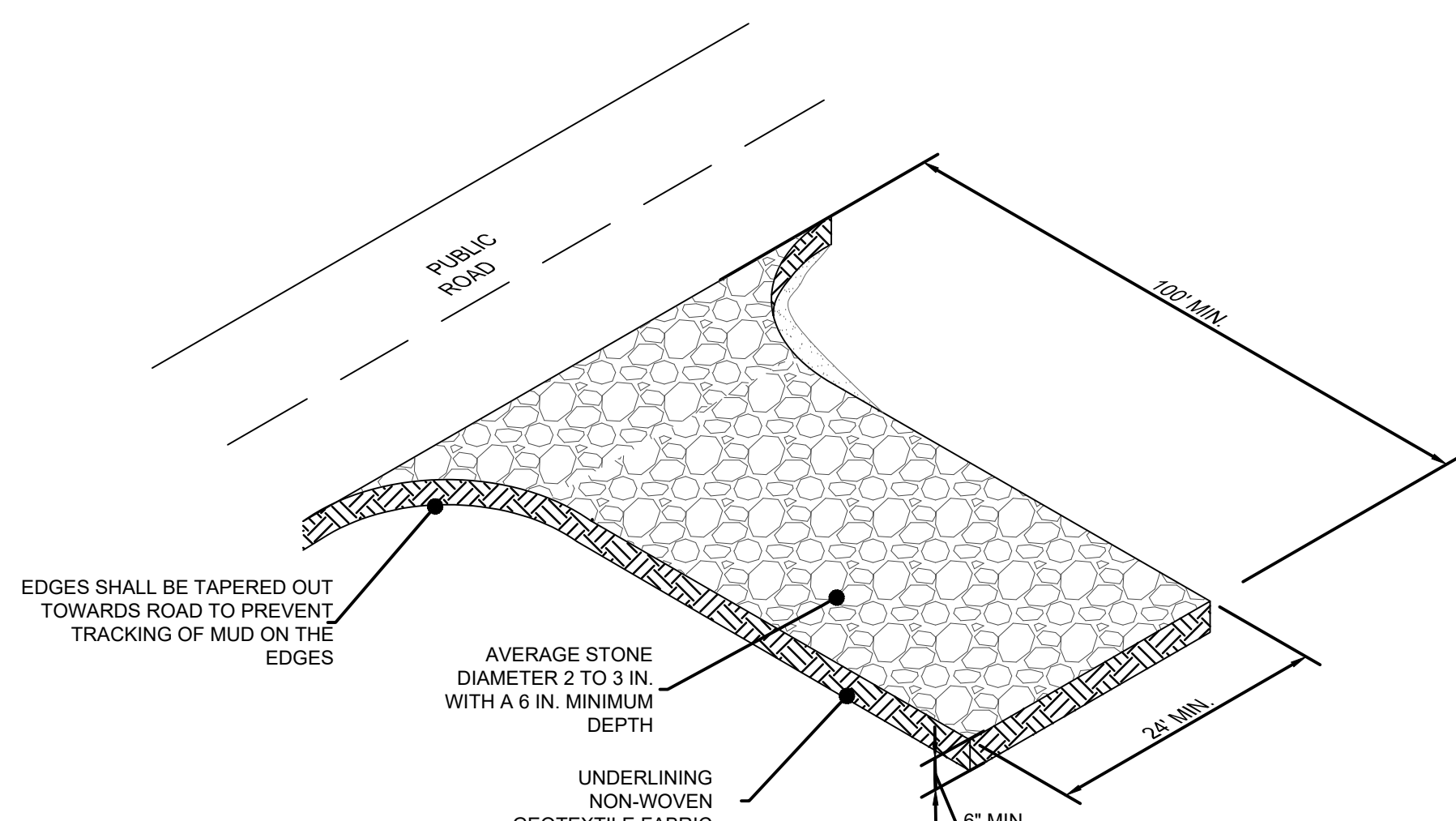
- BEFORE PERMIT:**
- BARRIERS ARE TO BE ERRECTED AROUND ALL TREES 4" DBH AND GREATER TO REMAIN. THIS MUST BE DONE BEFORE CONSTRUCTION GRADING OR BEFORE ANY TREES ARE REMOVED.
 - TREES 4" DBH AND GREATER THAT ARE LOCATED WITHIN 10' OF THE LOT UNDER CONSTRUCTION SHALL ALSO BE PROTECTED BY A BARRICADE.

INSTALLATION SPECIFICATIONS:

- *NOTE: EITHER TYPE 'A' BARRICADE (WOOD) OR TYPE 'B' BARRICADE (RIBBON) MAY BE USED.
- MINIMUM RADIUS TO BE PROTECTED:
PINES:
DRIPLINE OR 6", WHICHEVER IS GREATER.
HARDWOODS AND ALL OTHERS:
2/3 OF THE DRIPLINE OR 12", WHICHEVER IS GREATER.
 - METHOD OF ERECTION:
(SEE DIAGRAM)
 - MINIMUM HEIGHT OF UPRIGHTS SHALL BE 3' AND NO LESS THAN 2"x2" LUMBER.
 - UPRIGHTS SHALL HAVE HORIZONTAL RIBBONING AT THE TOP AND 12" BELOW THE TOP. (TYPE 'B' BARRIER)
 - UPRIGHTS SHALL BE SPACED AT NO MORE THAN 4'-0" INTERVALS.
 - HORIZONTAL MEMBERS SHALL BE OF NO LESS THAN 1"x2" LUMBER. (TYPE 'A' BARRIER)

3 TREE BARRICADE
SCALE: N.T.S.

- NOTES:**
- INSTALL CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.
 - DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE.
 - THE EXIT SHOULD BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD OFF THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AND REPAIR OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT.



4 CONSTRUCTION ENTRANCE
SCALE: N.T.S.

CONSTRUCTION ENTRANCE

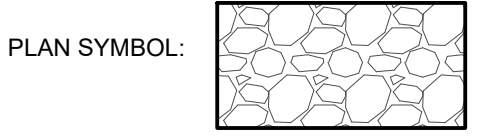
REFER TO:
SCDHEC STANDARD DRAWING SC-06
SCDOT STANDARD DRAWING 815-505-00

GENERAL NOTES:

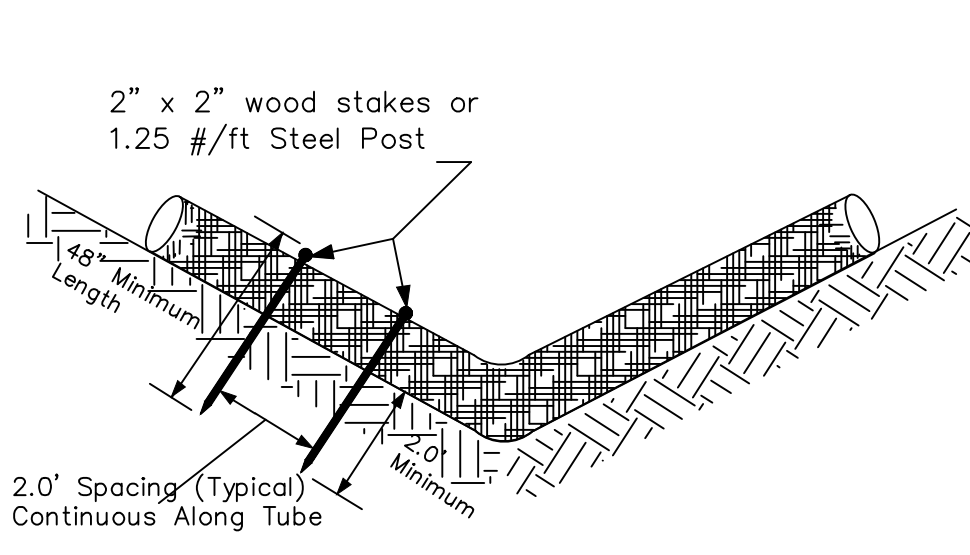
- STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL EGRESS/INGRESS A CONSTRUCTION SITE ONTO A PUBLIC ROAD OR ANY IMPERVIOUS SURFACES, SUCH AS PARKING LOTS.
- REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA.
- INSTALL A CLASS 2 NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE.
- INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.
- THE ENTRANCE SHALL CONSIST OF 2-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES.
- MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FOOT WIDE BY 100-FOOT LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.
- THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING AT THE EDGE OF THE ENTRANCE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE.
- LIMESTONE MAY NOT BE USED FOR THE STONE PAD.

INSPECTION & MAINTENANCE:

- THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
- REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 INCH OR MORE OF PRECIPITATION.
- DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
- RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
- WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
- DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
- CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.
- IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE. WASHDOWN FACILITIES SHALL BE REQUIRED AS DIRECTED BY SCDOT AS NEEDED. WASHDOWN AREAS IN GENERAL MUST BE ESTABLISHED WITH CRUSHED GRAVEL AND DRAIN INTO A SEDIMENT TRAP OR SEDIMENT BASIN. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY VEHICLES.



SEDIMENT TUBE INSTALLATION



SEDIMENT TUBE SPACING

SLOPE	MAX. SEDIMENT TUBE SPACING
LESS THAN 2%	150-FEET
2%	100-FEET
3%	75-FEET
4%	50-FEET
5%	40-FEET
6%	30-FEET
GREATER THAN 6%	25-FEET

PLAN SYMBOL



South Carolina Department of Health and Environmental Control
SEDIMENT TUBES
STANDARD DRAWING NO. SC-05 PAGE 1 of 2
FEBRUARY 2014
NOT TO SCALE

TYPE A - SEDIMENT TUBE INLET PROTECTION

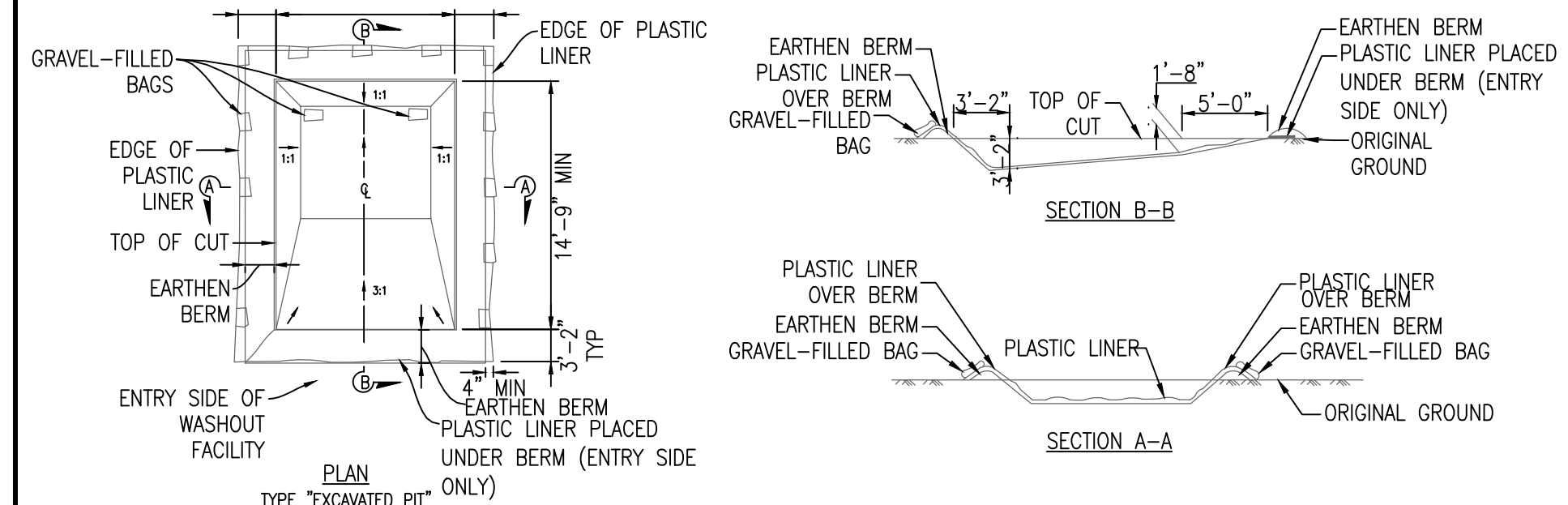
GENERAL NOTES

- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needles, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another.
- Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
- Install stakes at a diagonal facing incoming runoff.

INSPECTION & MAINTENANCE

- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

2 TYPE A SEDIMENT TUBE INLET PROTECTION
SCALE: N.T.S.



CONCRETE WASHOUT (EXCAVATED PIT)

REFER TO:
SCDHEC STANDARD DRAWING RC-08

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
- SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
- A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

CONCRETE WASHOUT SIGN DETAIL



3 CONCRETE WASHOUT
SCALE: N.T.S.

NOTES:

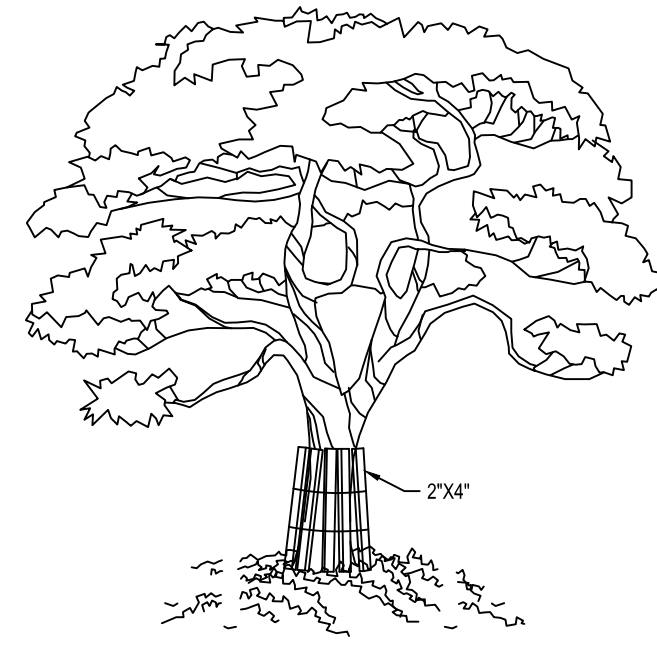
- NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL BY THE ENGINEER.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE ANY TREES THAT ARE TO REMAIN.
- ROOTS GREATER THAN 1" DIAM. SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ROOTS OF 1" DIAM. OR LARGER THAT NEED TO BE CUT SHALL BE CUT NEATLY.
- STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
- TYPE 'A' BARRIER OR TYPE 'B' BARRIER SHALL BE CONSTRUCTED WHEN CALLED FOR ON PLANS OR AS DIRECTED BY THE ENGINEER.
- BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS DIRECTED BY THE ENGINEER.
- COST OF ALL TREE BARRICADES SHALL BE INCLUDED IN PAY ITEM 120-110 (GRADING).
- REFER TO CIVIL DRAWINGS FOR FINAL LOCATIONS OF TREES TO REMAIN IN PLACE.

BEFORE PERMIT:

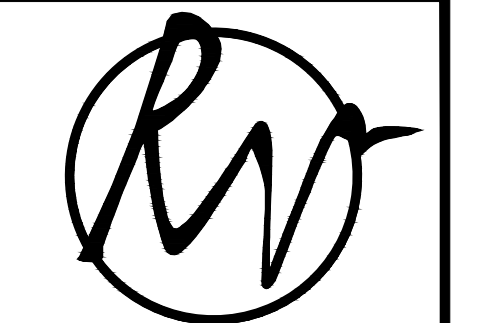
- BARRIERS ARE TO BE ERRECTED AROUND ALL TREES AS SHOWN ON PLANS WHERE TREES 4" DBH AND GREATER ARE WITHIN 10' OF CONSTRUCTION ZONE AND A FULL BARRICADE CANNOT BE CONSTRUCTED.

INSTALLATION SPECIFICATIONS:

- *NOTE: EITHER TYPE 'A' BARRICADE (WOOD) OR TYPE 'B' BARRICADE (RIBBON) MAY BE USED.
- 2"x4" SHALL BE INSTALLED TO 8' HEIGHT UP THE TRUNK OF THE TREE OR TO THE LOCATION WHERE TREE BEGINS TO BRANCH OUT, WHICHEVER IS LOWER.
 - SECURE 2"x4'S WITH CONSTRUCTION FENCING MATERIAL OR METAL RIBBONS



5 PROTECTIVE TRUNK WRAP
SCALE: N.T.S.



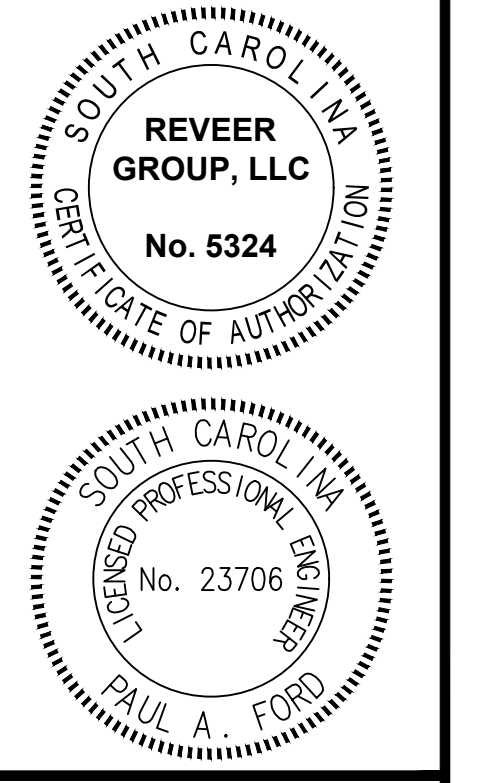
REVEER GROUP
2971 W. Montague Ave., Suite 101
North Charleston, SC 29418
843.297.4103
www.reveergroup.com



1819 LONG BEND DR
SEABROOK ISLAND, SC 29455

DATE	DESCRIPTION	BY
12/01/2023	PLANNING COMMISSION SUBMITTAL - UPDATE	PAF
06	PLANNING COMMISSION SUBMITTAL - UPDATE	PAF
11/10/2023	PLANNING COMMISSION SUBMITTAL	PAF
04	EIA SUBMITTAL - UPDATE	PAF
11/17/2023	EIA SUBMITTAL	PAF
10/12/2023	EIA SUBMITTAL - UPDATE	PAF
09/08/2023	EIA SUBMITTAL	PAF
02	COURT AND FACILITIES ADJUSTMENT	PAF
01		PAF
08/15/2023		PAF
Rev		PAF

RACQUET CLUB EXPANSION PHASE 1B
THE CLUB AT SEABROOK ISLAND
Project:
Sheet Title:
SWPPP DETAILS



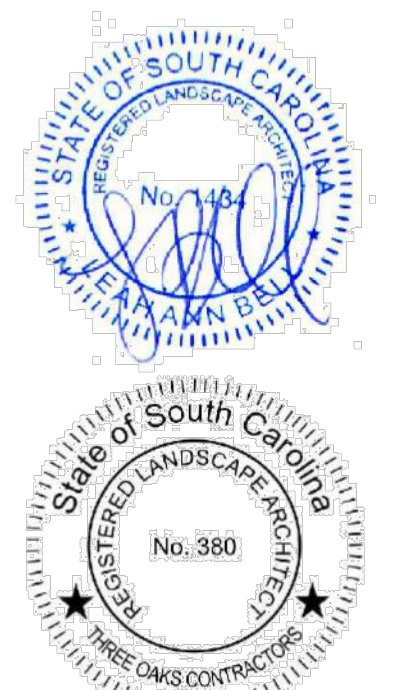
Project No.: 202202.00
Designed By: CGL
Checked By: JSD Approved By: PAF

Sheet No.:
C541
Scale: N.T.S.

S:\2022\02_SPPA Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Details.dwg, 12/7/2023, CLAUSTRIP THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



Three Oaks Contractors, Inc.
 P.O. Box 409
 Ravenel, SC 29470
 843.564.1315
 www.3oakscontractors.com



Seabrook Island
 Racquet Club
 2.0
 Seabrook
 Island, SC

Scale: 1" = 10'-0"
 Date: 8/24/2023
 Revisions: 10/2/2023
 10/31/2023
 11/14/2023
 11/17/2023
 11/20/2023
 12/2/2023
 12/4/2023

LANDSCAPE
 PLAN

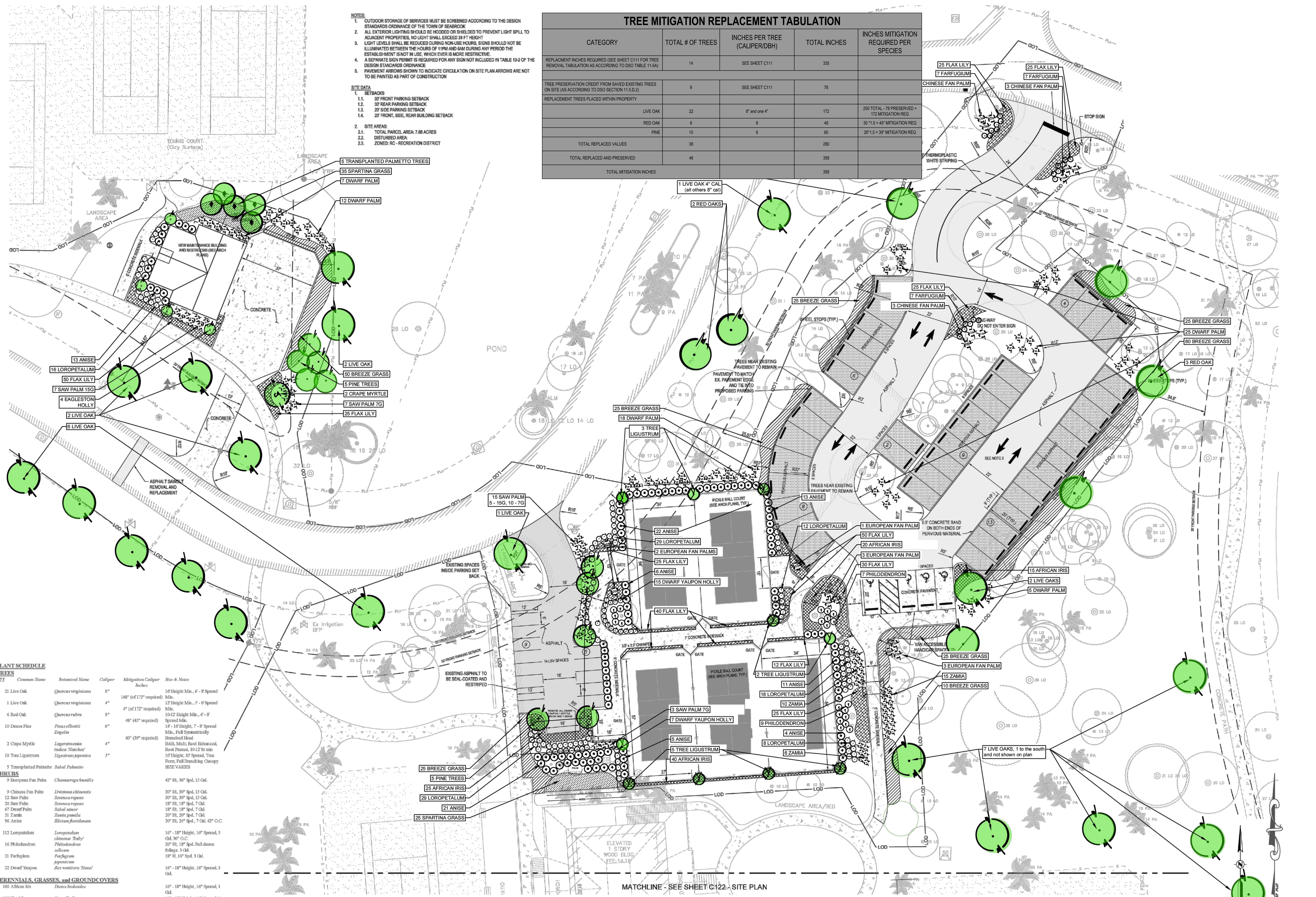
L1.0

REVIEW BOARD
 SUBMITTAL

TREE MITIGATION REPLACEMENT TABULATION				
CATEGORY	TOTAL # OF TREES	INCHES PER TREE (CALIPER/DBH)	TOTAL INCHES	INCHES MITIGATION REQUIRED PER SPECIES
REPLACEMENT TREES REQUIRED (SEE SHEET C111 FOR TREE REMOVAL TABULATION AS ACCORDING TO DSO TABLE 11-5A)	14	SEE SHEET C111	335	
TREE PRESERVATION CREDIT FROM SAVED EXISTING TREES ON SITE (AS ACCORDING TO DSO SECTION 11.5.D.2)	8	SEE SHEET C111	78	
REPLACEMENT TREES PLACED WITHIN PROPERTY				
LIVE OAK	22	8" and one 4"	172	250 TOTAL - 78 PRESERVED = 172 MITIGATION REQ.
RED OAK	6	8	48	30 "1.5 + 45" MITIGATION REQ.
PINE	10	6	60	28 "1.5 + 38" MITIGATION REQ.
TOTAL REPLACED VALUES	38		280	
TOTAL REPLACED AND PRESERVED	46		358	
TOTAL MITIGATION INCHES			358	

- NOTES:**
- OUTDOOR STORAGE OF SERVICES MUST BE SCREENED ACCORDING TO THE DESIGN STANDARDS ORDINANCE OF THE TOWN OF SEABROOK
 - ALL EXTERIOR LIGHTING SHOULD BE HOODED OR SHIELDED TO PREVENT LIGHT SPILL TO ADJACENT PROPERTIES. NO LIGHT SHALL EXCEED 24 FT HEIGHT
 - LIGHT LEVELS SHALL BE REDUCED DURING NON-USE HOURS. SIGNS SHOULD NOT BE ILLUMINATED BETWEEN THE HOURS OF 11PM AND 6AM DURING ANY PERIOD THE ESTABLISHMENT IS NOT IN USE, WHICH EVER IS MORE RESTRICTIVE.
 - A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGN NOT INCLUDED IN TABLE 13-2 OF THE DESIGN STANDARDS ORDINANCE
 - PAVEMENT ARROWS SHOWN TO INDICATE CIRCULATION ON SITE PLAN ARROWS ARE NOT TO BE PAINTED AS PART OF CONSTRUCTION

- SITE DATA**
- SETBACKS
 - 37' FRONT PARKING SETBACK
 - 37' REAR PARKING SETBACK
 - 27' SIDE PARKING SETBACK
 - 27' FRONT, SIDE, REAR BUILDING SETBACK
 - SITE AREAS
 - TOTAL PARCEL AREA: 7.88 ACRES
 - DISTURBED AREA
 - ZONED: NC - RECREATION DISTRICT



PLANT SCHEDULE

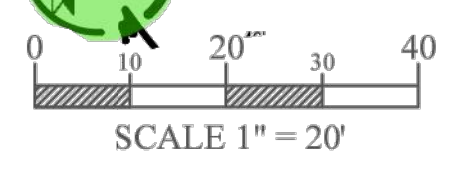
TREES	Common Name	Botanical Name	Caliper	Mitigation Caliper	Size & Notes
1	Live Oak	<i>Quercus virginiana</i>	5"	10"	10' Height Min., 6" - 8" Spread Min.
2	Live Oak	<i>Quercus virginiana</i>	4"	8"	12' Height Min., 5" - 6" Spread Min.
6	Red Oak	<i>Quercus rubra</i>	5"	4"	10-12' Height Min., 6" - 8" Spread Min.
10	Dessa Pine	<i>Pinus elliotii</i>	6"	60"	14' - 16' Height, 7" - 8" Spread Min. Full Symmetrically Branched Head
2	Crape Myrtle	<i>Lagerstroemia indica 'Natchez'</i>	4"	60"	B&B, Multi, Root Enhanced, Root Pruned, 10-12' Ht min
10	Tree Ligustrum	<i>Ligustrum japonicum</i>	3"	18"	10' Height, 10' Spread, Tree Form, Full Branching Canopy
5	Transplanted Palmetto	<i>Sabal Palmetto</i>			SIZE VARIES

SHRUBS	Common Name	Botanical Name	Size & Notes
9	European Fan Palm	<i>Chamaerops humilis</i>	42" H, 36" Spd, 13 Gal.
9	Chinese Fan Palm	<i>Livistona chinensis</i>	30" H, 30" Spd, 13 Gal.
12	Saw Palm	<i>Serenoa repens</i>	30" H, 30" Spd, 13 Gal.
20	Saw Palm	<i>Serenoa repens</i>	18" H, 18" Spd, 7 Gal.
67	Dwarf Palm	<i>Sabal minor</i>	20" H, 20" Spd, 7 Gal.
31	Zamia	<i>Zamia pumila</i>	20" H, 20" Spd, 7 Gal.
96	Anise	<i>Illicium floridanum</i>	30" H, 24" Spd, 7 Gal. 42" O.C.
112	Loropetalum	<i>Loropetalum chinense 'Ruby'</i>	10" - 18" Height, 10" Spread, 3 Gal. 30" O.C.
16	Philodendron	<i>Philodendron sellowii</i>	20" H, 18" Spd. Full dense foliage, 3 Gal.
21	Farfugium	<i>Farfugium japonicum</i>	18" H, 18" Spd, 3 Gal.
22	Dwarf Yaupon	<i>Ilex vomitoria 'Nana'</i>	16" - 18" Height, 16" Spread, 3 Gal.

PERENNIALS, GRASSES, and GROUNDCOVERS	Common Name	Botanical Name	Size & Notes
160	African Iris	<i>Iris sibirica</i>	16" - 18" Height, 16" Spread, 1 Gal.
307	Flax Lily	<i>Dianella Yuccifolia</i>	16" - 18" Height, 16" Spread, 1 Gal. 24" O.C.
265	Breeze Grass	<i>Lomandra longifolia</i>	8" - 10" Height And Spread, Full, 1 Gal. 30" O.C.
60	Spartina Grass	<i>Spartina Bakeri</i>	12" - 14" Height And Spread, Full, 1 Gal.
Sod	Sod	<i>Zoysia Japonica 'Empire'</i>	Weed Free, Moist

GENERAL LANDSCAPE NOTES:

- 100% IRRIGATION COVERAGE TO BE PROVIDED TO ALL NEW PLANTINGS INCLUDING SOD
- ALL BEERS TO RECEIVE 3" OF PINE STRAW MULCH AND ALL DISTURBED EXISTING LAWN AREAS ARE TO BE RE-SODDED
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND/OR OTHER OBSTRUCTIONS WHICH MAY INTERFERE WITH PLANT INSTALLATION.





Three Oaks Contractors, Inc.
 P.O. Box 409
 Ravenel, SC 29470
 843.564.1315
 www.3oakscontractors.com



Seabrook Island
 Racquet Club
 2.0
 Seabrook
 Island, SC

Scale: _____
 Date: 8/24/2023
 Revisions: 10/2/2023
 10/31/2023

IRRIGATION
 NOTES

L2.0

REVIEW BOARD
 SUBMITTAL

PARKING SPACE ANALYSIS			
SITE USE	PARKING REQUIREMENT	MEASUREMENT	SPACES REQUIRED
PRO SHOP	1 SPACE/250 SF OF UFA	3,866 SF OF UFA	16
EXISTING TENNIS COURTS (15)	1 SPACE/3 PERSONS	4 PERSONS PER COURT X 15 = 60 60 / 3 = 20 SPACES	20
PICKLE BALL COURTS EXISTING (2) PROPOSED (6)	1 SPACE/3 PERSONS	4 PERSONS PER COURTS X 7 = 28 28 / 3 = 10 SPACES	10
		TOTAL SPACES REQUIRED	46
MAXIMUM SPACES ALLOWED	REQUIRED + 10%	46 + 46 x 0.1 = 51	51
		TOTAL EXISTING SPACES	45
		PROPOSED SPACES	46
		PROPOSED LOW SPEED VEHICLE PARKING	15

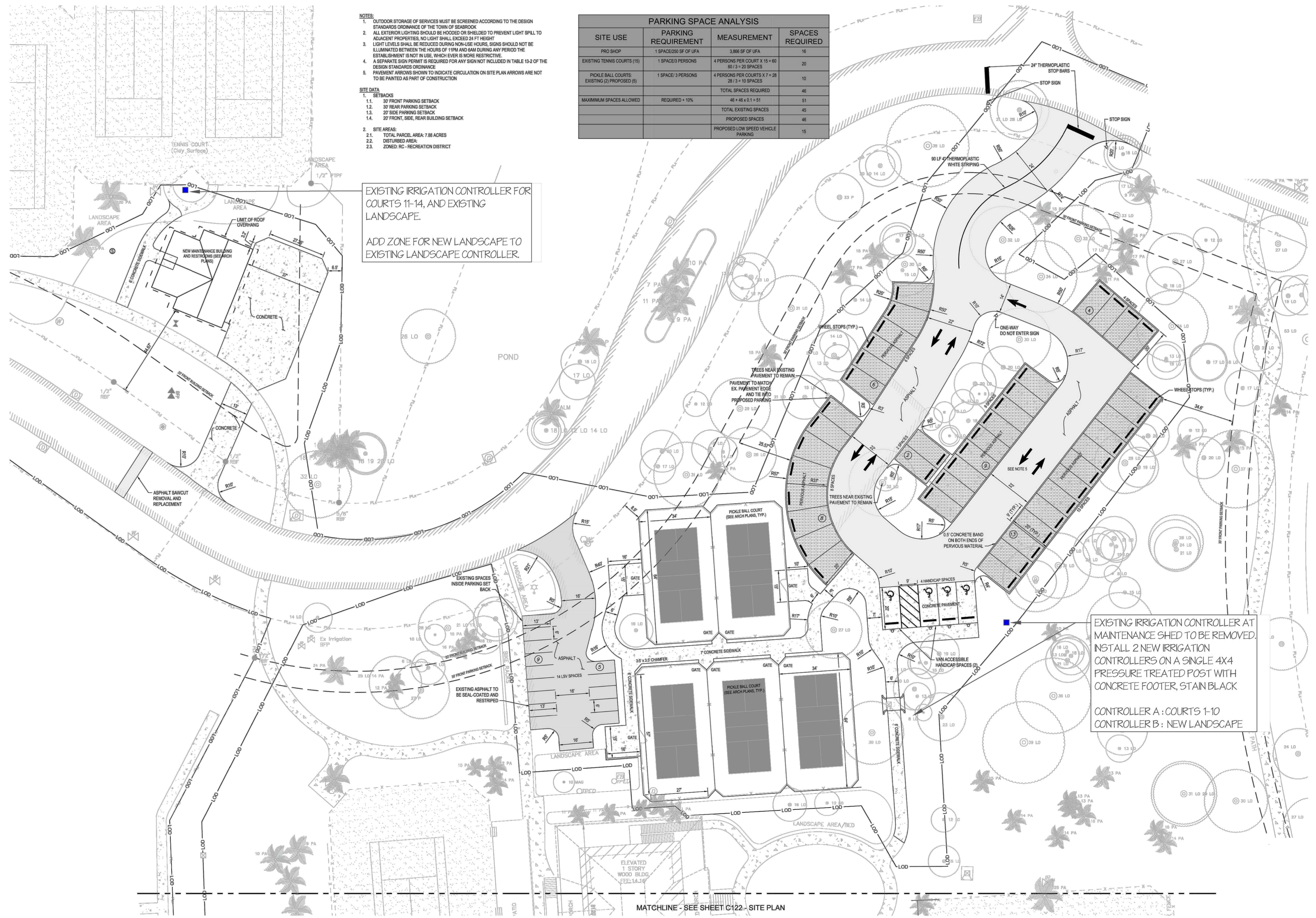
- NOTES:**
- OUTDOOR STORAGE OF SERVICES MUST BE SCREENED ACCORDING TO THE DESIGN STANDARDS ORDINANCE OF THE TOWN OF SEABROOK
 - ALL EXTERIOR LIGHTING SHOULD BE HOODED OR SHIELDED TO PREVENT LIGHT SPILL TO ADJACENT PROPERTIES. NO LIGHT SHALL EXCEED 24 FT HEIGHT
 - LIGHT LEVELS SHALL BE REDUCED DURING NON-USE HOURS. SIGNS SHOULD NOT BE ILLUMINATED BETWEEN THE HOURS OF 11PM AND 6AM DURING ANY PERIOD THE ESTABLISHMENT IS NOT IN USE, WHICH EVER IS MORE RESTRICTIVE.
 - A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGN NOT INCLUDED IN TABLE 13-2 OF THE DESIGN STANDARDS ORDINANCE
 - PAVEMENT ARROWS SHOWN TO INDICATE CIRCULATION ON SITE PLAN ARROWS ARE NOT TO BE PAINTED AS PART OF CONSTRUCTION
- SITE DATA**
- SETBACKS
 - 37' FRONT PARKING SETBACK
 - 37' REAR PARKING SETBACK
 - 27' SIDE PARKING SETBACK
 - 27' FRONT, SIDE, REAR BUILDING SETBACK
 - SITE AREAS:
 - TOTAL PARCEL AREA: 7.88 ACRES
 - DISTURBED AREA
 - ZONED: RC - RECREATION DISTRICT

EXISTING IRRIGATION CONTROLLER FOR COURTS 11-14, AND EXISTING LANDSCAPE.

ADD ZONE FOR NEW LANDSCAPE TO EXISTING LANDSCAPE CONTROLLER.

EXISTING IRRIGATION CONTROLLER AT MAINTENANCE SHED TO BE REMOVED. INSTALL 2 NEW IRRIGATION CONTROLLERS ON A SINGLE 4X4 PRESSURE TREATED POST WITH CONCRETE FOOTER, STAIN BLACK

CONTROLLER A : COURTS 1-10
 CONTROLLER B : NEW LANDSCAPE



MATCHLINE - SEE SHEET C122 - SITE PLAN

MR16 7W 3000K 15"			MR16 7W 3000K 45"			MR16 7W 3000K 60"			MR16 7W 3000K 120"		
CANDLEPOWER: 635.523			CANDLEPOWER: 625.655			CANDLEPOWER: 620.899			CANDLEPOWER: 410.89		
Distance	Foot Candles		Distance	Foot Candles		Distance	Foot Candles		Distance	Foot Candles	
2ft	8"	8971.91	2ft	1' 8"	2765.34	2ft	2' 4"	1515.29	2ft	5' 10"	350.48
4ft	1' 5"	2242.98	4ft	3' 4"	691.33	4ft	4' 7"	378.82	4ft	11' 7"	87.62
6ft	2' 1"	996.88	6ft	4' 12"	307.26	6ft	6' 11"	168.37	6ft	17' 5"	38.94
8ft	2' 10"	560.74	8ft	6' 8"	172.83	8ft	9' 3"	94.71	8ft	23' 4"	21.91
10ft	3' 16"	358.88	10ft	8' 4"	110.61	10ft	11' 6"	60.61	10ft	29' 1"	14.02
15ft	5' 4"	159.50	15ft	12' 6"	49.16	15ft	17' 3"	26.94	15ft	43' 8"	6.23
20ft	7' 1"	89.72	20ft	16' 8"	27.65	20ft	23'	15.15	20ft	58' 2"	3.50
30ft	10' 7"	39.88	30ft	24' 12"	12.29	30ft	34' 7"	6.73	30ft	87' 4"	1.56
40ft	14' 2"	22.43	40ft	33' 4"	6.91	40ft	46' 1"	3.79	40ft	116' 5"	0.88
50ft	17' 8"	14.36	50ft	41' 8"	4.42	50ft	57' 7"	2.42	50ft	145' 6"	0.56

MR-8 2.5W 3000K 60"		
CANDLEPOWER: 382.10		
Distance	Foot Candles	
2ft	2' 6"	485.70
4ft	4' 11"	121.43
6ft	7' 5"	53.97
8ft	9' 11"	30.36
10ft	12' 5"	19.43
15ft	18' 7"	8.63
20ft	24' 9"	4.16
30ft	37' 2"	2.16
40ft	49' 6"	1.21
50ft	61' 11"	0.78

PRODUCT SPECIFICATION SHEET

NITE-025DL



DESCRIPTION:
NITE-025DL Down Light
Mounting: 1/2" NPT
Finish: Anodized Aluminum
Socket: 48 Weather Capable
Electrical: 12V
LED: 2W, 5W or 7W MR 16 LED

LED OPTIONS (Not Included):
NITE-025DLW MR-16
NITE-025DLB MR-16
NITE-025DLR MR-16
NITE-025DLG MR-16
NITE-025DLV MR-16
NITE-025DLU MR-16
NITE-025DLB MR-16
NITE-025DLR MR-16
NITE-025DLG MR-16
NITE-025DLV MR-16
NITE-025DLU MR-16

ADJUSTABLE KNUCKLE



NiliteLites
Sustainable. Smart Lighting. Affordable Price.

PRODUCT SPECIFICATION SHEET

NITE-003TR

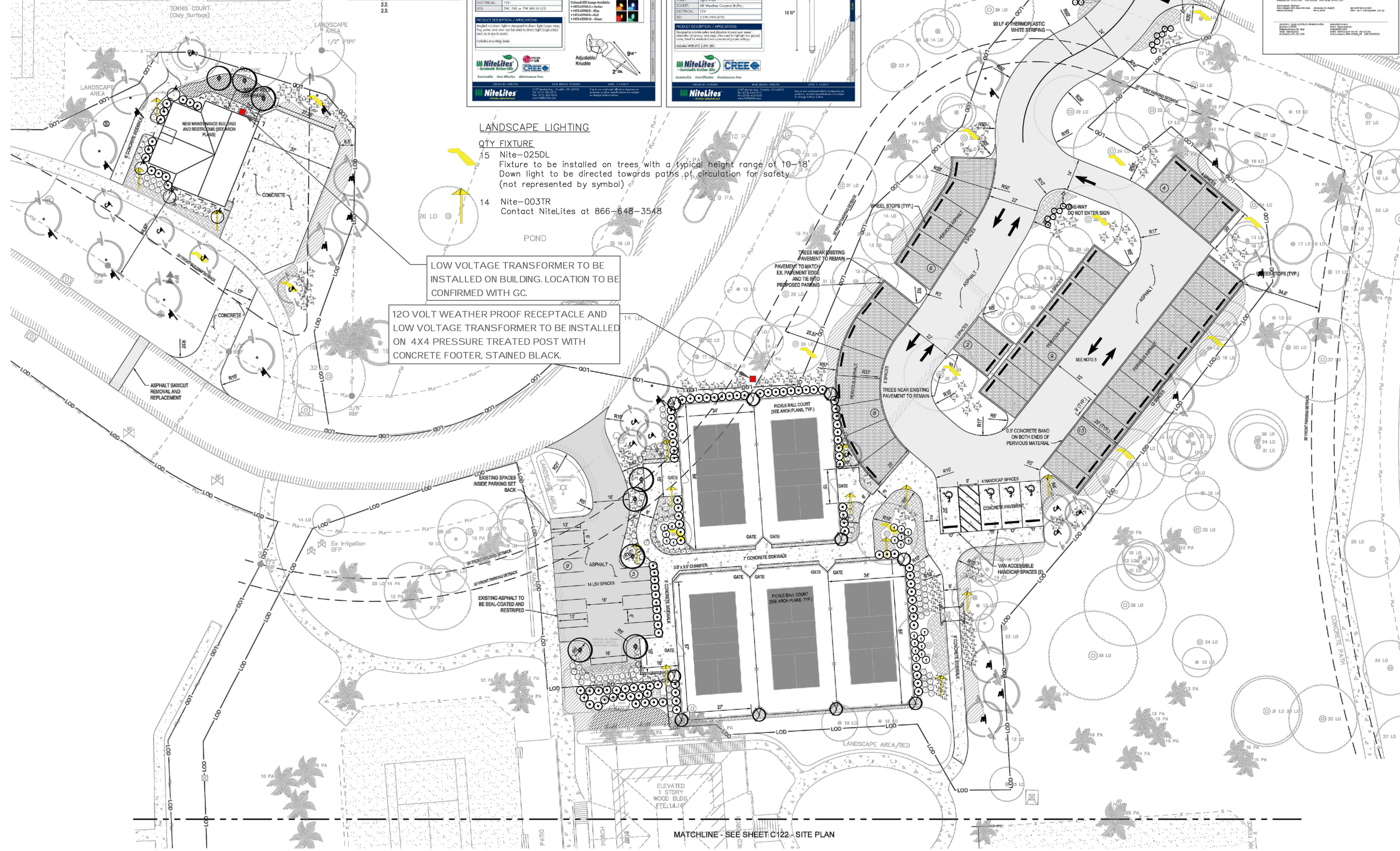
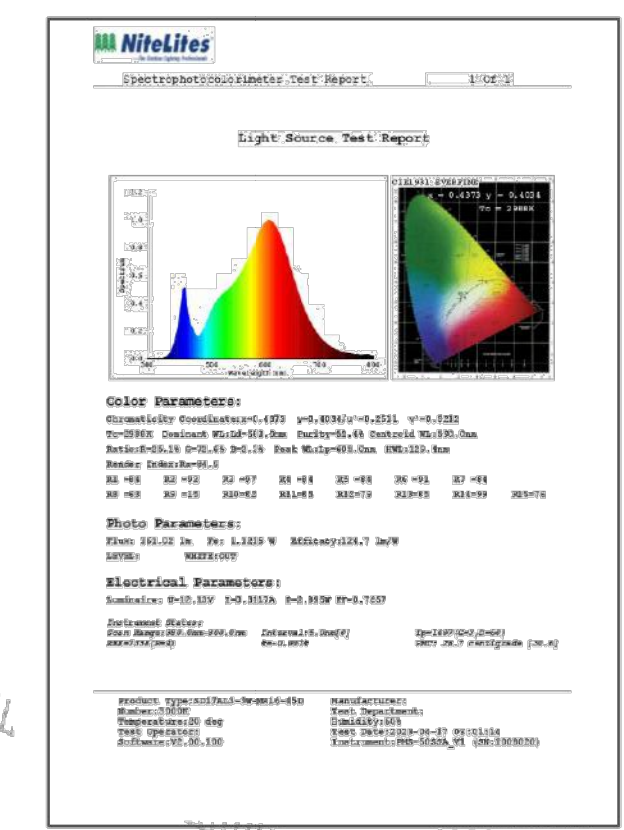


DESCRIPTION:
NITE-003TR
Mounting: 1/2" NPT
Finish: Anodized Aluminum
Socket: 48 Weather Capable
Electrical: 12V
LED: 2.5W (NITE-003TR)

ADJUSTABLE KNUCKLE



NiliteLites
Sustainable. Smart Lighting. Affordable Price.



Three Oaks Contractors, Inc.
P.O. Box 409
Ravenel, SC 29470
843.564.1315
www.3oakscontractors.com



Seabrook Island
Racquet Club
2.0
Seabrook
Island, SC

Scale:
Date: 8/24/2023
Revisions: 10/2/2023
10/31/2023
11/14/2023
11/17/2023
11/20/2023

LANDSCAPE
LIGHTING
PLAN

L3.0

REVIEW BOARD
SUBMITTAL



HITTING WALL & STORAGE BUILDING
AT SEABROOK ISLAND RACQUET CLUB

1701 LONG BEND DR.
SEABROOK ISLAND, SC 29455

BZA SUBMITTAL

FLOOR PLAN &
REFLECTED CEILING PLAN

A101

REFLECTED CEILING PLAN LEGEND

- SUSPENDED LINEAR LIGHT FIXTURE;
SEE ELECTRICAL
- ⊗ EXTERIOR WALL SCONCE; SEE ELECTRICAL

RCP GENERAL NOTES:

- A. THE BUILDING IS IN A SEISMIC CATEGORY 'D' AND ALL CODE RELATED CEILING REQUIREMENTS APPLY.

RCP CONSTRUCTION NOTES:
(KEYED TO PLAN)

- 1. PROVIDE BLOCKING BETWEEN ROOF JOISTS FOR ATTACHMENT OF SUSPENDED LINEAR LIGHT FIXTURES; BOTTOM OF LIGHTS AT 9'-0" AFF.

FLOOR PLAN LEGEND

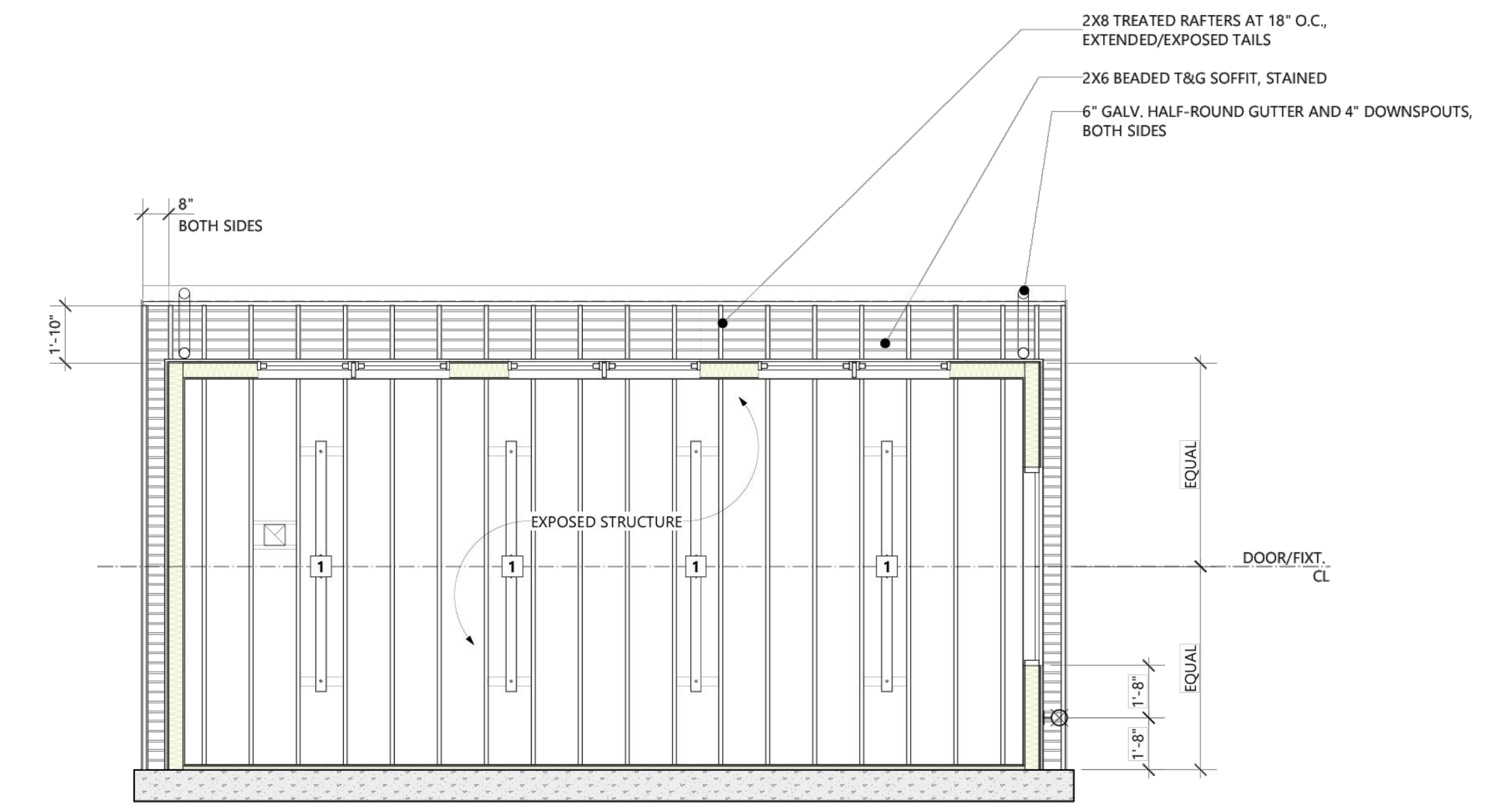
- 106 DOOR TAG
- ⊗ WINDOW TAG
- DS DOWNSPOUT

FLOOR PLAN GENERAL NOTES:

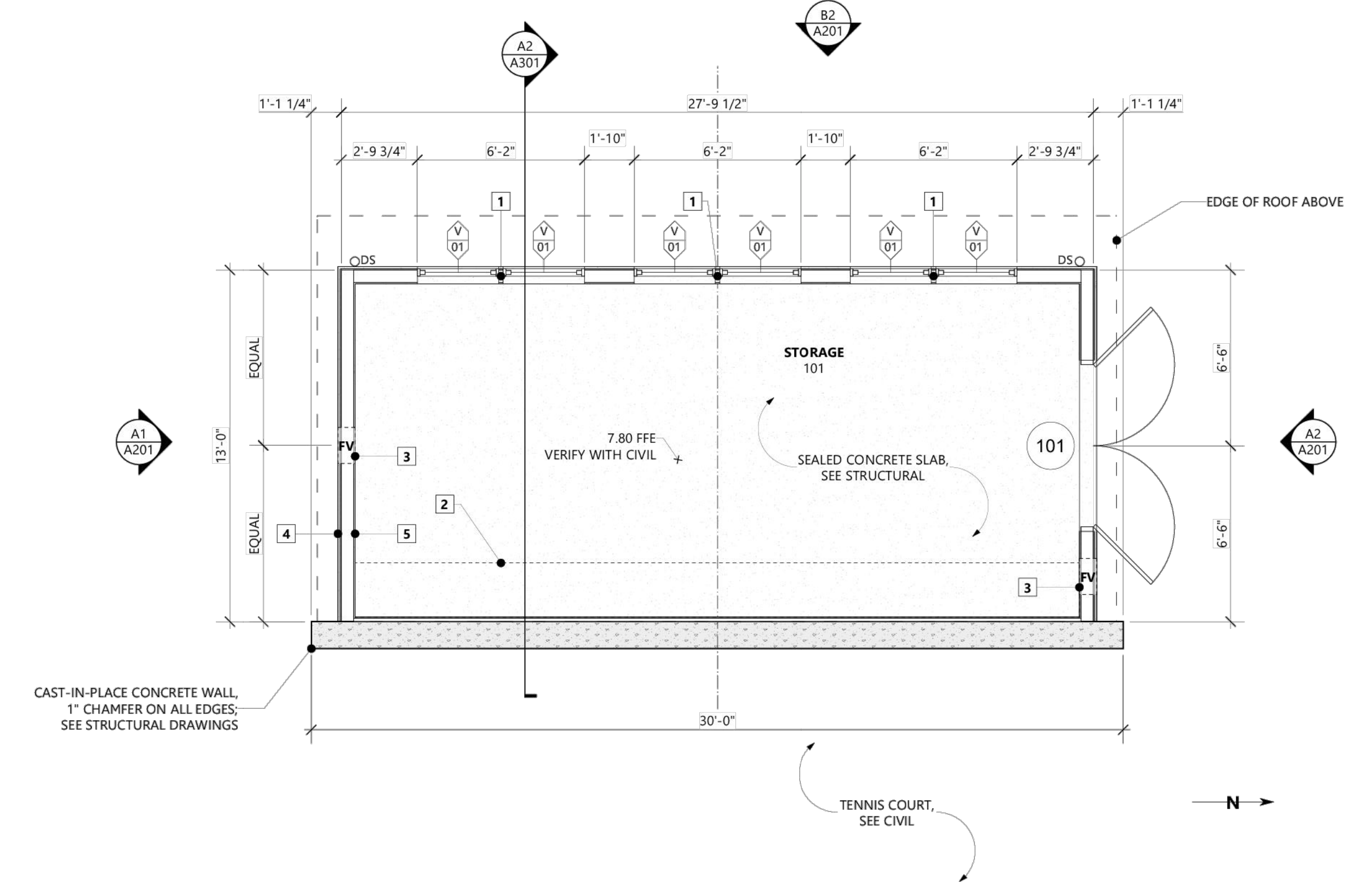
- A. ALL BUILDING MATERIALS BELOW BASE FLOOD ELEVATION MUST BE RESISTANT TO FLOOD DAMAGE (CLASS 4 & 5 MATERIALS PER FEMA TECHNICAL BULLETIN 2, TABLE 2).
- B. DRAWINGS SHOW GENERAL SCOPE OF WORK. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH QUALIFIED SUBCONTRACTORS TO ENSURE CODE COMPLIANT INSTALLATIONS AS REQUIRED BY CODE.
- C. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- D. ALL INTERIOR DOORS SHALL BE LOCATED WITH INSIDE FACE OF JAMB AT HINGE SIDE 6" AWAY FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- E. PROVIDE IN-WALL BLOCKING FOR ATTACHMENT OF ANY WALL-MOUNTED ACCESSORIES.
- F. ALL AREAS OUTSIDE THE SCOPE OF WORK SHALL BE PROTECTED FROM DAMAGE AND PAINT DEGRADATION DURING CONSTRUCTION.
- G. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS PRIOR TO EXECUTION OF THAT WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK AS INTENDED IN THE CONTRACT DOCUMENTS.
- H. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AND FIELD CONDITIONS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- I. DETAILS TAKE PRECEDENT IF A CONFLICT ARISES, SEE SHEET A301.

FLOOR PLAN CONSTRUCTION NOTES:
(KEYED TO PLAN)

- 1. SINGLE PSL STUD WINDOW MULL, SEE STRUCTURAL DRAWINGS.
- 2. 24" DEEP SHELVING, COORDINATE EXACT REQUIREMENT WITH OWNER.
- 3. PROVIDE FLOOD VENT THIS LOCATION TO BE INSTALLED 1'-0" MAX. ABOVE ADJACENT SURFACE. (BOD: SMART VENT 1540-S10)
- 4. ELECTRICAL METER AND DISCONNECT THIS LOCATION, SEE ELECTRICAL.
- 5. PANEL THIS LOCATION, SEE ELECTRICAL.



B2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



A2 FLOOR PLAN
SCALE: 1/4" = 1'-0"

TMS: 149-01-00-001
 FLOOD ZONE: AE9
 EXISTING ZONING: RC (RECREATION DISTRICT)
 PROPOSED USE: RACQUET CLUB EXPANSION

DESCRIPTION: NEW CONSTRUCTION OF HITTING WALL AND STORAGE SHED
 CONSTRUCTION TYPE: V-B
 SEISMIC DESIGN CATEGORY: D
 SPRINKLERS: NON-SPRINKLERED
 OCCUPANCY OF BUILDING: LOW HAZARD STORAGE (S-2)
 ALLOWABLE BUILDING HEIGHT: 40' (14' ACTUAL) PER IBC 2021, TABLE 504.3
 ALLOWABLE STORIES: 1 (1 ACTUAL) PER IBC 2021, TABLE 504.4
 ALLOWABLE AREA: 6,000 SF (360 SF ACTUAL) PER IBC 2021, TABLE 506.2
 OCCUPANT LOAD: NOT APPLICABLE

A1 CODE SUMMARY
NO SCALE



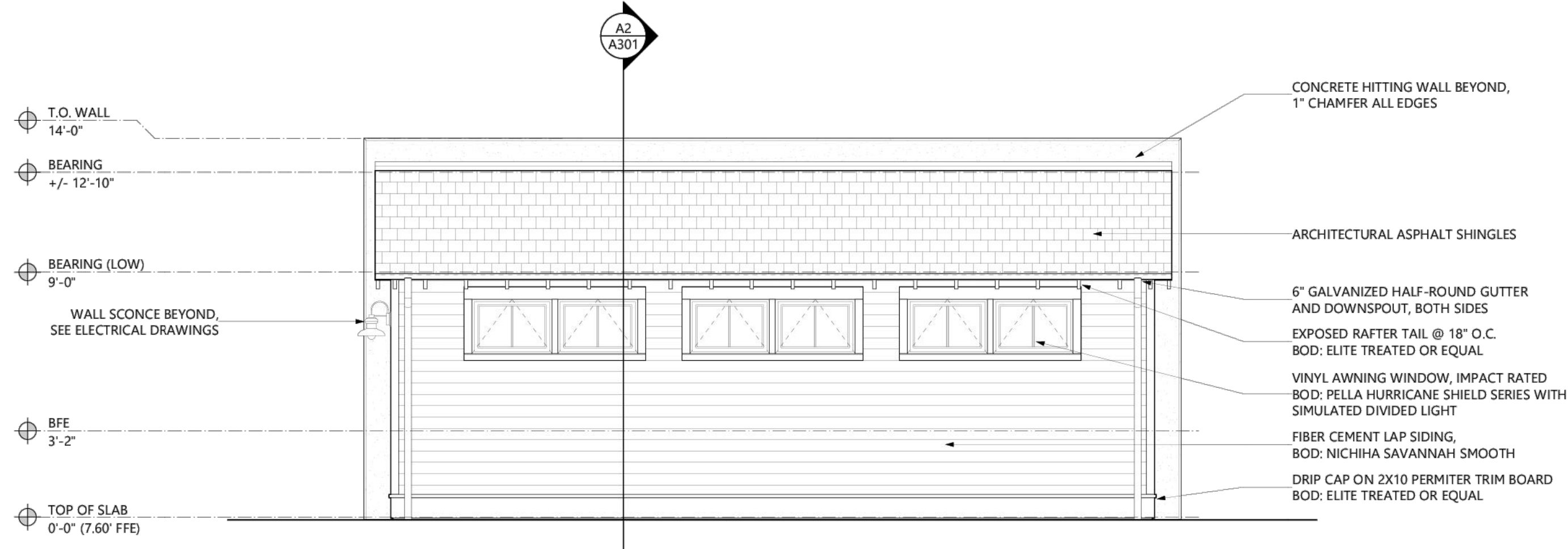
HITTING WALL & STORAGE BUILDING
AT SEABROOK ISLAND RACQUET CLUB

1701 LONG BEND DR.
SEABROOK ISLAND, SC 29455

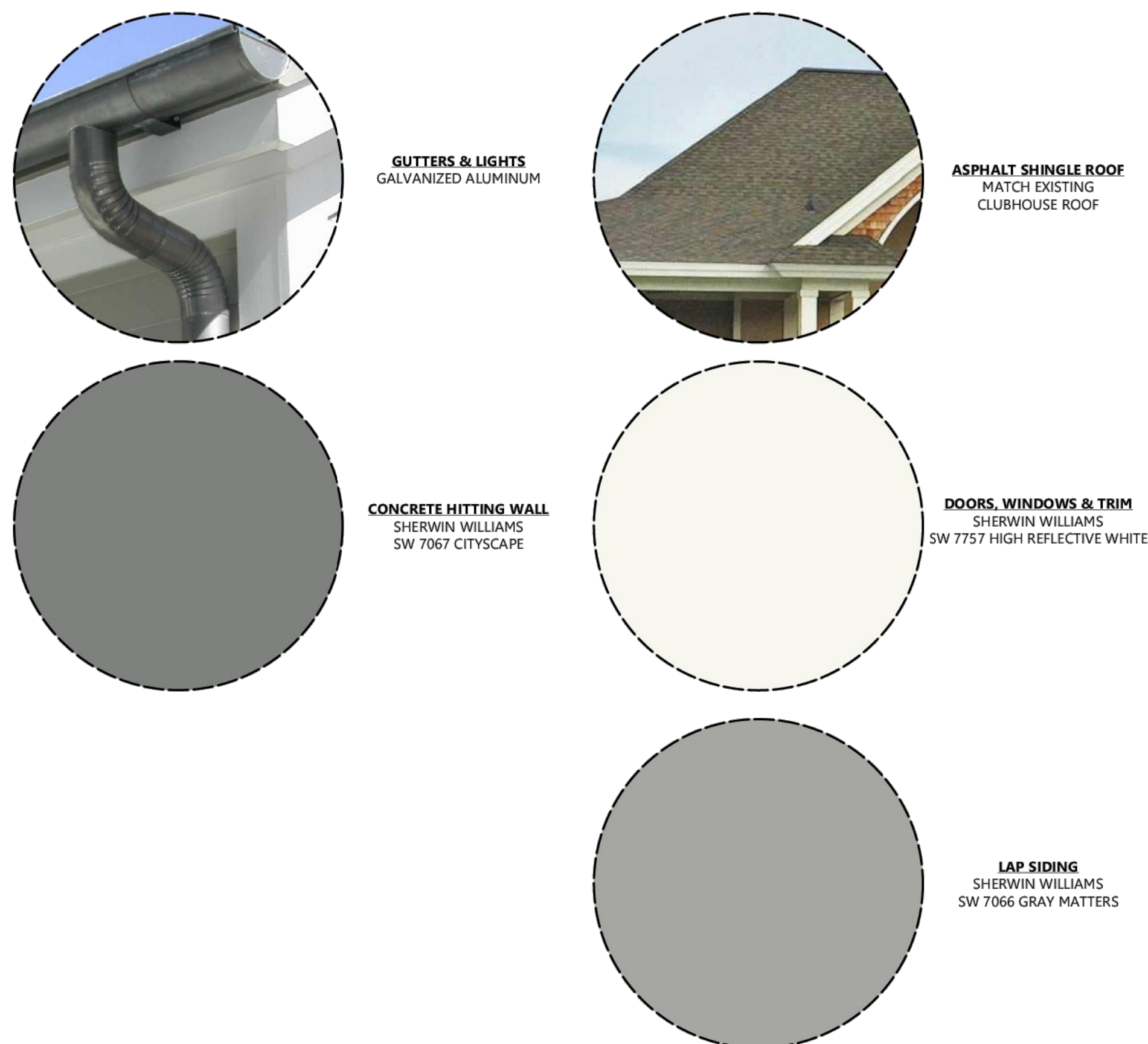
BZA SUBMITTAL

EXTERIOR
ELEVATIONS

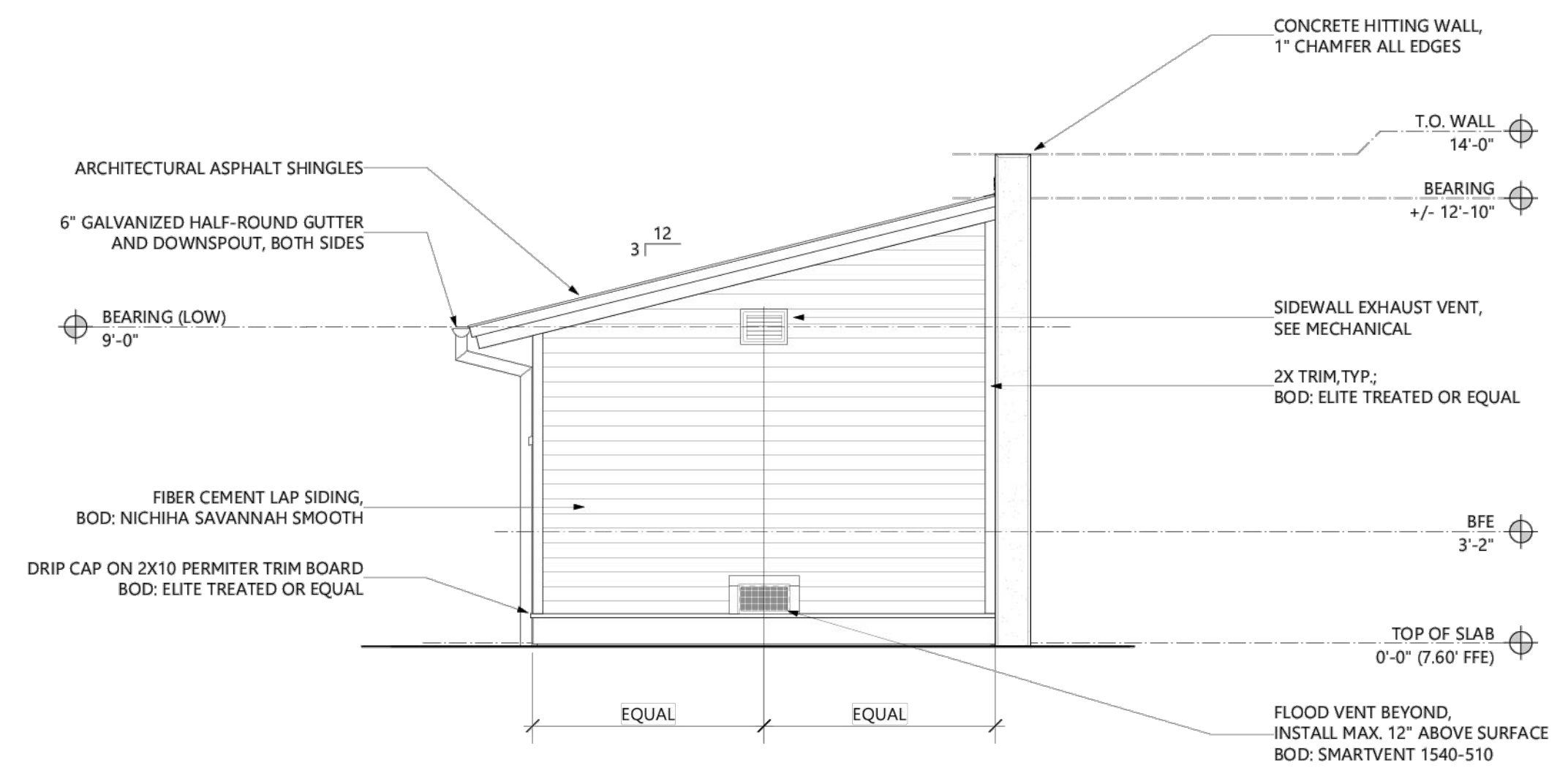
A102



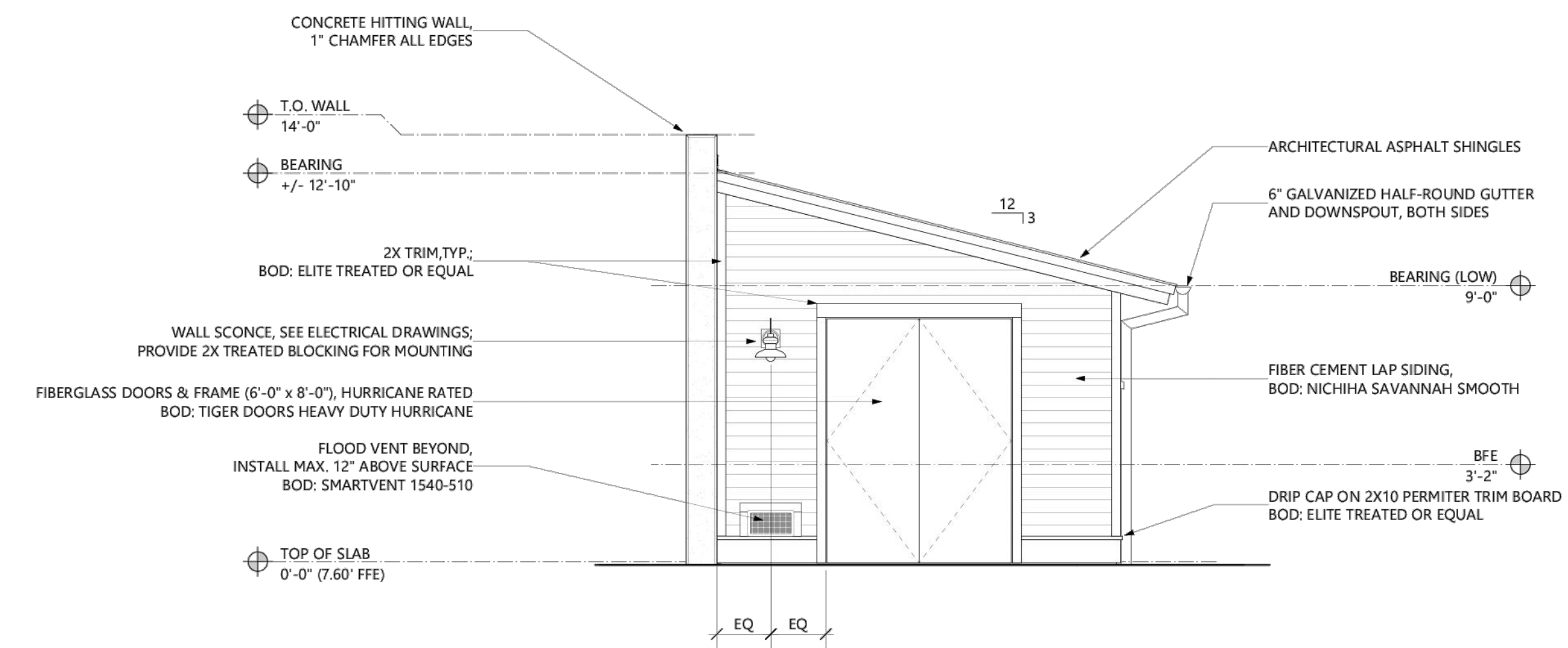
B2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



B1 EXTERIOR FINISHES
NO SCALE



A1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



A2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

The drawings and design are the property of Loyal Architects and shall be used for the project for which they are prepared. All rights reserved. The reproduction or use of this drawing or the design here on, without the written consent of the architect is prohibited.

FLOOR PLAN LEGEND	
	DOOR TAG, SEE A401
	WINDOW TAG, SEE A401
	WALL TYPE, SEE A401
	FLOOR DRAIN, SEE PLUMBING DRAWINGS
	DOWNSPOUT, SEE CIVIL DRAWINGS
	BATHROOM FIXTURE/ACCESSORY, SEE A401

FLOOR PLAN GENERAL NOTES:

- ALL BUILDING MATERIALS BELOW BASE FLOOD ELEVATION MUST BE RESISTANT TO FLOOD DAMAGE (CLASS 4 & 5 MATERIALS PER FEMA TECHNICAL BULLETIN 2, TABLE 2).
- DRAWINGS SHOW GENERAL SCOPE OF WORK. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH QUALIFIED SUBCONTRACTORS TO ENSURE CODE COMPLIANT INSTALLATIONS AS REQUIRED BY CODE.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS SHALL BE LOCATED WITH INSIDE FACE OF JAMB AT HINGE SIDE 6" AWAY FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- PROVIDE IN-WALL BLOCKING FOR ATTACHMENT OF ANY WALL-MOUNTED ACCESSORIES.
- ALL AREAS OUTSIDE THE SCOPE OF WORK SHALL BE PROTECTED FROM DAMAGE AND PAINT DEGRADATION DURING CONSTRUCTION.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS PRIOR TO EXECUTION OF THAT WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK AS INTENDED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AND FIELD CONDITIONS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.

FLOOR PLAN CONSTRUCTION NOTES:
(KEYED TO PLAN)

- NOT USED.
- HOSE BIB, SEE PLUMBING DRAWINGS.
- PROVIDE FLOOD VENT THIS LOCATION TO BE INSTALLED 1'-0" MAX. ABOVE ADJACENT SURFACE. BOD: SMART VENT 1540-510 IN SHED & 1540-570 IN BATHROOMS
- ELECTRICAL METER AND DISCONNECT THIS LOCATION, SEE ELECTRICAL.
- 24" DEEP WORK BENCH, COORDINATE EXACT LAYOUT AND REQUIREMENTS WITH OWNER. ALL MATERIAL TO BE PRESSURE TREATED.

CODE SUMMARY:

TMS: 149-01-00-093
 FLOOD ZONE: AE10
 EXISTING ZONING: RC (RECREATION DISTRICT)
 PROPOSED USE: RACQUET CLUB EXPANSION
 DESCRIPTION: NEW CONSTRUCTION OF STORAGE BUILDING WITH ATTACHED BATHROOMS
 CONSTRUCTION TYPE: V-B
 SEISMIC DESIGN CATEGORY: D
 SPRINKLERS: NON-SPRINKLERED
 OCCUPANCY OF BUILDING: LOW HAZARD STORAGE (S-2)
 ALLOWABLE BUILDING HEIGHT: 40' (22'-6" ACTUAL) PER IBC 2021, TABLE 504.3
 ALLOWABLE STORIES: 1 (1 ACTUAL) PER IBC 2021, TABLE 504.4
 ALLOWABLE AREA: 6,000 SF (1,115 SF ACTUAL) PER IBC 2021, TABLE 506.2
 OCCUPANT LOAD: NOT APPLICABLE

REFLECTED CEILING PLAN LEGEND	
	5/8" GYPSUM BOARD - MOLD & MOISTURE RESISTANT
	SURFACE-MOUNTED LINEAR LIGHT FIXTURE; SEE ELECTRICAL
	EXTERIOR WALL SCONCE; SEE ELECTRICAL
	INTERIOR WALL SCONCE; SEE ELECTRICAL
	FLUSH MOUNT CEILING LIGHT; SEE ELECTRICAL
	RECESSED CAN LIGHT; SEE ELECTRICAL
	HVAC CASSETTE; SEE MECHANICAL DRAWINGS
	CEILING HEIGHT/ BOTTOM OF EXPOSED STRUCTURE
	EXIT SIGN; SEE ELECTRICAL

RCP GENERAL NOTES:

- HEIGHT OF CEILING NOTED IS TAKEN FROM FINISH FLOOR DIRECTLY BELOW.
- THE BUILDING IS IN A SEISMIC CATEGORY 'D' AND ALL CODE RELATED CEILING REQUIREMENTS APPLY. REFERENCE CEILING DETAILS ON SHEET **A112**.
- ALL DEVICES AND LIGHTS SHOULD BE MOUNTED IN THE CENTER OF CEILING AREA, UNLESS NOTED OTHERWISE. DEVICES AND LIGHTS SHALL BE SUPPORTED INDEPENDENTLY.

RCP CONSTRUCTION NOTES:
(KEYED TO PLAN)

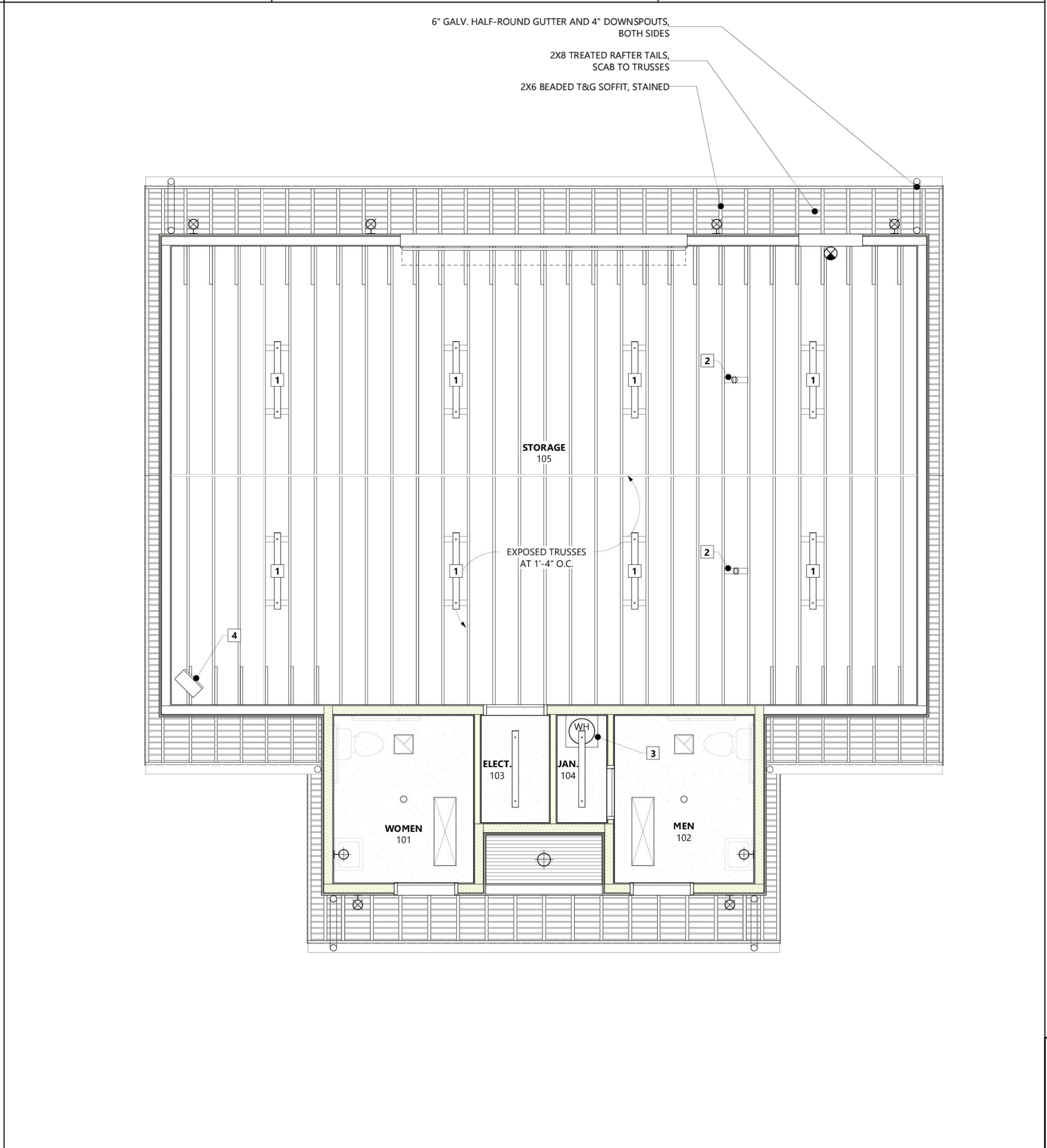
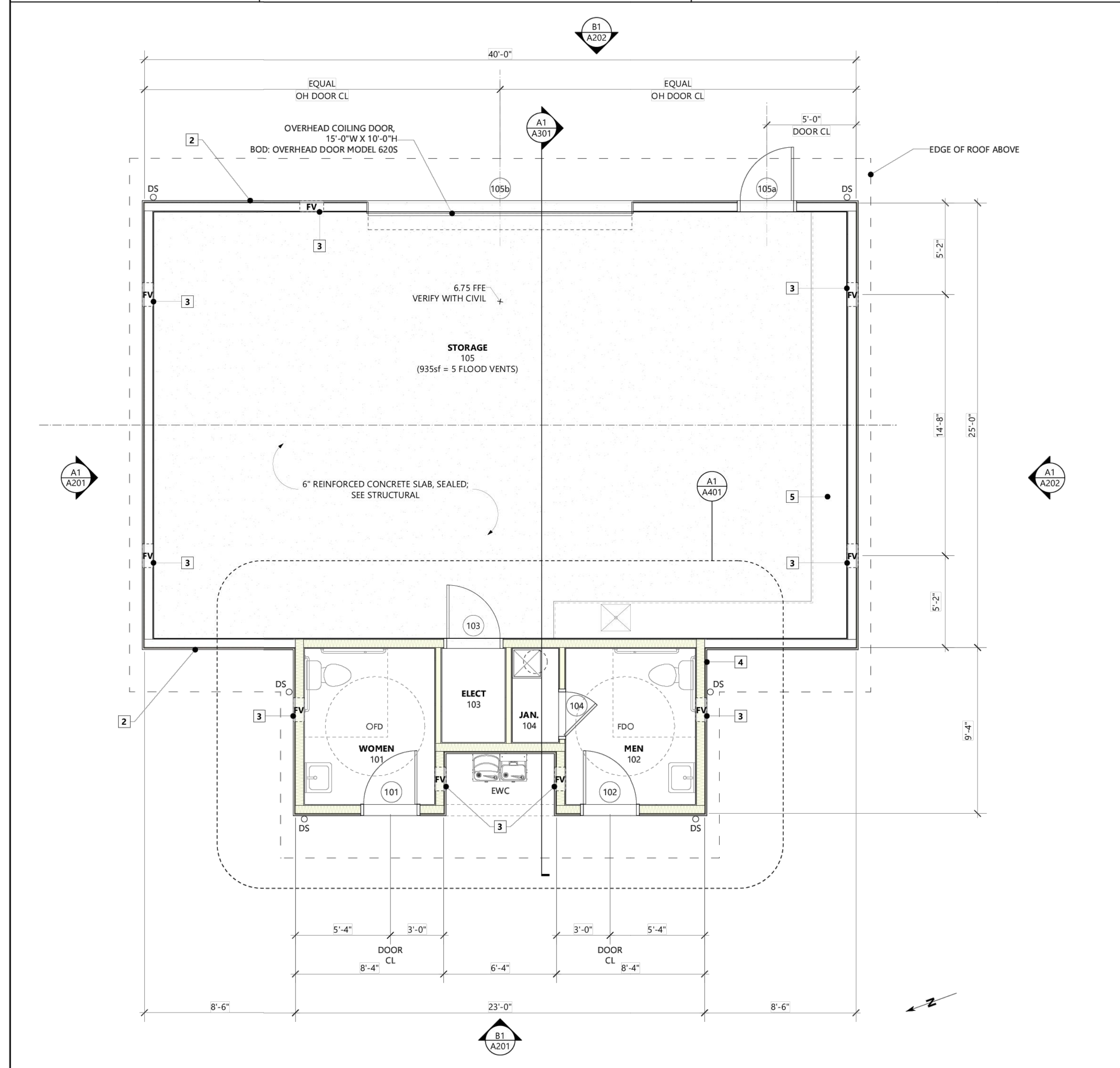
- PROVIDE BLOCKING FOR INSTALLATION OF SURFACE-MOUNTED LINEAR LIGHT FIXTURES.
- PROVIDE BLOCKING FOR INSTALLATION OF CEILING OUTLETS; SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS AT THESE LOCATIONS.
- WATER HEATER ON WALL-MOUNTED PLATFORM, INSTALL ABOVE HEAD OVER MOP SINK; SEE PLUMBING DRAWINGS.
- ELECTRIC HEATER, SEE MECHANICAL AND ELECTRICAL.

LOYAL architects

STATE OF SOUTH CAROLINA
 LOYAL ARCHITECTS
 Mount Pleasant, SC
 No. 10168
 REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
 ARCHITECT
 SEABROOK ISLAND, SC
 No. 10305
 REGISTERED ARCHITECT

NOT FOR CONSTRUCTION!



MAINTENANCE BUILDING
AT SEABROOK ISLAND RACQUET CLUB
 1701 LONG BEND DR.
 SEABROOK ISLAND, SC 29455

BZA SUBMITTAL

FLOOR PLAN & REFLECTED CEILING PLAN

A1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

A2 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

A201

The drawings and design are the property of Loyal Architects and shall be used for the project for which they were prepared. All rights reserved. The reproduction or use of this drawing or the design here on, without the written consent of the architect is prohibited.

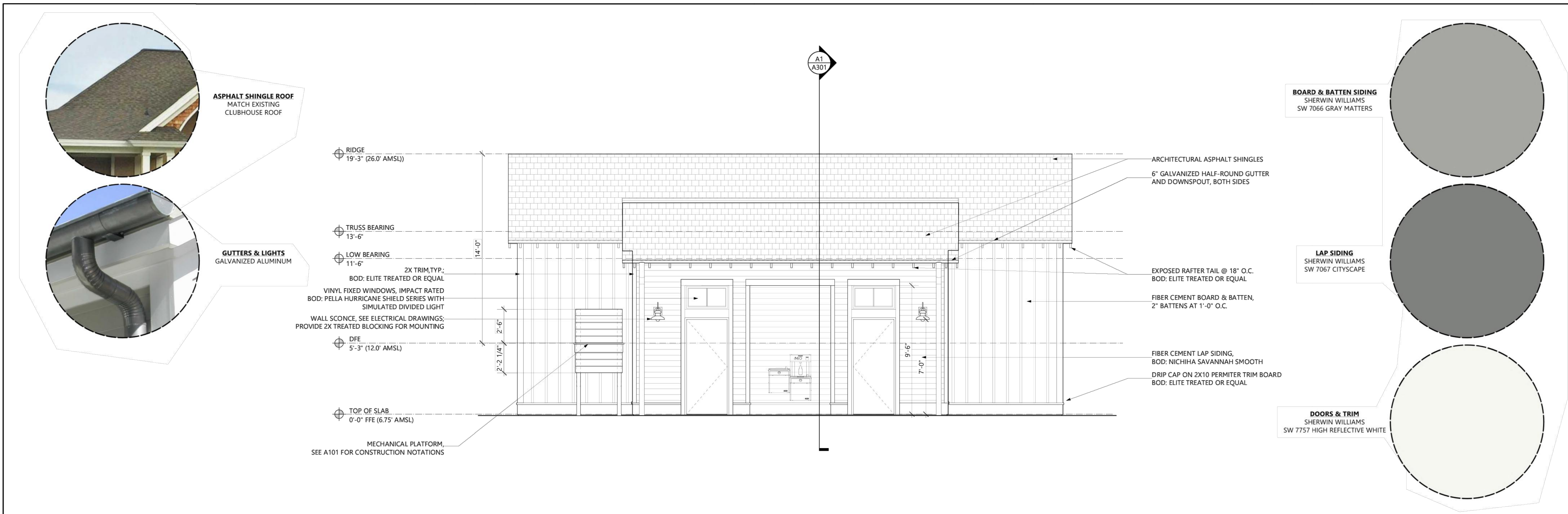
**MAINTENANCE BUILDING
AT SEABROOK ISLAND RACQUET CLUB**

1701 LONG BEND DR.
SEABROOK ISLAND, SC 29455

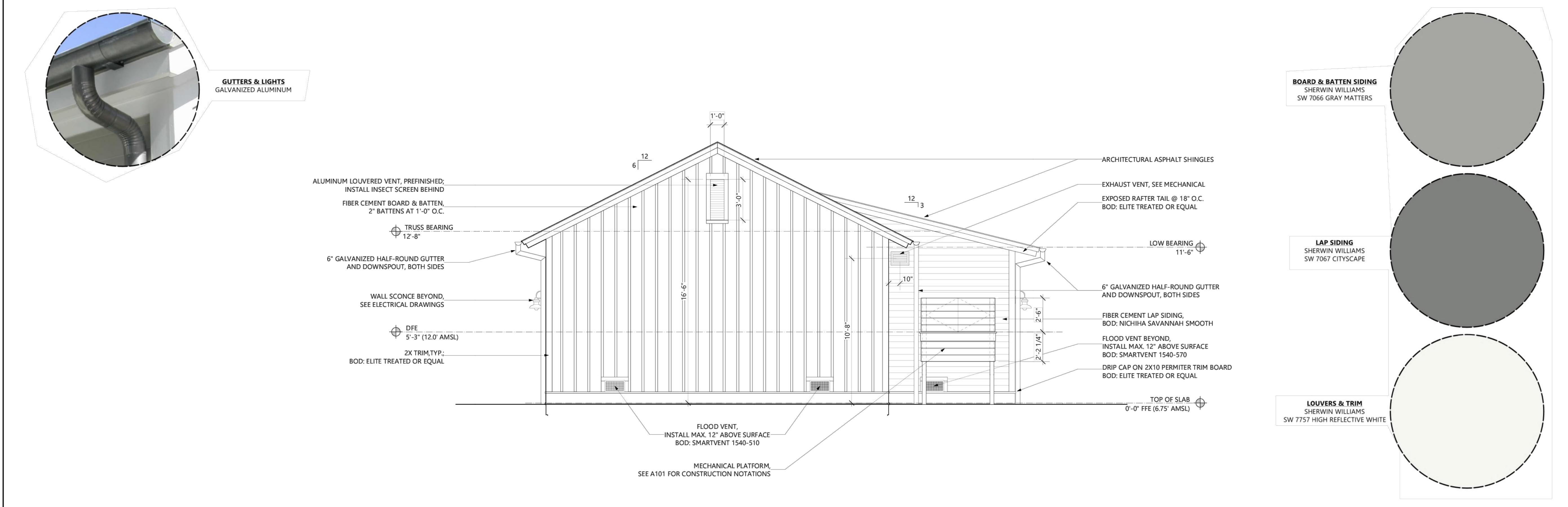
BZA SUBMITTAL

**EXTERIOR
ELEVATIONS**

A202



B1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



A1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

The drawings and design are the property of Loyal Architects and shall be used for the project for which they are prepared. All rights reserved. The reproduction or use of this drawing or the design here on without the written consent of the architect is prohibited.

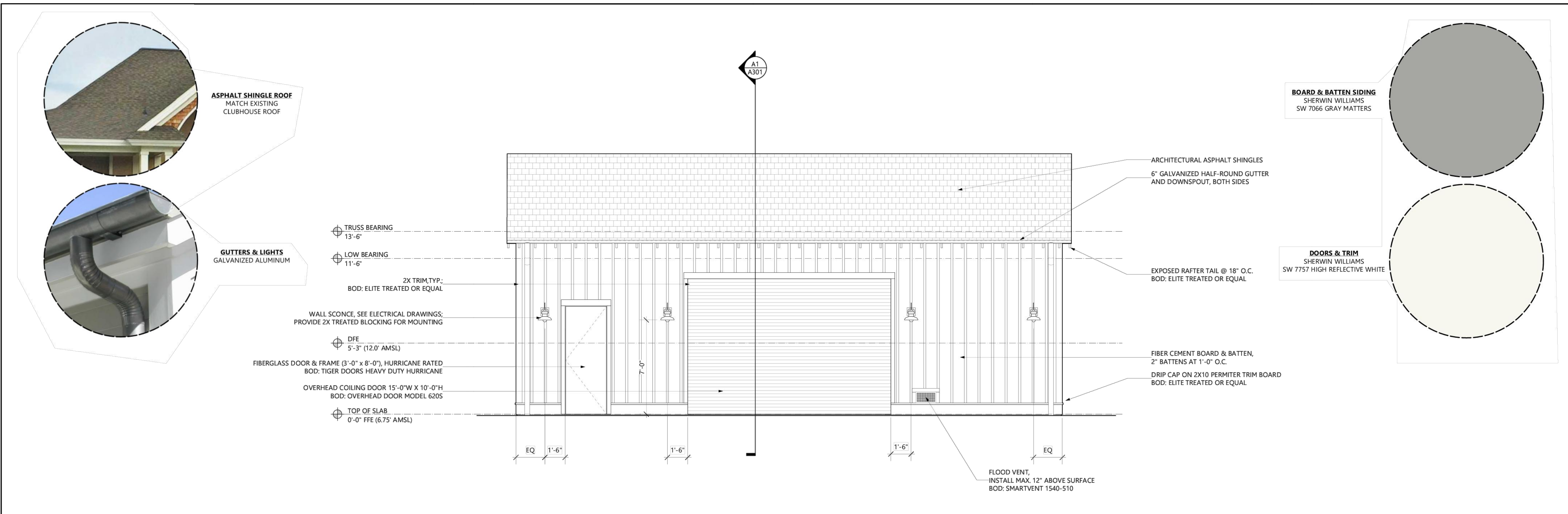
**MAINTENANCE BUILDING
AT SEABROOK ISLAND RACQUET CLUB**

1701 LONG BEND DR.
SEABROOK ISLAND, SC 29455

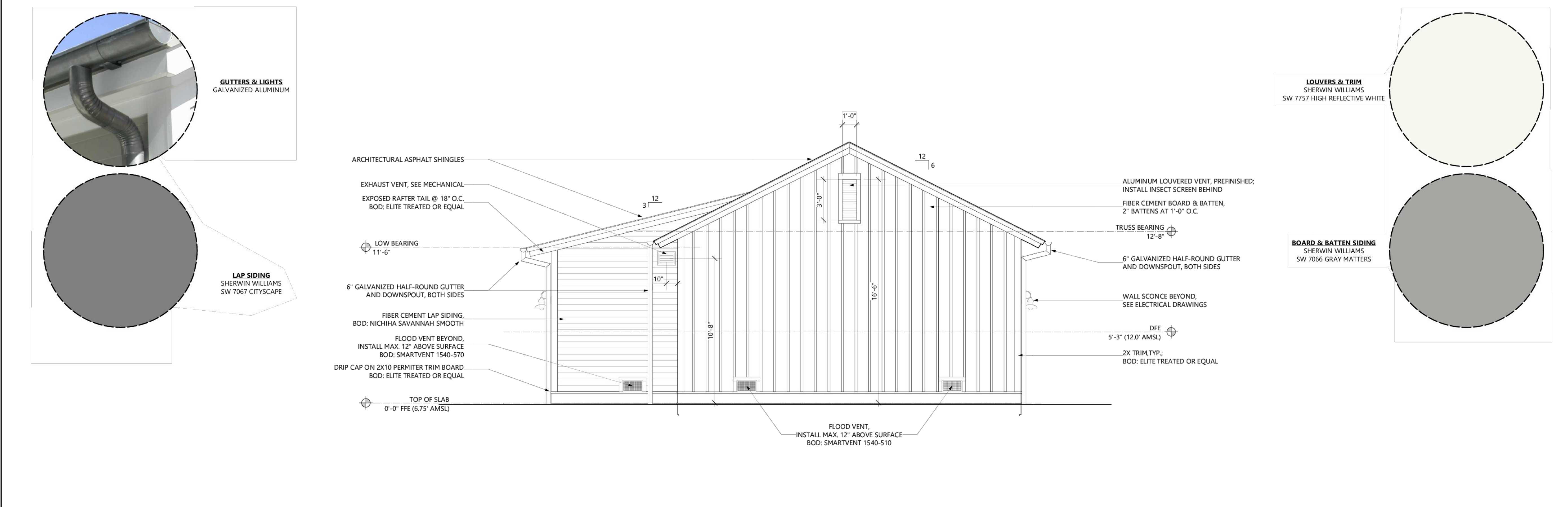
BZA SUBMITTAL

**EXTERIOR
ELEVATIONS**

A203



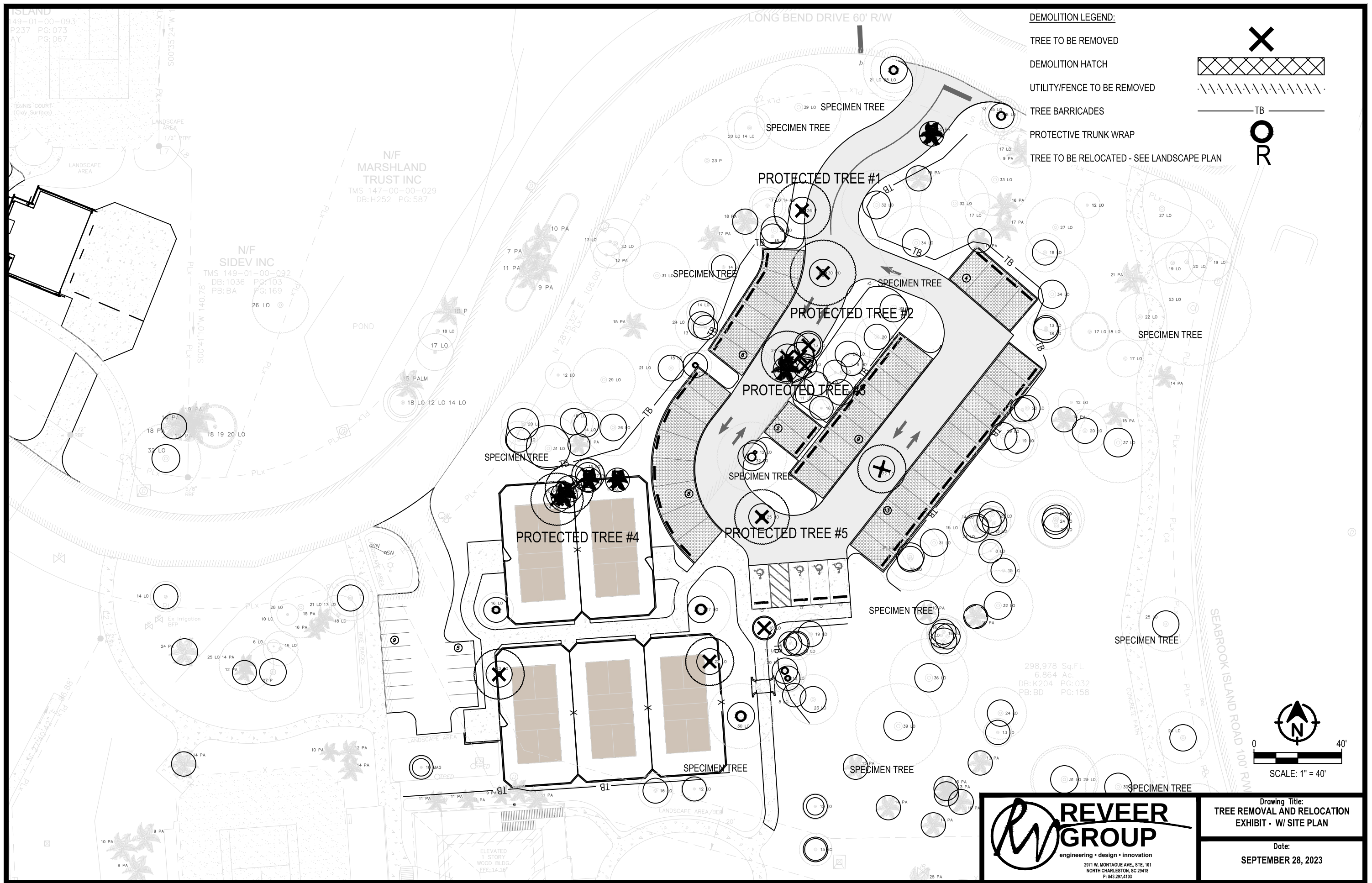
B1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

The drawings and design are the property of Loyal Architects and shall be used for the project for which they are prepared. All rights reserved. The reproduction or use of this drawing or the design here on without the written consent of the architect is prohibited.

S:\202202.00_SIPOA Racquet Club Expansion - Documents\2) CAD\Xref Prop\Seabrook Club_DP.dwg, 11/20/2023, CLAUSTRUP
THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



- DEMOLITION LEGEND:**
- TREE TO BE REMOVED
 - DEMOLITION HATCH
 - UTILITY/FENCE TO BE REMOVED
 - TREE BARRICADES
 - PROTECTIVE TRUNK WRAP
 - TREE TO BE RELOCATED - SEE LANDSCAPE PLAN

REVEER GROUP
engineering • design • innovation
2271 W. MONTAGUE AVE., STE. 101
NORTH CHARLESTON, SC 29418
P: 843.297.4103

Drawing Title:
**TREE REMOVAL AND RELOCATION
EXHIBIT - W/ SITE PLAN**

Date:
SEPTEMBER 28, 2023

TREE INVENTORY / GRADING



Project: Seabrook Island Racquet Club
Date: April 29, 2022
Address: 1970 Long Bend Drive, Seabrook Island, SC 29455
Prepared By: George Schneidmuller, ISA Certified Arborist SO-10272A

1. DESCRIPTIONS OF TREE GRADES / CORRESPONDING PICTURES OF TREES ON SITE

1.1. **Blue** - Specimen Trees

There are (18) Live Oaks I have graded as specimen trees on the site. These trees are generally large Live Oaks that are growing in more open areas. The benefit of having more open area has allowed these Live Oaks to grow outwards and upwards and display beautiful spread-out structural forms. These trees have some minor storm damage and dead wood and would benefit from a light pruning.



1.2. **Green** - Healthy Trees

The majority of the trees on site are healthy trees. There are a total of (121) surveyed trees that I have graded as healthy. These trees include Live Oaks, Pine Trees, Red Oaks, Black Cherries, and Palm Trees. Many of these trees are closer together than the grand trees, and as a result have grown more slenderly and upright. The trees are in many cases just as healthy as the specimen trees, but don't display the same spread out structures which make the others specimen trees. These trees would still benefit from removal of damaged and dead wood.



1.3. Orange - Damaged Trees

There are a total of (8) Live Oaks and (1) double Black Cherry tree on site that I have graded as damaged trees. These trees exhibit poorer form and health than most of the other trees on the site. These trees are not hazardous however, and can remain, but should be pruned to remove dead, damaged, and diseased branches. However, these trees will likely never rebound to become healthy, specimen trees, and do not add much aesthetic interest to an already beautiful, mature, wooded site. Removing them might be a good consideration to free up some space for the healthy and specimen trees to continue thriving.



1.4. Red - Hazardous Trees

Of all of the trees on the site, there were only (2) trees that I recommended for removal as hazards. The 10" Palmetto Tree has a large chunk missing from its trunk and is at a high risk of failure, and the 15" Live Oak adjacent to the parking lot consists of one trunk with a tremendous lean directly over the parking lot. The tree also has been hit by vehicles and is missing a section of bark and the lean is significant enough that it poses a hazard to vehicles and pedestrians in a significant wind event.



Seabrook Island Racquet Club Expansion

Need for Additional Parking (LSV Spaces)

October 13, 2023

SUPPORTING INFORMATION

The Racquet Club does not currently have enough parking to meet the needs of the club. The current users of the club fill the parking spaces provided and spill over into the forest and along the roadside of Long Bend Drive. The images below were taken on a typical day, mid-day on a Tuesday.

The Club proposes to meet the Design Standards Ordinance for standard parking spaces and add low-speed vehicle (LSV) parking spaces to provide alternative means of transportation for Club members. Providing additional parking in the form of LSV spaces encourages the use of more efficient and compact vehicles around the island which will benefit the environment. These spaces are in addition to recently added bike racks and connecting pedestrian pathways to the Racquet Club making the club accessible by 4 means of transportation rather than just one.

The LSV spaces are a more efficient utilization of the property while addressing the issue of parking lot overflow and encouraging environmentally conscious means of transportation. Trends toward higher use of low-speed vehicles have been observed around Seabrook Island and other island communities in South Carolina. The overflow of cars that this shift in transportation means to address can be seen in the images below.





October 13, 2023

Page 2 of 7



October 13, 2023

Page 3 of 7



October 13, 2023

Page 4 of 7



October 13, 2023

Page 5 of 7



October 13, 2023

Page 6 of 7



October 13, 2023

Page 7 of 7



Coastal Zone Consistency Determination

To: George M. Cox, BOW Coastal Stormwater Permitting Section

From: Benjamin Thépaut, OCRM Coastal Zone Consistency Section BT

Applicant: Mitchell Laskowitz

Project Name: Seabrook Racquet Club Expansion Phase 1B

Finding: Conditionally Consistent with the SC Coastal Zone Management Program

Site Location: 1701 Long Bend Dr, Seabrook Island, Charleston County, South Carolina
(TMS#: 149-00-00-001, 149-00-01-093)

Reference #: HPR-NVCC-MRNHN

Date: October 12, 2023

The staff of the Office of Ocean and Coastal Resource Management (OCRM) reviewed the above referenced Coastal Zone Consistency project request for land disturbance associated with improvements to existing residential recreation facility. Construction activities include grading site for five new pickle ball courts, a maintenance building with restrooms, a new partially pervious parking lot, a summer kitchen addition to an existing building, and a half-court practice area. Stormwater Management includes overall infiltration and associated infrastructure. The total area of disturbance will be 2.6 acres of a 7.9 acre project site.

We hereby certify that the above referenced project is **Conditionally Consistent** with the ***Guidelines for Evaluation of All Projects*** as well as the Residential Development, Transportation Facilities (*Parking Facilities*), and Stormwater Management (*Runoff*) policies contained in the S.C. Coastal Zone Management Program provided the following conditions are included in the permits and adhered to by the applicant.

1. In the event that any historic or cultural resources and/or archaeological materials are found during the course of work, the applicant must notify the State Historic Preservation Office and the South Carolina Institute of Archaeology and Anthropology. Historic or cultural resources consist of those sites listed in the National Register of Historic Places and those sites that are eligible for the National Register. Archaeological materials consist of any items, fifty years old or older, which were made or used by man. These items include, but are not limited to, stone projectile points (arrowheads), ceramic sherds, bricks, worked wood, bone and stone, metal and glass objects, and human skeletal materials.

2. The project must be consistent with State Stormwater Permitting requirements during and post construction for protection of water quality.
3. All construction BMPs must be installed, inspected and maintained to hold sediment onsite and to protect any adjacent or downstream critical area, wetlands and waters through the life of the project. Upon completion of construction activities, all disturbed (including undeveloped) areas, including those impacted for access, must be immediately stabilized.
4. The project must be fully consistent with local zoning and comprehensive plans prior to work being conducted.

This determination shall serve as the SCDHEC OCRM Coastal Zone Consistency Determination for the work described above. However, this determination **does not** serve as a Department permitting decision and **does not** alleviate the applicant's responsibility to obtain any applicable State or Federal permit(s) for the work. Local government authorizations **may also** be required.

Coleen Lautrup

From: Cox, George M. <coxgm@dhec.sc.gov>
Sent: Thursday, October 12, 2023 5:16 PM
To: Paul Ford
Cc: Coleen Lautrup
Subject: RE: Seabrook Bacquet Club Expansion Phase 1B

Follow Up Flag: Follow up
Flag Status: Flagged

Paul,
I have received the CZC Memo for this project. Please submit a set of plans approved for construction that are signed and sealed. If you submit them in electronic format, I will stamp them and return them to you.
George

George M. Cox
Coastal Stormwater Permitting
S.C. Dept. of Health & Environmental Control
Office: (843) 953-0238
Connect: www.scdhec.gov [Facebook](#) [Twitter](#)



From: Paul Ford <pford@reveergroup.com>
Sent: Monday, August 21, 2023 8:47 AM
To: Cox, George M. <coxgm@dhec.sc.gov>
Cc: Winkler, Pamela D. <WINKLEPD@dhec.sc.gov>; Coleen Lautrup <clautrup@ReveerGroup.com>
Subject: RE: Seabrook Bacquet Club Expansion Phase 1B

*** Caution. This is an EXTERNAL email. DO NOT open attachments or click links from unknown senders or unexpected email. ***

Roger that, I'll go in and pay it. Thanks George and have a great week!

Paul A. Ford, PE, LEED AP
Senior Civil Engineer

Office (843) 297-4103 **Mobile** (843) 834-2637
Email pford@reveergroup.com
Web www.reveergroup.com

From: Cox, George M. <coxgm@dhec.sc.gov>
Sent: Friday, August 18, 2023 4:41 PM
To: Paul Ford <pford@reveergroup.com>
Cc: Winkler, Pamela D. <WINKLEPD@dhec.sc.gov>; Coleen Lautrup <clautrup@ReveerGroup.com>
Subject: RE: Seabrook Bacquet Club Expansion Phase 1B

Coleen Lautrup

From: Steve Hirsch <shirsch@sipoa.org>
Sent: Friday, October 13, 2023 3:54 PM
To: Tyler Newman
Cc: Mitchell Laskowitz; John Fitzpatrick; Coleen Lautrup; Thomas Gore; Hamer Darby; Paul Ford; David Cruse; David Brown
Subject: Re: Racquet Club Improvements - New Plan Coordination
Attachments: cid24820F6D-0760-4572-B194-81F9F0FA2165.pdf; image001.png; image002.png; image003.png; image004.png; image005.png; image006.png; image007.png; image008.png; image009.png; image010.png; image011.jpg; image012.png; image013.png; image014.png; image015.png; image016.png; image017.png

The SIPOA General Operation and Maintenance Committee (GOMC) has reviewed a driveway request from The Seabrook Island Club. The attached driveway plan as submitted on 10-12-23 was approved. The committee chairs Dave Brown and David Cruse are copied.

Steve Hirsch

843-725-1562

On Oct 13, 2023, at 3:45 PM, Tyler Newman <tnewman@townofseabrookisland.org> wrote:

All,

A friendly reminder that TOSI offices close at 4:00 PM.

Thank you,

Tyler Newman

Zoning Administrator/Chief Code Enforcement Officer

Town of Seabrook Island

2001 Seabrook Island Road

Seabrook Island, SC 29455

Office: (843) 768-9121

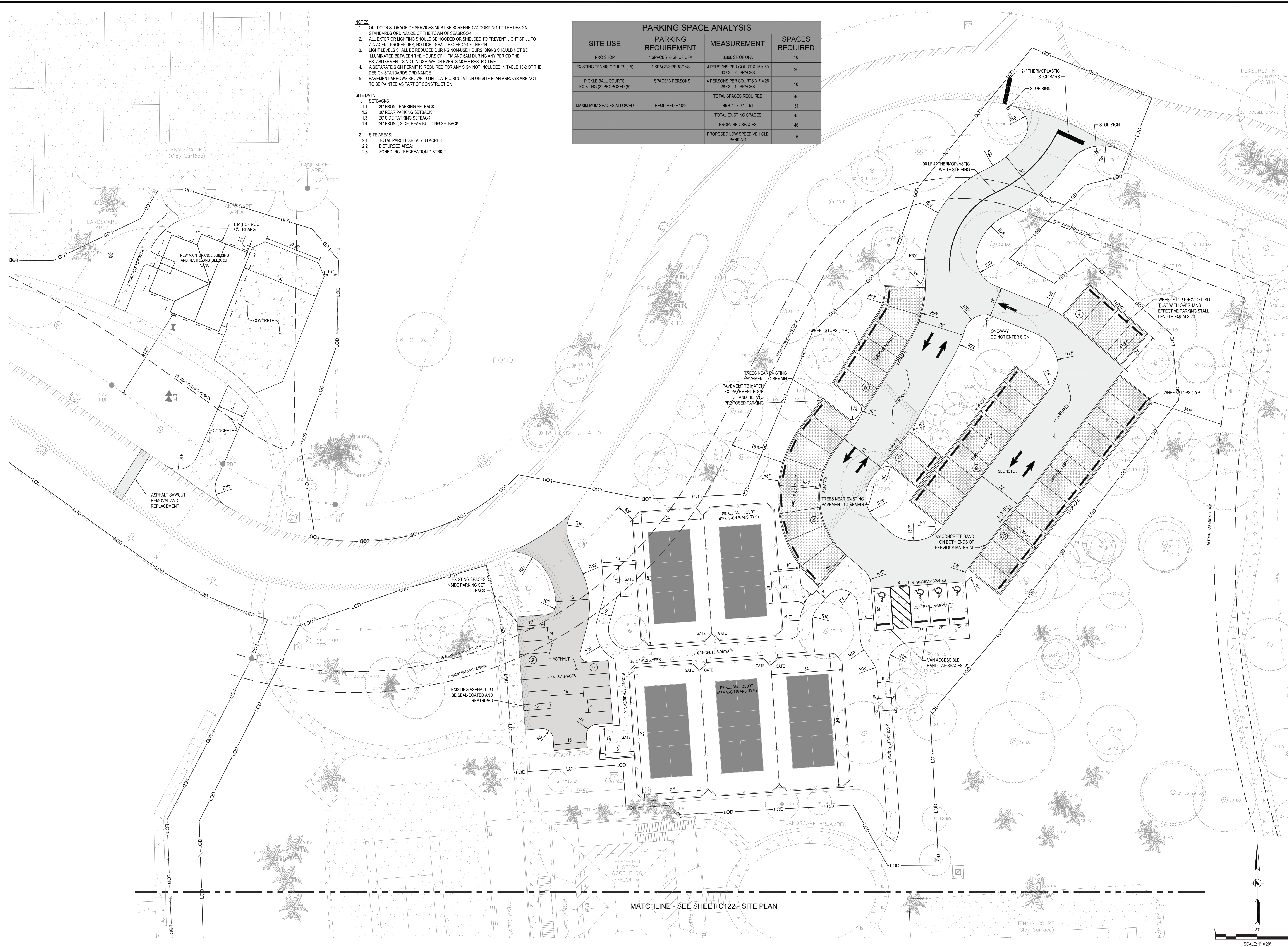
www.townofseabrookisland.org

From: Mitchell Laskowitz <mlaskowitz@seabrookisland.com>

Sent: Friday, October 13, 2023 3:37 PM

To: Tyler Newman <tnewman@townofseabrookisland.org>; John Fitzpatrick <jfitzpatrick@seabrookisland.com>; Steve Hirsch <shirsch@sipoa.org>

S:\2022\02_SPRD Racquet Club Expansion - Documents\2 CAD\Plan Sheets\Seabrook Racquet Club - Site Plans.dwg, 10/17/2023, CLAUTRIP
 THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF REVEER GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



- NOTES**
1. OUTDOOR STORAGE OF SERVICES MUST BE SCREENED ACCORDING TO THE DESIGN STANDARDS ORDINANCE OF THE TOWN OF SEABROOK.
 2. ALL EXTERIOR LIGHTING SHOULD BE HOODED OR SHIELDED TO PREVENT LIGHT SPILL TO ADJACENT PROPERTIES. NO LIGHT SHALL EXCEED 24 FT HEIGHT.
 3. LIGHT LEVELS SHALL BE REDUCED DURING NON-USE HOURS. SIGNS SHOULD NOT BE ILLUMINATED BETWEEN THE HOURS OF 11PM AND 6AM DURING ANY PERIOD THE ESTABLISHMENT IS NOT IN USE. WHICH EVER IS MORE RESTRICTIVE.
 4. A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGN NOT INCLUDED IN TABLE 13-2 OF THE DESIGN STANDARDS ORDINANCE.
 5. PAVEMENT ARROWS SHOWN TO INDICATE CIRCULATION ON SITE PLAN ARROWS ARE NOT TO BE PAINTED AS PART OF CONSTRUCTION.

- SITE DATA**
1. SETBACKS
 - 1.1. 30' FRONT PARKING SETBACK
 - 1.2. 30' REAR PARKING SETBACK
 - 1.3. 20' SIDE PARKING SETBACK
 - 1.4. 20' FRONT, SIDE, REAR BUILDING SETBACK
 2. SITE AREAS
 - 2.1. TOTAL PARCEL AREA 7.88 ACRES
 - 2.2. DISTURBED AREA
 - 2.3. ZONED: RC - RECREATION DISTRICT

PARKING SPACE ANALYSIS			
SITE USE	PARKING REQUIREMENT	MEASUREMENT	SPACES REQUIRED
PRO SHOP	1 SPACE/250 SF OF UFA	3,866 SF OF UFA	16
EXISTING TENNIS COURTS (15)	1 SPACE/3 PERSONS	4 PERSONS PER COURT X 15 = 60 60 / 3 = 20 SPACES	20
PICKLE BALL COURTS, EXISTING (2) PROPOSED (5)	1 SPACE/3 PERSONS	4 PERSONS PER COURT X 7 = 28 28 / 3 = 10 SPACES	10
		TOTAL SPACES REQUIRED	46
MAXIMUM SPACES ALLOWED	REQUIRED + 10%	46 + 46 x 0.1 = 51	51
		TOTAL EXISTING SPACES	45
		PROPOSED SPACES	46
		PROPOSED LOW SPEED VEHICLE PARKING	15

MATCHLINE - SEE SHEET C122 - SITE PLAN

REVEER GROUP
 2971 W. Montague Ave., Suite 101
 North Charleston, SC 29418
 843.297.4103
 www.reveergroup.com

SEABROOK ISLAND
 1819 LONG BEND DR
 SEABROOK ISLAND, SC 29455

Rev	Date	Description	By
03	10/12/2023	EZA SUBMITTAL - UPDATE	PAF
02	09/08/2023	EZA SUBMITTAL	PAF
01	08/15/2023	COURT AND FACILITIES ADJUSTMENT	PAF

DOCUMENT CONTROL LOG

RACQUET CLUB EXPANSION PHASE 1B
THE CLUB AT SEABROOK ISLAND
 SHEET TITLE

NOT FOR CONSTRUCTION

Project No.: 202202.00
 Designed By: CGL
 Checked By: JSD Approved By: PAF

Sheet No.:
C121
 Sheet 11 of 22

Coleen Lautrup

From: Tommy West <twest@siuc.org>
Sent: Tuesday, January 24, 2023 3:11 PM
To: Coleen Lautrup
Cc: Paul Ford
Subject: RE: Seabrook Island Racquet Club Expansion - Plan Review
Attachments: Racquet Club 1.24.2023.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Attached is a PDF of our GIS of the sewer in that area. The highlighted sewer in yellow is abandoned. We have sewer capacity to serve the maintenance complex for the Racquet Club.

Tommy West
Manager
Seabrook Island Utility Commission
843-768-0102
www.siuc.org

From: Coleen Lautrup <clautrup@ReveerGroup.com>
Sent: Tuesday, January 24, 2023 3:01 PM
To: Tommy West <twest@siuc.org>
Cc: Paul Ford <pford@reveergroup.com>
Subject: Seabrook Island Racquet Club Expansion - Plan Review

Hi Tommy.

Thank you so much for calling us earlier. I really appreciate the communication. I am going to send you the most recent plan and let you know how we are thinking about connecting. Please let us know your thoughts and we would appreciate that GIS map of the sewer pump station by the pool in the north and the identification of the abandoned lines you mentioned.

These plans are still in development, but the sewer and water connection locations/methodology should not change significantly as the project develops. We can send finalized plans once we have them.

Thanks so much!
Coleen



Coleen G. Lautrup, EIT
Staff Civil Engineer

Office (843) 297-4103 **Mobile** (907) 232-0958
Email clautrup@reveergroup.com
Web www.reveergroup.com



MEMORANDUM

TO: Planning Commission Members
FROM: Tyler Newman, Zoning Administrator
SUBJECT: Rezoning Request for 2723 Old Oak Walk
MEETING DATE: December 13, 2023

The Planning Commission is asked to review and provide a recommendation on a rezoning request from the Seabrook Island Property Owners Association for Charleston County Tax Map Number 147-06-00-070, containing approximately 0.225 +/- acres located at 2723 Old Oak Walk. The applicant is seeking to rezone the property from the Moderate Lot Single-Family (R-SF2) District to the Conservation (CP) District.

The property, which is currently vacant, is surrounded on two sides by parcels zoned Moderate Lot Single-Family (R-SF2). The rear of the property backs up to a parceled out open space, which contributes to its value as a conservation lot.

Subject to rezoning approval, this property is intended to remain as an undeveloped “open space” lot. Uses permitted within the CP district are limited to the following:

- (a) Accessory Uses & Structures
- (b) Bulkhead and erosion control devices
- (c) Community Gardens
- (d) Open space preserves such as wetlands and wildlife habitat refuge areas
- (e) Greenways, boardwalks, and non-motorized trails/pathways
- (f) Open-air recreation uses (CONDITIONAL)
- (g) Utility substation or sub installation (CONDITIONAL)
- (h) Wireless communication antennas or towers (CONDITIONAL)

Pursuant to Development Standards Ordinance § 19.3, in considering amendments to the official zoning map, the Planning Commission shall consider each of the seventeen criteria outlined in § 19.3.B. Attached to this memo you will find the applicant’s narrative that address each of the criteria in § 19.3.B.

A copy of the draft rezoning ordinance is attached for review.

Staff Recommendation

Staff agrees with the applicant's analysis of § 19.3.B and recommends in favor of **APPROVAL** of the rezoning request.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'TN', is written over a horizontal line.

Tyler Newman
Zoning Administrator

TOWN OF SEABROOK ISLAND

ORDINANCE NO. 2023-19

ADOPTED _____

AN ORDINANCE AMENDING THE ZONING MAP OF THE TOWN OF SEABROOK ISLAND SO AS TO CHANGE THE ZONING DESIGNATION FOR CHARLESTON COUNTY TAX MAP NUMBER 147-06-00-070, CONTAINING APPROXIMATELY 0.225 +/- ACRES LOCATED AT 2723 OLD OAK WALK, FROM THE MODERATE LOT SINGLE-FAMILY (R-SF2) DISTRICT TO THE CONSERVATION (CP) DISTRICT.

WHEREAS, on or about November 16, 2023, the Seabrook Island Property Owners Association filed Rezoning Application #95 with the Town of Seabrook Island seeking to change the zoning designation of Charleston County Tax Map Number 147-06-00-070, containing approximately 0.225 +/- acres located at 2723 Old Oak Walk, from the Moderate Lot Single-Family (R-SF2) district to the Conservation (CP) district; and

WHEREAS, the Seabrook Island Planning Commission reviewed the above referenced rezoning application during its regularly scheduled meeting on December 13, 2023, at which time the Planning Commission made a recommendation to the Mayor and Council that the rezoning request is in the best interest of the Town of Seabrook Island and is consistent with the Town's Comprehensive Plan; and

WHEREAS, a public hearing was held on the above referenced rezoning application on January 23, 2024, as required by law;

NOW, THEREFORE, pursuant to the authority granted by the Constitution and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE MAYOR AND COUNCIL FOR THE TOWN OF SEABROOK ISLAND:**

SECTION 1. Zoning Map Amendment. The Official Zoning District Map of the Town of Seabrook Island is hereby amended to change the zoning designation for Charleston County Tax Map Number 147-06-00-070, containing approximately 0.225 +/- acres located at 2723 Old Oak Walk, from the Moderate Lot Single-Family (R-SF2) district to Conservation (CP) district. A map of the property subject to this rezoning ordinance is attached hereto as Exhibit A.

SECTION 2. Severability. If any section, subsection, paragraph, clause, or provision of this ordinance shall be deemed to be unconstitutional, unenforceable, or otherwise invalid by the final decision of a court of competent jurisdiction, it shall be construed to have been the legislative intent of Town Council to pass said ordinance without such unconstitutional provision, and the validity of all remaining sections, subsections, paragraphs, clauses, or provisions of said ordinance shall not be affected thereby. If said ordinance, or any provision thereof, is held by the final decision of a court of competent jurisdiction to be inapplicable to any person, group of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances.

SECTION 3. Conflicting Ordinances Repealed. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. Effective Date. This ordinance shall be effective from and after the date of adoption.

SIGNED AND SEALED this ____ day of _____, 2024, having been duly adopted by the Town Council for the Town of Seabrook Island on the ____ day of _____, 2024.

First Reading: December 19, 2023
Public Hearing: January 23, 2024
Second Reading: January 23, 2024

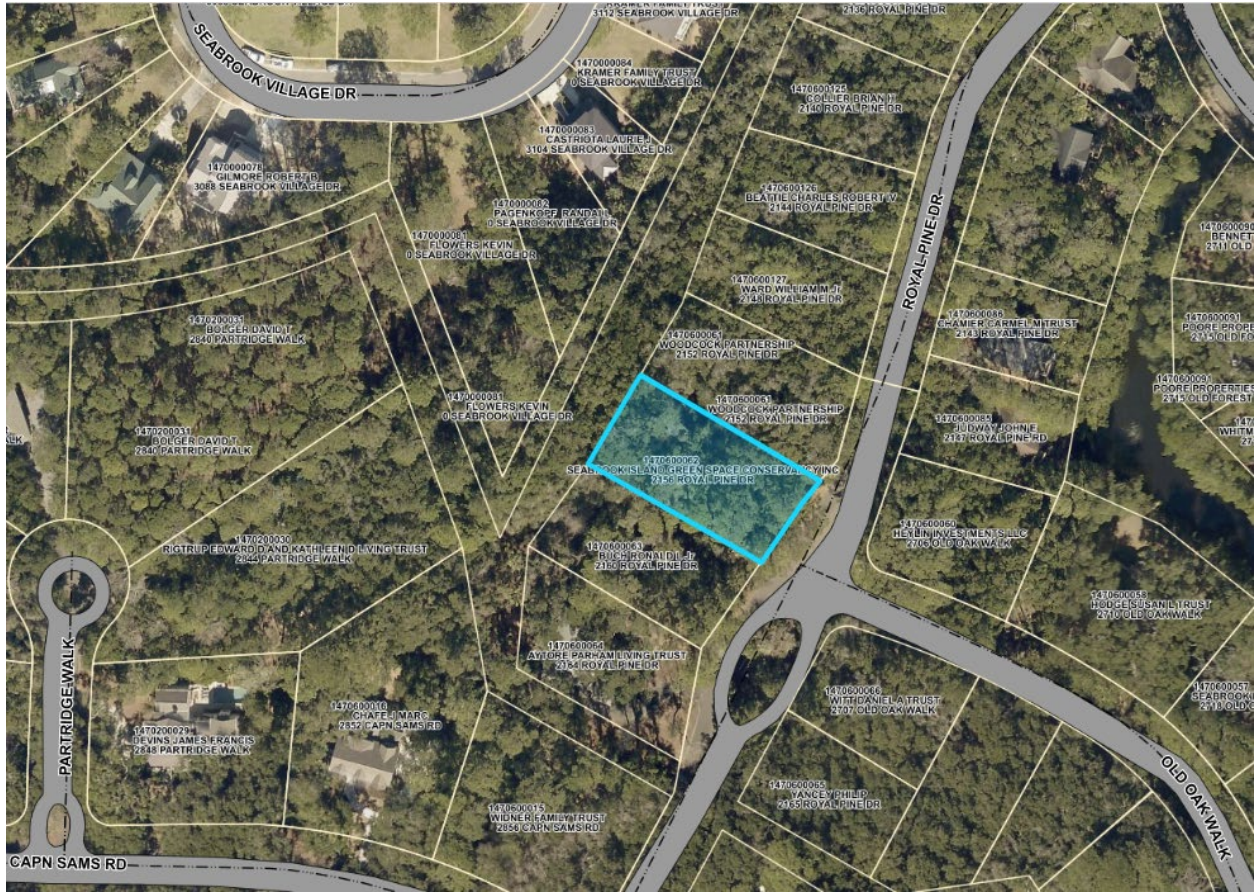
TOWN OF SEABROOK ISLAND

John Gregg, Mayor

ATTEST

Katharine E. Watkins, Town Clerk

EXHIBIT A



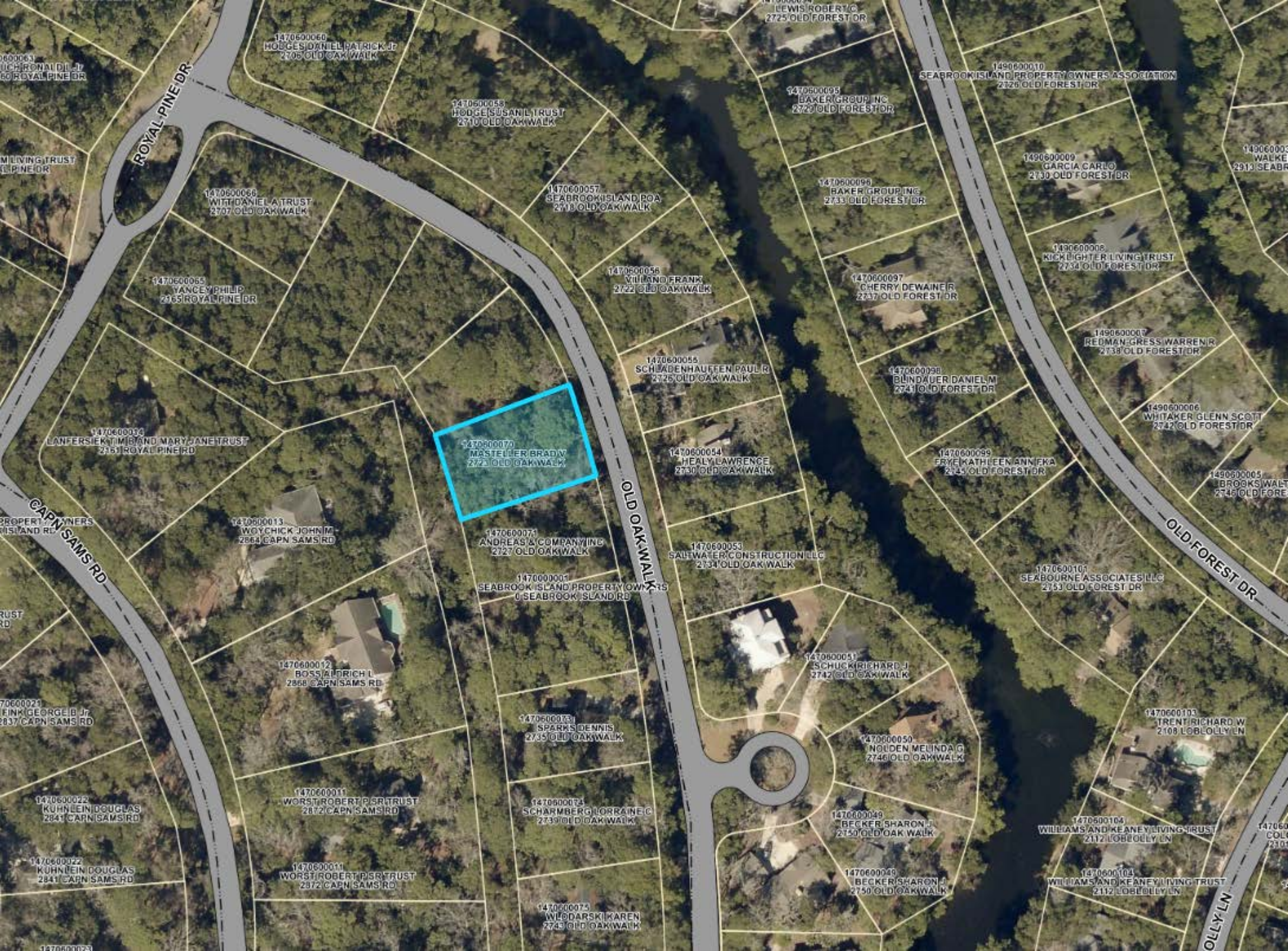
TMS #: 147-06-00-070

ADDRESS: 2723 Old Oak Walk

ACREAGE: 0.225 (+/-)

CURRENT ZONING: Moderate Lot Single-Family (R-SF2)

PROPOSED ZONING: Conservation (CP)



ROYAL PINE DR

OLD OAK WALK

OLD FOREST DR

CAPN SAMS RD

LOLLY LN

1470600060
HODGE JOHNNEL PATRICK JR
2706 OLD OAK WALK

1470600055
HODGE SUSAN L TRUST
2700 OLD OAK WALK

1470600095
BAKER GROUP INC
2720 OLD FOREST DR

1490600010
SEABROOK ISLAND PROPERTY OWNERS ASSOCIATION
2726 OLD FOREST DR

1470600068
WITT DANIEL A TRUST
2707 OLD OAK WALK

1470600057
SEABROOK ISLAND POA
2718 OLD OAK WALK

1470600098
BAKER GROUP INC
2733 OLD FOREST DR

1490600009
GARCIA CARLO
2730 OLD FOREST DR

1470600065
YANCEY PHILIP
2765 ROYAL PINE DR

1470600056
VILLANO FRANK
2722 OLD OAK WALK

1470600097
CHERRY DEWAINER
2737 OLD FOREST DR

1490600008
KICKLIGHTER LIVING TRUST
2734 OLD FOREST DR

1470600034
LANFERSIEK TIM B AND MARY JANE TRUST
2831 ROYAL PINE DR

1470600055
SCHLADENHAUFFEN PAUL R
2725 OLD OAK WALK

1470600098
BLINDAUER DANIEL M
2741 OLD FOREST DR

1490600007
REDMAN-GRESS WARREN R
2738 OLD FOREST DR

1470600070
MASTELLER BRAD V
2721 OLD OAK WALK

1470600054
HEALY LAWRENCE
2730 OLD OAK WALK

1470600099
FRYE KATHLEEN ANN EKA
2745 OLD FOREST DR

1490600006
WHITAKER GLENN SCOTT
2742 OLD FOREST DR

1470600013
WOYCHICK JOHN M
2864 CAPN SAMS RD

1470600071
ANDREAS & COMPANY INC
2727 OLD OAK WALK

1470600053
SALTWATER CONSTRUCTION LLC
2734 OLD OAK WALK

1470600101
SEABOURNE ASSOCIATES LLC
2753 OLD FOREST DR

CAPN SAMS RD

1470600012
BOSSIAU DRICH L
2868 CAPN SAMS RD

1470600073
SPARKS DENNIS
2735 OLD OAK WALK

1470600051
SCHUCK RICHARD J
2742 OLD OAK WALK

1470600103
TRENT RICHARD W
2108 LOBLOLLY LN

1470600022
KUHNLEIN DOUGLAS
2841 CAPN SAMS RD

1470600011
WORST ROBERT P SR TRUST
2872 CAPN SAMS RD

1470600074
SCHARMBERG HORRAINE C
2739 OLD OAK WALK

1470600050
NOLDEN MELINDA G
2746 OLD OAK WALK

1470600104
WILLIAMS AND KEANE LIVING TRUST
2112 LOBLOLLY LN

1470600022
KUHNLEIN DOUGLAS
2841 CAPN SAMS RD

1470600011
WORST ROBERT P SR TRUST
2872 CAPN SAMS RD

1470600049
BECKER SHARON J
2750 OLD OAK WALK

1470600104
WILLIAMS AND KEANE LIVING TRUST
2112 LOBLOLLY LN

1470600075
WLODARSKI KAREN
2749 OLD OAK WALK

1470600049
BECKER SHARON J
2750 OLD OAK WALK



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
Seabrook Island, SC 29455
(843) 768-9121

Rezoning Application

USE THIS FORM FOR: Requests to rezone property within the Town limits of Seabrook Island (Also known as a "Map Amendment")

1. PROPERTY INFORMATION			
Property Address(es)	2723 Old Oak Walk		
Tax Map Number(s)	1470600070	Block #	43
		Lot #	06
Current Zoning	R-SF2	Proposed Zoning	Conservation (CP)
Current Use(s)	vacant lot	Proposed Use(s)	vacant lot
Is this property subject to private restrictions or covenants? (eg. SIPOA and/or Regime)			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this property subject to an OCRM critical line? (eg. Marshfront or Beachfront Lots)			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Total Lot Area (Acres or Ft ²)	12,834.06	High Ground (Acres or Ft ²)	8,814.52

2. APPLICANT INFORMATION	
Please provide information regarding the individual(s) who is (are) submitting the Rezoning Application.	
Applicant Name(s)	SIPOA
Applicant Address	1202 Landfall Way
Applicant Phone Number	843.768.0061
Applicant Email Address	hpaton@sipoa.org
If the Applicant(s) is (are) not the Property Owner(s), what is the Applicant(s)'s relationship to the Property Owner(s)?	



3. PROPERTY OWNER INFORMATION	
Please provide information for all Property Owner(s). The Property Owner name(s) must match those listed on the deed.	
Property Ownership Type	<input type="checkbox"/> Individual(s) <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Eleemosynary <input type="checkbox"/> HOA/Regime <input type="checkbox"/> Partnership <input type="checkbox"/> Trust <input type="checkbox"/> Other
Property Owner Name(s)	SIPOA
Property Owner Address	1202 Landfall Way
Property Owner Phone Number	843.768.0061
Property Owner Email Address	hpaton@sipoa.org

4. OVERVIEW OF REQUEST
Please provide a brief overview of the rezoning request.
Parcel donated to SIPOA by SIGSC on November 13, 2023. Change zoning from R-SF2 to CP-Conservation.

5. CERTIFICATION	
Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge. This form must be signed in the presence of the Zoning Administrator OR signatures must be notarized. (See Section 6)	
Applicant Signature	<i>hpaton</i> Date <i>11/16/23</i>
Owner Signature(s)	Date
<i>(If different from Applicant)</i>	Date

OFFICE USE ONLY					
Date Received		Case #		Ordinance #	
				Adopted	

6. ACKNOWLEDGEMENT

Zoning Administrator Signature	Date
- OR -	
Notary Certification (If not signed in the presence of the Zoning Administrator)	Notary's Official Seal
State of <u>South Carolina</u> ; County of <u>Charleston</u> One this <u>16</u> day of <u>November</u> 20 <u>23</u> , before me personally appeared the above signers who provided satisfactory evidence of his/her/their identification to be the person whose name(s) is (are) subscribed to this instrument and he/she/they acknowledged that he/she/they have executed the foregoing instrument by his/her/their signature(s) above. Sworn to (or affirmed) and subscribed before me this <u>16</u> day of <u>November</u> 20 <u>23</u> .  _____ Official Signature of Notary My commission expires: <u>01/13/2027</u>	

7. APPLICATION MATERIALS

Rezoning Applications must be accompanied by the following supplemental materials, as applicable. An application is not considered "complete" until all required documentation has been received by the Zoning Administrator.

Required for ALL applications:

- Completed and signed Rezoning Application Form (Paper Required; PDF Optional)**
 - Please submit one completed paper application.
 - The application form must be signed by ALL property owners. Properties which are owned by an association, corporation, partnership, trust or similar entity may be signed by an individual with the authority to sign on behalf of the entity. All signatures must be original.
 - The form must be signed in the presence of the Zoning Administrator or signatures must be notarized.
- Application Fee (See Schedule in Section 7)**
 - Application fees may be paid by cash, check, or money order (payable to "Town of Seabrook Island"). Credit card payments will be accepted if paid in-person at Seabrook Island Town Hall.
- A narrative that explains the reason(s) for the rezoning request, the existing zoning designation of the property, the current or most recent use, the proposed zoning designation of the property, the intended use of the property upon rezoning, and how the request meets the criteria outlined in DSO Section 19.3.B (Paper or PDF Required)**
- Property survey (Paper or PDF Required)**
- A map or description detailing the existing zoning designation and land uses of all adjacent properties. (Paper or PDF Required)**
- Deed of record (Paper or PDF Required)**
- Traffic impact analysis (if deemed applicable by the Zoning Administrator). (Paper or PDF Required)**
- Any other information deemed relevant by the Zoning Administrator. (Paper or PDF Required)**

8. FEE SCHEDULE

Zoning Designation for Annexed Property	Fee Amount
Conservation (CP)	No Charge
All Zoning Designations Except CP and MU	\$250.00
Mixed Use (MU)	\$1,250.00 + \$10.00 Per Acre

Narrative regarding zone change request and Planning Commission considerations per DSO

This property is an undeveloped single family residential parcel that was purchased by the Seabrook Island Greenspace Conservancy in 2023. The SIPOA Board of Directors on 11/13/23 agreed to accept the parcel which will be quit-claimed to SIPOA with conservation deed restrictions. The future use of the property is as undeveloped property perpetually preserved as Greenspace. This request is to change the zoning designation to conservation.

1. **Whether the proposed rezoning is consistent with the goals, policies, and future land use recommendations of the TOWN's COMPREHENSIVE PLAN;** The request to preserve a parcel as conserved space is consistent with the plan.
2. **Whether the intended use of the property is consistent with the intent and purpose of the district to which the property is proposed to be rezoned;** There are other conserved parcels in the nearby area. (illustration attached).
3. **Whether there are, have been, or are anticipated to be (pursuant to the COMPREHENSIVE PLAN) changing conditions in the surrounding area that would make approval of the proposed rezoning appropriate;** There are no anticipated changes in area conditions.
4. **Whether the range and intensity of uses allowed in the proposed zoning district will be compatible with permitted uses and intensities in the surrounding area;** The proposed use is compatible with the surrounding area. The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.
5. **Whether adequate utilities, transportation, drainage, and other public or private infrastructure exist, or can reasonably be made available, to serve the range and intensity of uses allowed in the proposed zoning district;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.
6. **Whether the range and intensity of uses allowed in the proposed zoning district will exceed the structural capacity of existing soils, and whether the allowable uses can be accommodated within the proposed zoning district without the excessive use of fill;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.
7. **Whether the range and intensity of uses allowed in the proposed zoning district will substantially increase the volume of stormwater runoff, overburden existing storm drainage infrastructure, or adversely impact surface water quality, when compared to the range and intensity of uses allowed in the current zoning district;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.
8. **Whether the range and intensity of uses allowed in the proposed zoning district will substantially increase the volume of vehicular and pedestrian traffic, or will adversely impact vehicular and pedestrian safety, when compared to the range and intensity of uses allowed in the current zoning district;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.
9. **Whether the current zoning district prohibits or unreasonably restricts all economically beneficial use of the property, provided the hardship was not self-imposed by action of the property owner,**

NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace.

10. **Whether the proposed rezoning will encourage commercial uses in areas designated for such activities in the COMPREHENSIVE PLAN;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace. There is no commercial use anticipated.
11. **Whether the proposed rezoning will encourage the preservation of conservation lands, CRITICAL AREAs, natural resource areas, and OPEN SPACeS in areas designated for such activities in the COMPREHENSIVE PLAN;** Yes. The property is being rezoned to conservation and the property will be perpetually preserved as green/open space.
12. **Whether the proposed zoning district will adversely impact the enjoyment of natural and scenic features by neighboring property owners or the public at large by allowing DEVELOPMENT of a certain size, scale, bulk, height, or type that is substantially out of character with the surrounding area;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace. No development will be permitted.
13. **Whether the proposed rezoning will threaten the continued presence or integrity of archaeological or historic sites or features;** The property is being rezoned to conservation and the property will be perpetually preserved as greenspace. The site will remain undisturbed.
14. **Whether the range and intensity of uses allowed in the proposed zoning district will adversely impact air and water quality, natural features, sensitive lands, vegetation, or wildlife habitat, when compared to the range and intensity of uses allowed in the current zoning district;** The property is being rezoned to conservation and the property will be perpetually preserved as greenspace and has no adverse impact on air and water quality, natural features, vegetation or wildlife habitat.
15. **Whether the range and intensity of uses allowed in the proposed zoning district will place a disproportionate burden upon, or otherwise exceed the capacity of, existing community facilities, when compared to the range of uses allowed in the current zoning district;** NA The property is being rezoned to conservation and the property will be perpetually preserved as greenspace creating no burden on facilities.
16. **Whether future DEVELOPMENT on the property, if rezoned, will be accessible to essential public services, including, but not limited to, police, fire, emergency medical services; and sanitation;** The property is being rezoned to conservation and the property will be perpetually preserved as greenspace. Public services are not required.
17. Such other factors as may be deemed appropriate by the PLANNING COMMISSION or TOWN

Assessor's Map is attached.

All adjacent parcels are single family residential.



Charleston County SC

#

- New Parcel*
- Greenspace parcels*



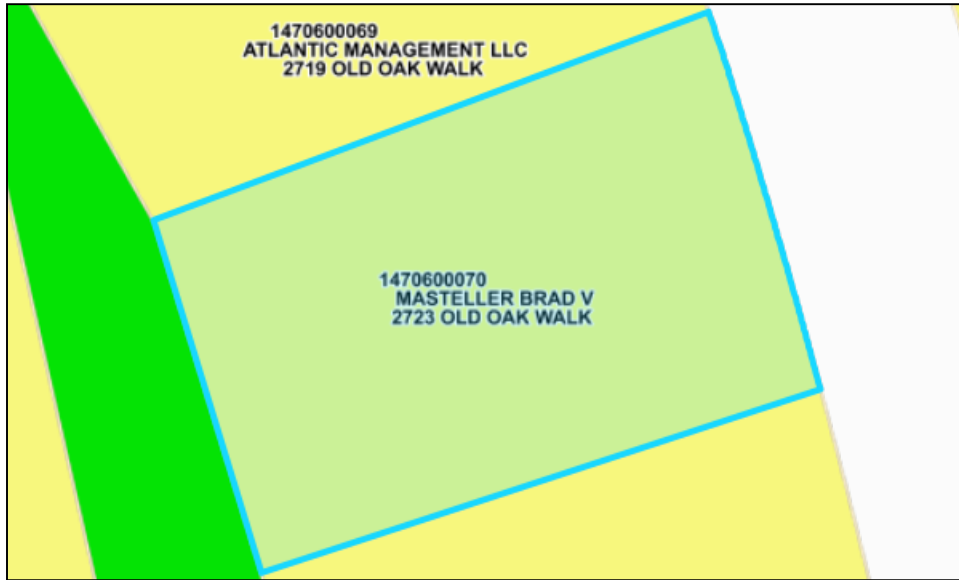
Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

Author: Charleston County SC
Date: 11/16/2023

Town of Seabrook Island

Property Zoning Report

27 Nov 2023



Parcels

Parcel ID: 1470600070
Owner: MASTELLER BRAD V MASTELLER MARJORIE B
Owner Street Address: 42 HEATHROW AVE
Owner City State ZIP Code: BLUFFTON, SC 29910
Parcel Street Address: 2723 OLD OAK WALK

Zoning

Count	Zoning Code and Description	Overlapping Quantities
1.	1 R-SF2 - Residential - Single-Family (Medium Lot)	10,222.94sf (0.23acres)

EXHIBIT A

ALL that certain lot, piece or parcel of land, situate, lying and being on Seabrook Island, Charleston County, South Carolina, and known and designated as Lot 6, Block 43, on a plat by E.M. Seabrook, Jr., C.E. and L.S. dated May 23, 1978 and recorded in the RMC Office for Charleston County in Plat Book S at page 103, and as more recently shown on a newer plat dated August 23, 1978 and recorded in the RMC Office for Charleston County in Plat Book AM at page 11.

SAID lot having such size, shape, dimensions, buttings and boundings, more or less, as are shown on said plat, which is specifically incorporated herein by reference.

SUBJECT ALSO THE FOLLOWING:

1. Covenants, conditions, restrictions, reservations, easements, liens for assessments, options, powers of attorney and limitations on title recorded in Book J100, page 107; and as amended in Book S109, page 002; and as further amended in Book B110, page 331; and as further amended in Book H127, page 163; and as further amended in Book B141, page 267; and as further amended in Book J144, page 59; and as further amended in Book L186, page 718; and as further amended in Book K215, page 001; and as further amended from time to time.
2. Covenants, conditions, restrictions, reservations, easements, liens for assessments, options, powers of attorney and limitations on title recorded in Book N100, page 296; and as amended in Book Y110, page 143; and as further amended in Book J144, page 67; and as further amended in Book J164, page 487; and as further amended in Book L186, page 697; and as further amended in Book K215, page 23; and as further amended in Book S513, page 341; and as further amended in Book C517, page 808; and as further amended in Book V639, page 522; and as further amended in Book V639, page 557; and as further amended from time to time.
3. Easement granted to Berkeley Electric by instrument recorded in Book M99, page 85.
4. Easement granted for Drainage by instrument recorded in Book K101, page 83.
5. Assessments and maintenance charges as may become due and payable.
6. Taxes for the year 2024 and subsequent years, a lien not yet due and payable.

Said property is subject to all applicable covenants, conditions, restrictions, limitations, obligations and easements of record affecting subject property.

AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

- 1. I have read the information on this Affidavit and I understand such information.
- 2. The property located at 2723 Old Oak Walk, Seabrook Island, SC 29455 bearing Charleston County Tax Map Number 147-06-00-070, was transferred by **Brad V. Masteller and Marjorie B. Masteller to Seabrook Island Green Space Conservancy Inc.** on October 31, 2023.
- 3. Check one of the following: The deed is
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) ___ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
 - (c) ___ exempt from the deed recording fee because (See Information section of affidavit): _____ (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes _____ or No _____

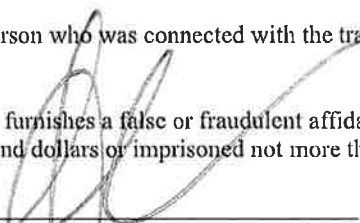
- 4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See information section of this affidavit.):
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$170,585.00
 - (b) ___ The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) ___ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____

5. Check YES ___ or NO X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____.

- 6. The deed recording fee is computed as follows:
 - (a) Place the amount listed in item 4 above here: 170,585.00
 - (b) Place the amount listed in item 5 above here: \$0
(If no amount is listed, place zero here.)
 - (c) Subtract line 6(b) from Line 6(a) and place result here: 170,585.00

7. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as : Legal Representative

8. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.



 Legal Representative
 BUIST-BYARS & TAYLOR, LLC

Sworn to before me this 31st day of October, 2023.

Notary Public for _____
 My Commission Expires: _____

