

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting
August 26, 2020 – 2:30 PM

Virtual Meeting (Zoom)
[Watch Live Stream \(YouTube\)](#)



AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Board of Zoning Appeals Meeting: August 4, 2020 *[Pages 3–4]*

PUBLIC HEARING ITEMS

Individuals who wish to submit a public comment on the variance requests may do so in writing by 12:00 pm on Tuesday, August 25, 2020, using one of the following options:

- **ONLINE:** www.townofseabrookisland.org
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

1. **Variance # 166** *[Pages 5–57]*

APPLICANT: Robert and Katherine Newman (Owners)
ADDRESS: 2750 Gnarled Pine
TAX MAP NUMBER: 147-08-00-082
ZONING DISTRICT: SR Single-Family Residential
PURPOSE: To allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback

2. **Variance # 167** *[Pages 58–180]*

APPLICANT: Eric and Elizabeth Bryan (Owners)
Malcolm Brennan (Applicant)
ADDRESS: 2913 Deer Point Drive
TAX MAP NUMBER: 149-14-00-029
ZONING DISTRICT: SR Single-Family Residential
PURPOSE: To allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line (marsh)

3. Variance # 168

[Pages 181–251]

APPLICANT: Leanne and William Spaide (Owners)
Outdoor Spatial Design LLC (Applicant)
ADDRESS: 3557 Seaview Drive
TAX MAP NUMBER: 147-11-00-049
ZONING DISTRICT: SR Single-Family Residential
PURPOSE: To allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps and decking to encroach approximately 7 feet into the required 15-foot rear yard setback

ITEMS FOR INFORMATION / DISCUSSION

There are no Items for Information / Discussion

ADJOURN

TOWN OF SEABROOK ISLAND

Board of Zoning Appeals Meeting

August 4, 2020 – 2:30 PM



Virtual Meeting Hosted via Zoom

[Live Streamed on YouTube](#)

MINUTES

Present: Walter Sewell (Chair), Ava Kleinman, Bob Leggett, John Fox, Joe Cronin (Zoning Administrator)

Absent: Janet Gorski

Guests: Katrina Burrell (SIPOA), Holly Bryan (2913 Deer Point Drive), Malcolm Brennan (M Brennan Architects Inc.), William Spaide (3557 Seaview Drive), Leanne Spaide (3557 Seaview Drive), Garris Killingsworth (Outdoor Spatial Design, LLC), Evan Brandon (Outdoor Spatial Design, LLC)

Chairman Sewell called the meeting of the Board of Zoning Appeals to order at 2:30 PM. Zoning Administrator Cronin confirmed that the requirements of the Freedom of Information Act were fulfilled, and the meeting was properly posted.

APPROVAL OF MINUTES

1. **Board of Zoning Appeals Meeting: June 5, 2020:** Mr. Leggett made a motion to approve the minutes from the June 5, 2020, meeting as submitted. Ms. Kleinman seconded the motion. The motion was **APPROVED** by a vote of 4-0.

PENDING VARIANCE REQUESTS

Zoning Administrator Cronin distributed copies of the following variance applications to members of the Board prior to the meeting:

- **Variance #166:** 2750 Gnarled Pine (Request to allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback)
- **Variance #167:** 2913 Deer Point Drive (Request to allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line)
- **Variance #168:** 3557 Seaview Drive (Request to allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps to encroach approximately 7 feet into the required 15-foot rear yard setback)

Chairman Sewell noted that the Board would not be conducting a group site visit to these three properties as a result of the ongoing pandemic. He encouraged Board members to reach out to each property owner to schedule a time for an individual site visit.

ITEMS FOR INFORMATION / DISCUSSION

There were no Items for Information / Discussion

There being no further business, Mr. Fox made a motion to adjourn the meeting. Ms. Kleinman seconded the motion. The motion to adjourn the meeting was **APPROVED** by a vote of 4-0 and the meeting was adjourned at 2:36 PM.

Zoning Administrator Cronin noted for the record that the public hearing for each of these variances would be held “virtually” due to the ongoing COVID-19 pandemic. He stated that all public comments should be provided in writing in advance of the meeting via one of the following options:

- **ONLINE:** www.townofseabrookisland.org
- **EMAIL:** jcronin@townofseabrookisland.org
- **MAIL:** Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

All comments received will be read into the public record during the hearing on August 26th.

Minutes Approved:



Joseph M. Cronin
Zoning Administrator



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 166 – 2750 Gnarled Pine
MEETING DATE: August 26, 2020

Variance Application #166

Applicants:	Robert and Katherine Newman (Owners)
Location:	2750 Gnarled Pine
Tax Map Number:	147-08-00-082
Zoning District:	SR Single-Family Residential
Purpose:	To allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback

Overview

The Town has received a variance application from Robert and Katherine Newman, the owners of Charleston County Tax Map # 147-08-00-082 (collectively, the “Applicants”). The Applicants are requesting a reduction in the 15-foot rear yard setback requirement for open decks to allow for construction of a wooden deck and steps at the rear of their existing single-family residence. The property is located at 2750 Gnarled Pine (Block 9, Lot 12).

According to Charleston County tax records, the existing home was completed in 1979. Because the town was not incorporated until 1987, the property would have been developed under Charleston County’s zoning requirements. Mr. and Mrs. Newman purchased the property in September of 2019.

The DSO requires a minimum rear yard setback of 15 feet for open decks when abutting open space, such as a golf course. At its closest point, the proposed deck will be located approximately 4 feet from the rear property line.

Code Reference:

- a. **§ 7.60.60. Open Space Lots—Rear Setback.** On lake, lagoon, or golf course lots the minimum rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen (15) feet from the rear lot line.

The property is currently zoned SR Single-Family Residential, and a single-family residence is a permitted use by-right.

The existing home complies with the 30-foot front yard setback and 15-foot side yard setback on both sides. A pre-existing deck was located 11.8’ from the rear property line, an encroachment of 3.2-feet into the required 15-foot setback requirement for open decks. Given that the home was built prior to the town’s incorporation, all existing non-conformities would be considered “grandfathered.”

In order to allow for construction of the proposed deck, the Applicants are requesting the following variance from the requirements of the DSO:

TYPE	REQUIRED PER DSO	VARIANCE (REQUESTED)
Rear Yard Setback (Open Decks)	15 feet (§ 7.60.60)	Reduce the rear yard setback from 15 feet to approximately 4 feet (11-foot encroachment)

In their application, the Applicants are requesting relief from the rear yard setback requirement for the following reasons:

- a) The existing home was constructed prior to the town’s incorporation, and was built under different (Charleston County) zoning requirements in place at the time;
- b) The conditions do not apply to other properties in the vicinity due to neighboring homes being constructed at a later date and, therefore, in compliance with the town’s current setback requirements;

Note Regarding Closest Properties to the Right and Left of 2750 Gnarled Pine
Right Side: 2740 Gnarled Pine was built in 1986 (pre-incorporation)
2730 Gnarled Pine was built in 1994 (after incorporation)
Left Side: 2708 Seabrook Island Road was built in 1998 (after incorporation)
2712 Seabrook Island Road was built in 1997 (after incorporation).

- c) Strict application of the rear yard setback requirement would prohibit the Applicants from improving the property and enjoying their backyard; and
- d) The adjacent property to the rear of the Applicants’ property is owned by the Seabrook Island Club, which has submitted a letter in support of the Applicants’ variance request, and the deck will still be more than 25 feet away from the currently maintained area of the golf course.

Staff Comments

As a matter of practice, the town’s Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on August 26, 2020. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town's DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on August 26, 2022 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin

Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 10-14
2	Survey (Existing Conditions)	p. 15-16
3	Site Plan & Building Drawings	p. 17-19
4	Subdivision Plat (1974)	p. 20-21
5	Property Photos	p. 22-29
6	Zoning Map	p. 30-31
7	Aerial Images	p. 32-33
8	FEMA Base Flood Elevations (Current & Preliminary)	p. 34-35
9	Title to Real Estate	p. 36-40
10	Property Information Card	p. 41-45
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 46-47
12	Public Hearing Notice – List of Neighboring Property Owners	p. 48-49
13	Public Hearing Notice – U.S.P.S. Certified Mail Receipts	p. 50-51
14	Public Hearing Notice – Post and Courier Legal Ad	p. 52-53
15	Public Hearing Notice – Property Posting	p. 54-55

Other Information		
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Written Correspondence Regarding the Proposed Variance Request		
16	Letter from Sean Hardwick, Seabrook Island Club (July 13, 2020)	p. 56-57



ATTACHMENT #1

Variance Application

**TOWN OF SEABROOK ISLAND**

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island's Development Standards Ordinance (hereafter, the "DSO") must submit a written application, along with a \$150.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	2750 Coastal Pine		
Tax Map Number	147-08-00-082	Block	9
Lot Size (Square Feet)	4014	Lot	11
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes	<input checked="" type="checkbox"/> No
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)		Yes	<input type="checkbox"/> No

2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	Robert Newman
Applicant Address	160 Cabell Way Charlotte NC 28211
Applicant Phone Number	704-806-2960
Applicant Email Address	rsnewman@bellsouth.net
If the Applicant is NOT an owner of the property, what is the relationship to the Property Owner(s)?	

3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)							
Owner Mailing Address	SAME AS ABOVE						
Owner Phone Number							
Owner Email Address							
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.							
Owner Signature(s)	<table border="1"> <tr> <td></td> <td>Date</td> <td>6-14-20</td> </tr> <tr> <td></td> <td>Date</td> <td>6-14-20</td> </tr> </table>		Date	6-14-20		Date	6-14-20
	Date	6-14-20					
	Date	6-14-20					

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.

Applicant Signature(s)	<table border="1"> <tr> <td></td> <td>Date</td> <td>6-14-20</td> </tr> <tr> <td></td> <td>Date</td> <td>6-14-20</td> </tr> </table>		Date	6-14-20		Date	6-14-20
	Date	6-14-20					
	Date	6-14-20					

OFFICE USE ONLY

Date Filed:	Variance Application #:	Hearing Date:
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5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

Add additional square footage to the existing footprint of back decking. Current decking will all be replaced and brought to code (was built decades ago and mostly rotten and built on sand). Walk way down side of house. Deck does not impede on golf course, please see letter from Sean Hardwick to this affect.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s): Section 7.60.60

2) DSO Requirement(s): Open Space Lots—Rear Setback. On golf course lots the min.rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen feet from rear lot line.

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

See attached

2) These conditions do not generally apply to other property in the vicinity as shown by:

See Attached

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

See Attached

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

See Attached

Town of Seabrook Island, Application for Variance

Addendum to Part C, Questions identified as 1, 2, 3, and 4.

1. This piece of property, The Newman Residence at 2750 Gnarled Pine, is exceptional due to the fact that it was built in 1982 and prior to the incorporation of Seabrook Island and the Town of Seabrook. The home was built completely under different zoning standards.
2. This situation does not apply to my neighboring properties, because those homes were built after the incorporation of the Town of Seabrook and were built with existing setbacks and parameters in place. This created an opportunity for my neighbors to build away from the setbacks and I was not able to take advantage.
3. Due to the existing setbacks and zoning I am not able to enjoy the back yard at all. My current deck is rotten, provides standing water for bugs and unsanitary conditions around the water areas (as evidenced by the need for new drainage at the back of my lot by the Club/golf course). My neighbors also get to look at an area that is uninhabitable and therefore poorly maintained by the previous owner; however, without the variance, modernization and clean up of the area is strained at best.
4. There will not be any detriment to the adjacent properties or the public good or the character of Seabrook Island. I would furthermore offer that a variance in the case of this property is the only real way to continue to honor the character of the property and not to deter other from owning adjacent properties. In addition to this, the golf course will have a cleaner neighbor with more appropriate construction around the golf course and not an eye sore. Had the home been built post 1987, then it would of course been built closer to the center and forward part of the lot. Also, the impact on the property is at the rear of the property and does not impair the golf course or the enjoyment to the golfers. This would still be 25+ feet away from the currently maintained area of the golf course.

B. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered "complete" until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$150.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

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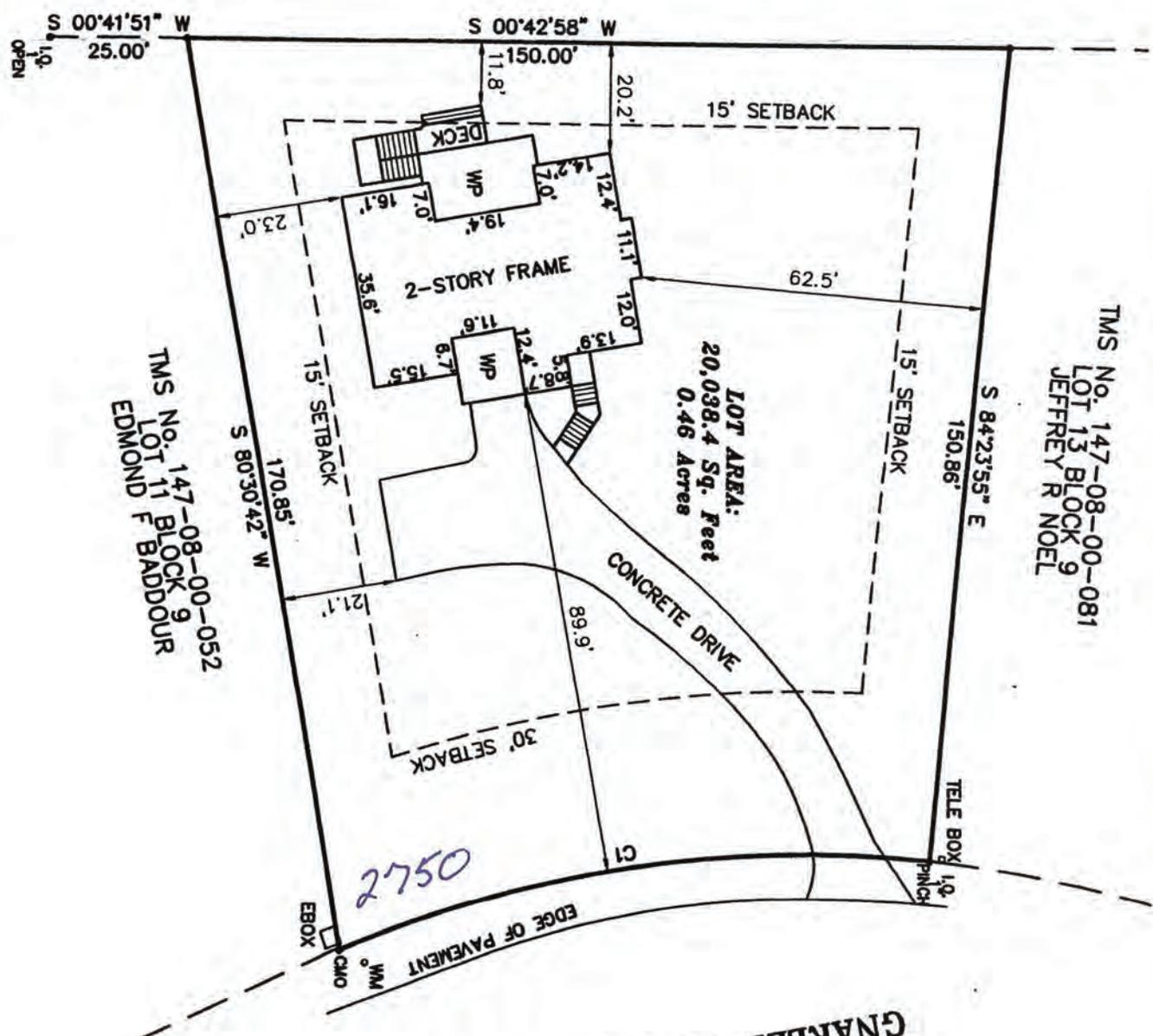
ATTACHMENT #2

Survey (Existing Conditions)

15

EXISTING

TMS No. 147-00-00-027
 OCEAN WINDS GOLF COURSE/CROOKED OAKS GOLF COURSE
 THE CLUB AT SEABROOK ISLAND



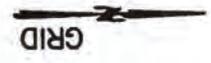
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	220.00'	109.49'	108.36'	S 08°45'24" E	28°30'53"

IN OLD (FOUND)
 CONCRETE MONUMENT OLD
 ELECTRIC BOX
 WATER METER
 CONCRETE MONUMENT OLD
 CONCRETE MONUMENT OLD
 CONCRETE MONUMENT OLD

TMS No. 147-08-00-081
 LOT 13 BLOCK 9
 JEFFREY R NOEL

TMS No. 147-08-00-052
 LOT 11 BLOCK 9
 EDMOND F BADDOUR

GNARLED PINE (50' R/W)





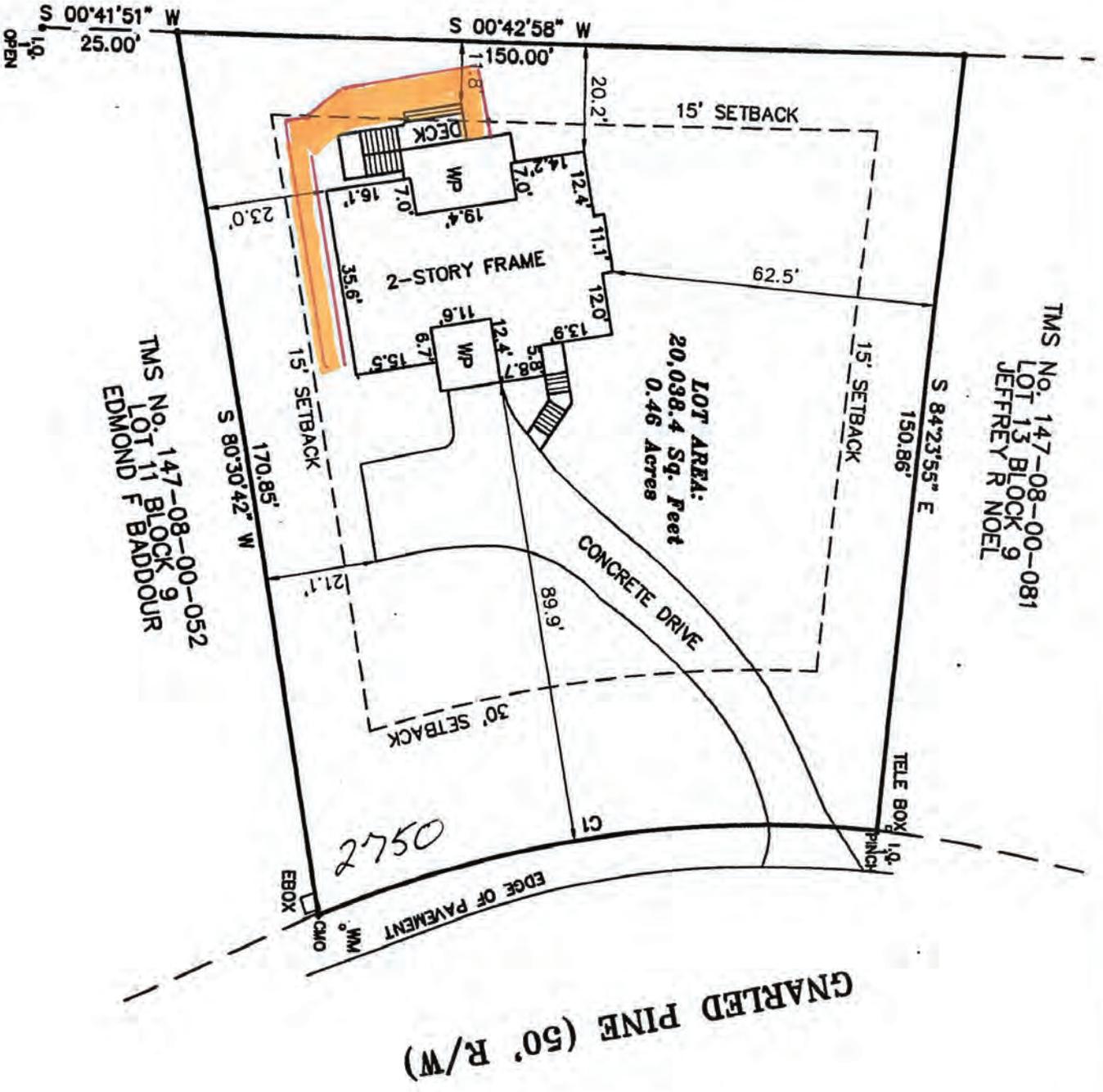
ATTACHMENT #3

Site Plan & Building Drawings

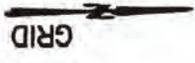
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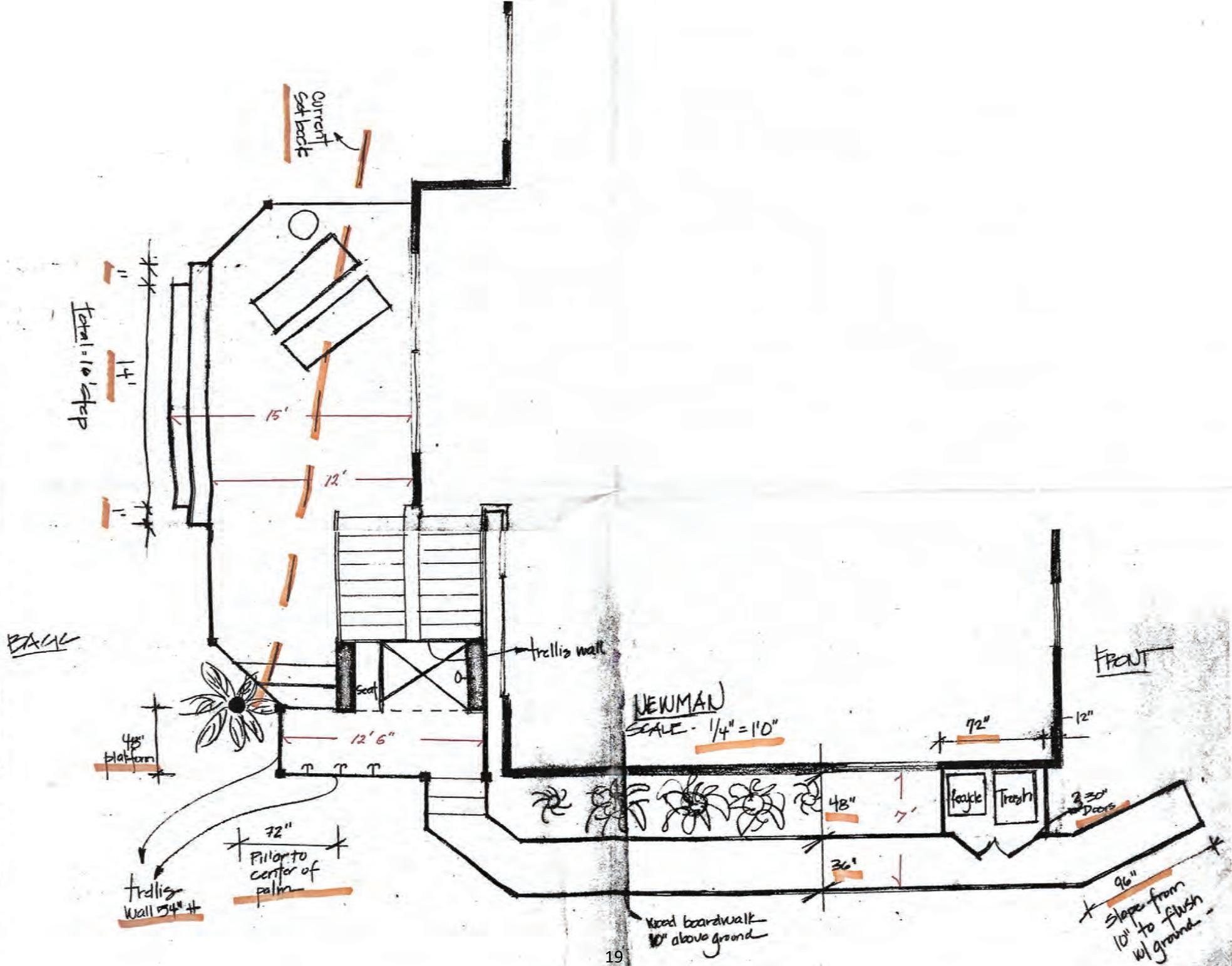
TMS No. 147-00-00-027
 OCEAN WINDS GOLF COURSE/CROOKED OAKS GOLF COURSE
 THE CLUB AT SEABROOK ISLAND

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	220.00'	109.49'	108.36'	S 08°45'24" E	28°30'53"



1 OLD (FOUND)
 TRIC BOX
 ER METER
 D PORCH
 CRETE MONUMENT OLD





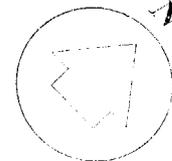


ATTACHMENT #4

Subdivision Plat (1974)

X105-194

CURVE	Δ	CURVE DATA	T	L	R
A-A	84°23'33"	33.7031'	157.12'	230.00'	172.50'
B-B	84°23'33"	26.044'	158.40'	324.00'	230.00'
C-C	66°09'13"	45.837'	81.41'	144.3'	162.00'
D-D	66°09'13"	32.742'	113.9'	222.00'	172.00'
E-E	102°40'35"	24.567'	102.68'	162.76'	152.00'
F-F	86°26'58"	36.965'	151.88'	240.00'	152.00'
G-G	31°04'10"	15.428'	113.14'	230.46'	142.00'
H-H	31°04'10"	10.065'	132.00'	257.14'	174.00'



- NOTES
1. ALL LOT CORNERS MARKED WITH "X"
 2. ALL CURVE MEASUREMENTS ARE ARC LENGTHS
 3. ALL CURVES HAVE AN R/W
 4. ALL CORNERS MARKED "C.M." INDICATE CONC. MEASUREMENTS
 5. OWNED BY SEABROOK ISLAND COMPANY
 6. ELEVATION 5 FT. 6 IN.
 7. ALL LOTS SHOWN ON THIS PLAT ARE ABOVE ELEVATION 5.0 MEAN SEA LEVEL.

- SPECIAL NOTES
1. THIS PLAT SUBMITTED FOR REC - SELLING UNDER IRREVOCABLE LETTER OF CREDIT PROVISION
 2. APPROVAL OF THIS PLAT DOES NOT PERMIT OR AUTHORIZE OCCUPANCY
 3. DURATION OF APPROVAL SHALL BE FOR ONE YEAR
 4. THE APPROVAL OF THIS PLAT IN NO WAY OBLIGATES THE COUNTY OF CHARLESTON TO ACCEPT FOR CONTINUED MAINTENANCE ANY OF THE ROADS OR EASEMENTS SHOWN HEREON

NOTE: ALL STREETS AND EASEMENTS SHOWN ON THIS PLAT ARE PRIVATE AND ARE TO BE MAINTAINED BY SEABROOK ISLAND COMPANY, ITS SUCCESSORS OR ASSIGNS.

CONDITIONAL APPROVAL
 Pre-selling Permitted
 Under Bonding & Surety Provisions

 Clerk, Charleston County Council

 Director of Planning
 Charleston County Planning Board

APPLICATION # _____ Date _____

11ft
 A16
 24-18-74

Charleston, South Carolina
 Office of Registrar of Deeds
 Plat recorded this 27th day of November 1974 at 1:10 o'clock in the afternoon of said day in Book 21, Page 116 of the Public Records of Charleston, South Carolina, and tracing cloth in the hands of the Registrar of Deeds, delivered to _____
 to _____

 Registrar of Deeds

I, E.M. SEABROOK, JR., a Registered Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown herein, that this plat shows the true dimensions of the property, that, if necessary, markers have been installed and the precision is 1/5000.

E.M. SEABROOK, JR.
 CIVIL ENGINEER & LAND SURVEYOR
 S.C. Reg. No. 1371

SEABROOK ISLAND

CHARLESTON COUNTY, SOUTH CAROLINA

PLAT OF LOTS 12-22 AND 25-32 BLOCK 9, LOTS 2-5 BLOCK 12 AND LOTS 2-8 BLOCK 13.

SCALE 1" = 100' NOVEMBER 27, 1974

E.M. SEABROOK, JR., INC.
 ENGINEERS - SURVEYORS - PLANNERS



ATTACHMENT #5

Property Photos

















ATTACHMENT #6

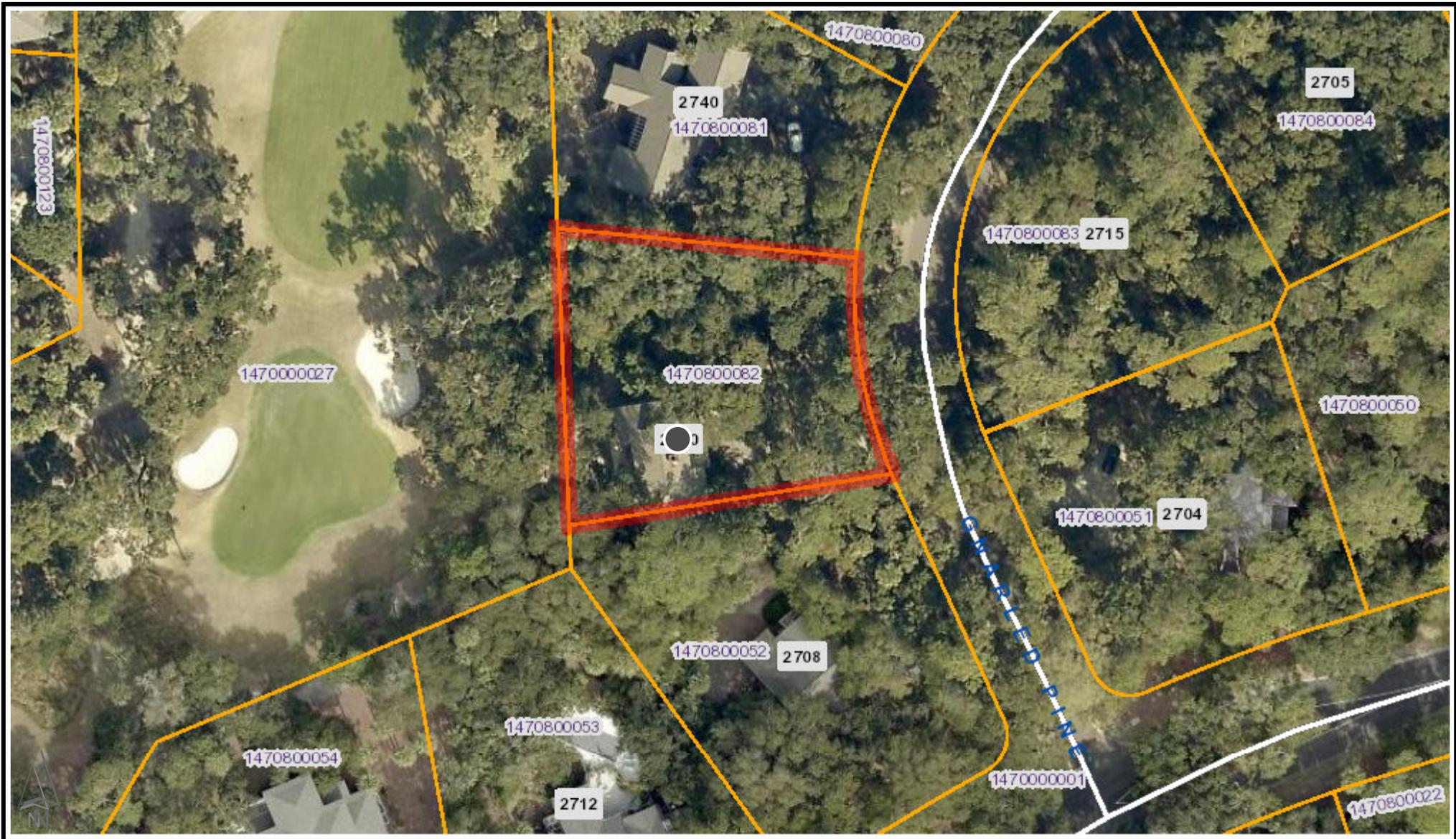
Zoning Map





ATTACHMENT #7

Aerial Image



2750 Gnarled Pine

Parcel ID: 1470800082

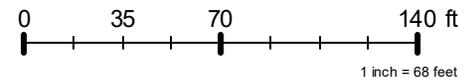
OWNER1: NEWMAN ROBERT S

PLAT BOOK PAGE: AE-48

DEED BOOK PAGE: 0827-148

Jurisdiction: TOWN OF SEABROOK ISLAND

Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.



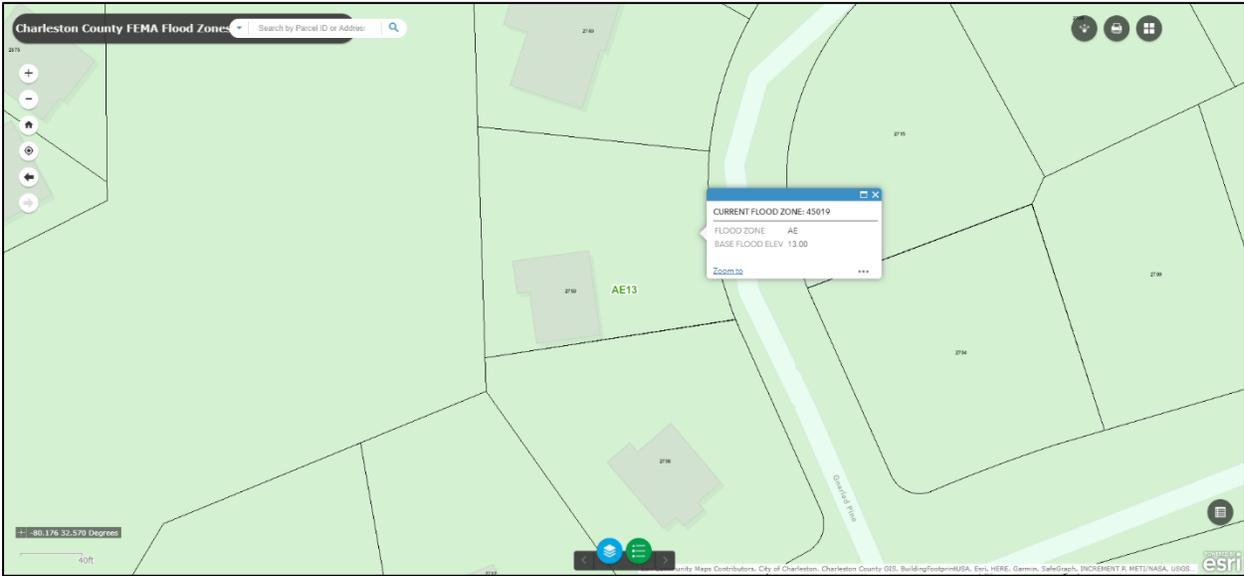
Author: Charleston County SC
Date: 8/21/2020



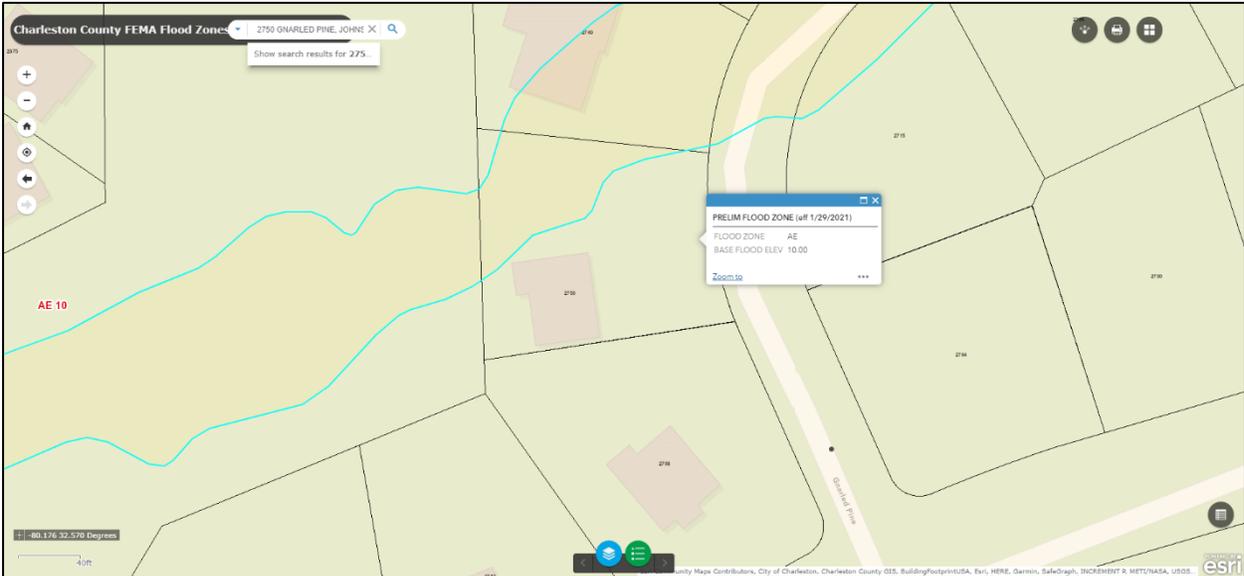
ATTACHMENT #8

FEMA Base Flood Elevations
(Current & Preliminary)

FEMA Base Flood Elevation (Current) AE-13



FEMA Base Flood Elevation (Effective 01/29/2021) AE-10





ATTACHMENT #9

Title to Real Estate

STATE OF SOUTH CAROLINA)
COUNTY OF CHARLESTON)

AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property being transferred is located at 2750 Gnarled Pine, Seabrook Island, SC 29455 bearing Charleston County Tax Map Number 147-08-00-082, was transferred by **The Estate of Joan I. Haugaard** by **Dan Haugaard, Executor/Personal Representative to Robert S. Newman and Katherine H. Newman** on September 27, 2019.
3. Check one of the following: The deed is
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) _____ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
 - (c) _____ exempt from the deed recording fee because (See Information section of affidavit): _____ (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes _____ or No _____

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See information section of this affidavit):
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$445,000.00
 - (b) _____ The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) _____ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____.

5. Check YES _____ or NO X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____.

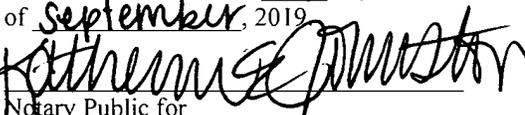
6. The deed recording fee is computed as follows:
 - (a) Place the amount listed in item 4 above here: 445,000.00
 - (b) Place the amount listed in item 5 above here: _____
(If no amount is listed, place zero here.)
 - (c) Subtract line 6(b) from Line 6(a) and place result here: 445,000.00

7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: \$1,646.50

8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as : Legal Representative

9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

Legal Representative
BUYST BYARS & TAYLOR, LLC
Print Name

Sworn to before me this 27 day
of September, 2019

Notary Public for _____
My Commission Expires: _____



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

BUIST BYARS & TAYLOR, LLC
 FRESHFIELDS VILLAGE
 130 GARDNER'S CR PMB 138
 JOHNS ISLAND SC 29455 (BOX)

RECORDED		
Date:	October 3, 2019	
Time:	3:12:12 PM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0827	148	Deed
Michael Miller, Register Charleston County, SC		

MAKER:

HAUGAARD JOAN I EST

Note:

RECIPIENT:

NEWMAN ROBERT S AL

of Pages:

Recording Fee	\$ 15.00
State Fee	\$ 1,157.00
County Fee	\$ 489.50
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 1,661.50

Original Book:

Original Page:

AUDITOR STAMP HERE
 RECEIVED From ROD
 Oct 16, 2019
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 REP RJB
 DATE 10/17/2019
 4

DRAWER
 CLERK



0827
Book



148
Page



10/03/2019
Recorded Date



4
Pgs



Original Book



Original Page



D
Doc Type



15:12:12
Recorded Time



ATTACHMENT #10

Property Information Card



[WELCOME](#) [REAL PROPERTY RECORD SEARCH](#) [REAL PROPERTY BILL SEARCH](#) [PERSONAL PROPERTY SEARCH](#)

[MOTOR VEHICLE SEARCH](#) [CHECKOUT](#) [CONTACT US](#)

\$0.00
CHECK OUT

[← RETURN](#) [⌂ SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

Property Information

Current Owner: NEWMAN ROBERT S NEWMAN KATHERINE H 160 CABELL WAY CHARLOTTE NC 28211	Property ID	1470800082
	Physical Address	2750 GNARLED PINE
	Property Class	101 - RESID-SFR
	Plat Book/Page	/
	Neighborhood	111403 AD03 Chateau by the Greens
	Deed Acres	0.0000

Legal Description

Subdivision Name -SEABROOK ISLAND Description -LT 12 BLK 9
PlatSuffix AE-48 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0827	148	9/27/2019	HAUGAARD JOAN I	NEWMAN ROBERT S	S	Ge	\$445,000
H289	645	8/29/1997	GULBRANDSEN WILLIAM H	HAUGAARD JOAN I		Ge	\$235,000
F215	340	6/19/1992	MOORESIDE CAROLYN K	GULBRANDSEN WILLIAM H		Ge	\$167,000
Y181	039	3/18/1989		MOORESIDE CAROLYN K		Ge	\$0

[← RETURN](#) [⌂ SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

PIN: 1470800082

This data is as-of 04-09-2020



The information on this page is for Tax Year 2019 and reflects the status of the property for that tax year. This includes building information, values and information on exemptions, discounts and special assessments. Any changes for Tax Year 2020 will not be displayed until later in 2020.

Value Info

Legal Residence	LR Pct	AgUse	ATI 25Pct Exemption	Assessed Value
Y	100	N	N	\$12,450
		Land	Improvement	Total
Market Value		\$155,271	\$206,100	\$361,371
Capped Value *		\$155,271	\$206,100	\$361,371
Taxable/Use Value **		\$155,271	\$206,100	\$361,371

Value History

	2018	2017	2016	2015
Market Value	\$361,371	\$361,371	\$361,371	\$361,371
Capped Value *	\$361,371	\$361,371	\$361,371	\$361,371
Taxable/Use Value **	\$361,371	\$361,371	\$361,371	\$361,371
Assessed Value	\$12,450	\$12,450	\$12,450	\$12,450

* **Capped Value:** At County-wide reassessments the increase in the value of a property for tax purposes is limited (capped) at no more than 15%.

** **Taxable/Use Value:** The Capped Value and Taxable/Use Value are usually the same. If the property has been approved for Agricultural Use the values will be different.

Dwelling Info

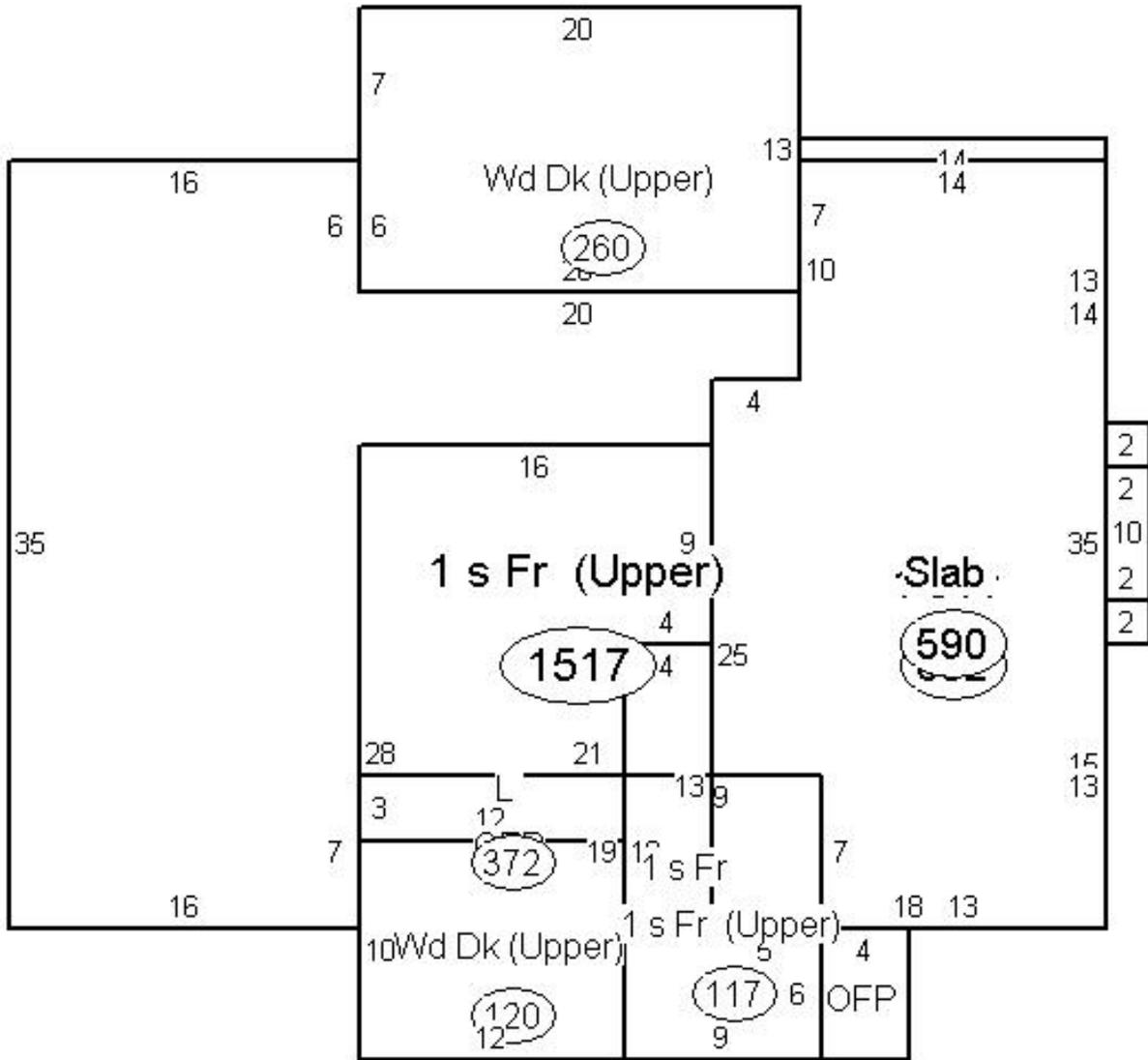
Extension	House Type	Year Built	Total Finished Living Area	Bedroom Count	Full Bath Count	Half Bath Count	Total Stories
R01	21 1.5 Stories	1979	2342	3	3	0	2

Additional Improvements

No data available

Sketches

R01



Municipalities

- [City of Charleston](#)
- [City of Folly Beach](#)
- [City of North Charleston](#)
- [City of Isle of Palms](#)

Additional Resources

- [Arts & Entertainment](#)
- [CARTA Transit System](#)
- [Sex Offenders Search](#)
- [Identity Theft Info](#)
- [Traffic Cam](#)

Social Media



[Town of Awendaw](#)
[Town of Hollywood](#)
[Town of James Island](#)
[Town of Kiawah Island](#)
[Town of Lincolnville](#)
[Town of McClellanville](#)
[Town of Meggett](#)
[Town of Mount Pleasant](#)
[Town of Ravenel](#)
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[Town of Sullivan's Island](#)

[County Library](#)
[County Parks](#)
[Transportation](#)
[Sales Tax](#)
[School District](#)
[Charleston](#)
[Community Guide](#)

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ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 2750 Gnarled Pine (Variance #166)
DATE: July 22, 2020

Dear Property Owner,

The purpose of this letter is to notify you that the owners of **2750 GNARLED PINE** have requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO ALLOW A PROPOSED DECK EXTENSION TO ENCROACH APPROXIMATELY 11 FEET INTO THE REQUIRED 15-FOOT REAR YARD SETBACK**. A copy of the variance application is enclosed for your information.

The Town's Board of Zoning Appeals has scheduled a **VIRTUAL PUBLIC HEARING**, during which time the Board will receive testimony from any individual who wishes to provide a comment regarding the variance request. This notification is being provided to you pursuant to Section § 19.30.20.30 of the DSO.

PUBLIC HEARING DATE: Wed. August 26, 2020
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: Live Stream on Town YouTube Page
<https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>

Individuals who wish to submit a public comment on the variance request may do so in writing by 12:00 pm on Tues. August 25, 2020, using one of the following options:

ONLINE: www.townofseabrookisland.org/variance-166.html
BY E-MAIL: jcronin@townofseabrookisland.org
BY MAIL: Town of Seabrook Island, Attn: Zoning Administrator
2001 Seabrook Island Road, Seabrook Island, SC 29455

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

Joseph M. Cronin
Town Administrator/Zoning Administrator



ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners



ATTACHMENT #13

Public Hearing Notice:
U.S.P.S. Certified Mail Receipts

**U.S. Postal Service™
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WILMETTE, IL 60091

OFFICIAL USE

Certified Mail Fee \$3.55
 Extra Services & Fees (check box, add fee as appropriate):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

0455 04
 Postmark Here
 07/23/2020

Sent To
 Robert & Cheryl Schullt
 117 Ashland Drive
 Wilmette IL 60091

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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SEABROOK ISLAND, SC 29455

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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Sent To
 Jeffrey & Kathryn Abel
 2740 Grand Pine
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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DUNCAN, SC 29334

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 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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Sent To
 Michelle Diaz-Ketti
 166 Timberland Pr
 Duncan SC 29334

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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BELMONT, NC 28012

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 Total Postage and Fees \$6.95

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Sent To
 Christopher & Dorothy Horn
 1538 Worthy Ct
 Belmont, NC 28012

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JOHNS ISLAND, SC 29455

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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Sent To
 Paul & Lori Porwoll Living Trust
 4457 Hope Plantation Drive
 Johns Island, SC 29455

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LOUISVILLE, KY 40223

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 Dana Kingsbury
 1109 Lodge Hill Drive
 Louisville KY 40223

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MARIETTA, GA 30067

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

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Sent To
 Edmund & Lari Baddour
 4734 Maple Brook
 Marietta GA 30067

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Sent To
 Weissman Family Trust
 2712 Seabrook Island Rd
 Seabrook Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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FAIRFIELD, CT 06824

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

0455 04
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 07/23/2020

Sent To
 Scott & Michelle Walker
 1969 Cross Hwy
 Fairfield CT 06824

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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FRAMINGHAM, MA 01701

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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 Postmark Here
 07/23/2020

Sent To
 John & Jeanne Kennedy
 98 Wayside Inn Rd
 Framingham, MA 01701

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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 07/23/2020

Sent To
 The Club at Seabrook Island
 1002 Landfall Way
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55
 Total Postage and Fees \$6.95

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 Postmark Here
 07/23/2020

Sent To
 Seabrook Island Property Owners Assoc
 1002 Landfall Way
 Seabrook Island SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad

TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455
Attn: Faye Allbritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina

County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

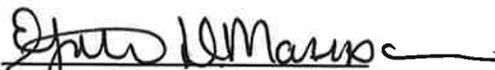
(copy attached)

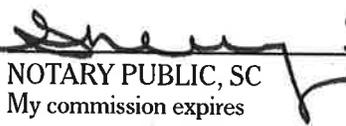
appeared in the issues of said newspaper on the following day(s):

07/27/20 Mon PC
07/27/20 Mon CNW

at a cost of **\$221.00**
Account# **108294**
Order# **1886347**
P.O. Number:

Subscribed and sworn to before
me this 27th day
of July
A.D. 2020


Advertising clerk


NOTARY PUBLIC, SC
My commission expires



TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on Wednesday, August 26, 2020. During the meeting, the board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

Application # 166
APPLICANT: Robert and Katherine Newman (Owners) and Ron Welch (Applicant)
LOCATION: 2750 Gnarled Pine
TAX MAP #: 147-08-00-082
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback

Application # 167
APPLICANT: Eric and Elizabeth Bryan (Owners) and Malcolm Brennan (Applicant)
LOCATION: 2913 Deer Point Drive
TAX MAP #: 149-14-00-029
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line (marsh)

Application # 168
APPLICANT: Leanne and William Spaide (Owners) and Outdoor Spatial Design LLC (Applicant)
LOCATION: 3557 Seaview Drive
TAX MAP #: 147-11-00-049
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps to encroach approximately 7 feet into the required 15-foot rear yard setback
Documents relating to the variance requests may be viewed on the town's website at www.townofseabrookisland.org.

Individuals who wish to submit a public comment on the variance requests may do so in writing by 12:00 pm on Tuesday, August 25, 2020, using one of the following options:

ONLINE: www.townofseabrookisland.org
EMAIL: scronin@townofseabrookisland.org
MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel at the following address: <https://www.youtube.com/channel/UCIkF87KnEApHD1n0K9a5Zp>
For more information, please call (843) 768-9121.

AD# 1886347



ATTACHMENT #15

Public Hearing Notice:
Property Posting

NOTICE #166
Board of Zoning Appeals Public Hearing
August 26, 2020 @ 2:30 pm (Virtual/YouTube)
PUBLIC COMMENTS INVITED
Property owner is seeking variance from Sec. 7-60 of the ZOO
Variance is to allow: A proposed deck extension to
approach approx. 11 feet into the rear 15-foot rear yard setback.
Documents related to this appeal may be viewed at [Town of Scotland](http://townofscotland.org)
or townofscotland.org 2720 Scotland Pike



ATTACHMENT #16

Letter from Sean Hardwick, Seabrook Island Club
(July 13, 2020)

Rob Newman
2750 Gnarled Pine
Seabrook Island, SC 29455

Monday, July 13, 2020

Sean Hardwick
Seabrook Island Club, Golf Superintendent
3772 Seabrook Island Road
Seabrook Island, SC 29455

Dear Sean,

Thanks so much for meeting at my house the other day. I had you there to discuss whether or not there is any impediment to the golf course or the member golfers by my project on the golf course (left of 16th green on Crooked Oaks) and request for a variance. It is important to me, as a member, as well as, the Town of Seabrook, that my variance request is something that the Golf Club and you by proxy are comfortable with. My yard is and as you saw, uniquely close to the property line. That said, it is also a ways from the golf course. As it is unique, my back yard is in need of maintaining; however, it is also uniquely symbiotic with the golf course. Thank you for allowing and agreeing with me that some grass and clean up would give the water something to nourish. I also will take you up on your suggesting that you have your guys clean out some of the brush in the expanse between my hopeful new porch and your waste area for the 16th hole. This request in no way will harm the surrounding neighbors, golf course or Seabrook Island community, and without the variance I cannot truly be in my backyard and enjoy it.

If you will please attest to my thoughts here and allow me to forward this on to the Town of Seabrook and Joe Cronin, I would appreciate it. Please attest at the bottom.

Sincerely,

Robert S. Newman, 2750 Gnarled Pine

Attestation: Sean Hardwick.

A handwritten signature in black ink, appearing to read 'Sean Hardwick', written in a cursive style.

I approve on behalf of the Seabrook Island Club.



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 167 – 2913 Deer Point Drive
MEETING DATE: August 26, 2020

Variance Application #167

Applicants:	Eric and Elizabeth Bryan (Owners) Malcolm Brennan, M. Brennan Architects (Applicant)
Location:	2913 Deer Point Drive
Tax Map Number:	149-14-00-029
Zoning District:	SR Single-Family Residential
Purpose:	To allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line (marsh)

Overview

The Town has received a variance application from Eric and Elizabeth Bryan, the owners of Charleston County Tax Map # 149-14-00-029, as well as their architect, Malcolm Brennan of M. Brennan Architects (collectively, the “Applicants”). The Applicants are requesting a reduction in the marsh setback requirement to allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot marsh setback. The property is located at 2913 Deer Point Drive (Block 49, Lot 15).

According to Charleston County tax records, the existing home was completed in 2003. Mr. and Mrs. Bryan purchased the property in June of 2017.

The DSO requires a minimum marsh setback of 25 feet from the OCRM critical line for any structures, excluding open decks which may be 15 feet from the critical line. The proposed swimming pool will be set within a permeable surface. Both the permeable surface and wooden decking will meet the 15-foot setback requirement for open decks. However, the pool itself, which is classified under the DSO as a “structure,” would encroach approximately 6.5 feet into the required 25-foot setback for all other structures.

Code Reference:

- a. **§ 2.10(nnn). Definitions—Structure.** Anything or part thereof constructed, erected, or established, including but not limited to the following: buildings, signs, sea walls, fences, screen enclosures, and patio walls, *swimming pools* and tennis courts.

- b. **§ 7.60.50. Marsh Setbacks.** The minimum setback for a *structure*, exclusive of open decks, on a lot abutting the marsh shall be twenty-five (25) feet from the South Carolina Ocean and Coastal Resource Management critical area or the lot line, whichever is landward. No part of an *open deck* shall be closer than fifteen (15) feet from the critical area.

The property is currently zoned SR Single-Family Residential, and a single-family residence is a permitted use by-right.

The existing home encroaches into both the 30-foot front yard setback and the 25-foot rear yard setback. When the home was permitted in 2002, the property owners at the time sought (and received) a variance from the Board of Zoning Appeals to allow these encroachments. Therefore, while the home is non-conforming, it is **legally non-conforming**. (See Attachment 16 for documents related to Variance #128, which was approved on April 25, 2002.) It may also be noted that the proposed pool will be located 18'7" from the OCRM critical line, which is further from the marsh than the closest point of the existing dwelling (18'4").

In order to allow for construction of the proposed swimming pool, the Applicants are requesting the following variance from the requirements of the DSO:

TYPE	REQUIRED PER DSO	VARIANCE (REQUESTED)
Marsh Setback (Structures, Excluding Open Decks)	25 feet (§ 7.60.50)	Reduce the marsh setback from 25 feet to approximately 18.5 feet (6.5-foot encroachment)

In their application, the Applicants are requesting relief from the rear yard setback requirement for the following reasons:

- a) The existing home was built by a previous owner and in a manner that would not allow a swimming pool to be added in another location on the lot;
- b) The home's unique shape and narrowness of the lot, the proximity of the marsh, the home's placement on the lot, and the configuration of the existing home creates a specific hardship that is not found on neighboring properties.
- c) Strict application of the ordinance would restrict the homeowners' ability to utilize their property for the recreational and therapeutic purposes that other properties are able to utilize; and
- d) Granting a variance will permit the homeowners to enjoy the same amenities which other property owners enjoy. The portion of the swimming pool encroaching on the 25' setback will be less than 36" above grade, which is as allowed by SIPOA to be 15 feet from the marsh. The swimming pool will be surrounded by permeable decking and will be visually screened from adjacent homes.

The Applicants also noted in their application that the request is “very similar to the Feb. 28, 2019 Variance #159 approved for 2566 Seabrook Island Road.” (See Attachment 17 for documents related to Variance #159, which was approved on **March 22, 2019**.) **Staff would also note that while there are similarities between the two requests, the approval of a variance for one property does not establish a precedent for other properties. The Board must consider the conditions applicable to each individual property when determining whether a variance request meets the four statutory criteria required by state law.**

Staff Comments

As a matter of practice, the town’s Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on August 26, 2020. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town’s DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final building inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on August 26, 2022 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin
Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 64-72
2	Survey (Existing Conditions)	p. 73-74
3	Site Plan & Architectural Drawings	p. 75-91
4	Subdivision Plat (1985)	p. 92-93
5	Property Photos	p. 94-101
6	Zoning Map	p. 102-103
7	Aerial Images	p. 104-105
8	FEMA Base Flood Elevations (Current & Preliminary)	p. 106-107
9	Title to Real Estate	p. 108-113
10	Property Information Card	p. 114-118
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 119-120
12	Public Hearing Notice – List of Neighboring Property Owners	p. 121-122
13	Public Hearing Notice – U.S.P.S. Certified Mail Receipts	p. 123-124
14	Public Hearing Notice – Post and Courier Legal Ad	p. 125-126
15	Public Hearing Notice – Property Posting	p. 127-128

Other Information		
16	Variance #128: 2913 Deer Point Drive (Approved April 25, 2002)	p. 129-141
17	Variance #159: 2566 Seabrook Island Road (Approved March 22, 2019)	p. 142-164

Written Correspondence Regarding the Proposed Variance Request		
18	a) Letter from David & Susan Whitehouse (July 31, 2020)	p. 165-166
	b) Letter from Katrina Burrell, SIPOA (August 4, 2020)	p. 167-168
	c) Letter from Errol Stuart & Jennifer Passantino (August 5, 2020)	p. 169-170
	d) Letter from Steve Berry (August 6, 2020)	p. 171-172
	e) Correspondence with Tad Dickson (August 11, 2020)	p. 173-176
	f) Letter from Pamela & David Parrot (August 15, 2020)	p. 177-178
	g) Letter from Leo Marien (August 17, 2020)	p. 179-180



ATTACHMENT #1

Variance Application



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island's Development Standards Ordinance (hereafter, the "DSO") must submit a written application, along with a \$150.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	2913 Deer Point Drive				
Tax Map Number	149-14-00-029	Block	49	Lot	15
Lot Size (Square Feet)	0.28 Acres = 12,196.8 sf.				
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	No	
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	No	

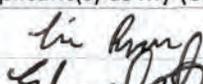
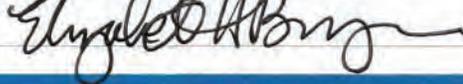
2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	Malcolm Brennan				
Applicant Address	113 Wappoo Creek Drive, Suite 4, Charleston, SC 29412				
Applicant Phone Number	843-406-7813				
Applicant Email Address	m@mbrennanarchitects.com				
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	Architect				

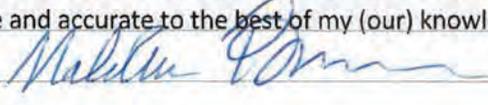
3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)	Eric and Elizabeth Bryan				
Owner Mailing Address	2913 Deer Point Drive				
Owner Phone Number	479-263-1815				
Owner Email Address	mbryan14@cox.net				
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.					
Owner Signature(s)		Date	7/22/2020		
		Date	7/22/2020		

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.

Applicant Signature(s)		Date	7-22-20		
		Date			

OFFICE USE ONLY		
Date Filed:	Variance Application #:	Hearing Date:

5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

Modify existing porch and construct new decking to accommodate new swimming pool, outdoor kitchen, and fire pit as shown.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s): Section 7.60.50 & 2.10

2) DSO Requirement(s):

Owner requests relief of 25' setback requirements for a new swimming pool to be constructed less than 3' above grade.

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

This home was built by a previous Owner and in a manner that would not allow these features to be added in another location on the lot.

2) These conditions do not generally apply to other property in the vicinity as shown by:

The unique shape and narrowness of the lot, the proximity of the marsh, the homes placement on the lot, and the configuration of the existing home creates a specific hardship that is not found on neighboring properties.

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

The strict application of the ordinance would restrict the homeowners ability to utilize their property for the recreational and therapeutic purposes that other properties are able to utilize.

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

Granting the variance will permit the homeowner to enjoy the same amenities which other property owners enjoy. The portion of the swimming pool encroaching on the 25' setback will be less than 36" above grade as is permitted by the SIPOA (Table 1). It will be surrounded by permeable decks and will be visually screened from the adjacent homes.

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered “complete” until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$150.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.



July 21, 2020
Joe Cronin
Town of Seabrook Island
2001 Seabrook Island Road
Seabrook Island, SC 29455

Reference : Bryan Renovation
2913 Deer Point Drive
Seabrook Island, South Carolina 29455

Dear Mr. Cronin,

The attached Drawings indicate the proposed improvements, which the Owners would like to undertake. The primary exterior improvements include:

1. A new deck to be constructed on the north east corner of the existing home between the north and east porches.
2. A new dipping pool and outdoor kitchen to be built into the first floor level of the existing east porch.
3. A new stair and swimming pool that is less than 36" above the grade.
4. A new fire pit deck addition adjacent to the pool.
5. An outdoor shower is planned under the new stair.

For reference purposes, several photographs of the existing home have been included with this letter.

As we discussed, the DSO permits permeable decks to be constructed up to 15' from the OCRM line, but pools must be setback more than 25' from the OCRM line. However Table 1 of the SIPOA Policies and Procedures allows swimming pools less than 36" above grade to be constructed up to 15' from the OCRM Line. See attached excerpt from the SIPOA Policies and Procedures Manual on page 2 of this letter.

Also please note that our request is very similar to the Feb. 28, 2019 Variance #159 approved for 2566 Seabrook Island Road.

The SIPOA policy presents an opportunity for us to meet the Owner's needs, on this unique site, with a graceful, terracing design, that is visually less obtrusive than the DSO would otherwise allow. Therefore we are seeking relief from the 25' pool setback requirement. Thank you for considering this request.

Sincerely,

Malcolm Brennan

b. Setback Requirements:

Table 1 on the next page provides the setbacks that establish the buildable area for single-family lots. This information shall be addressed as a part of the Conceptual Design Review submittal.

Table 1 - Lot Setback Requirements

Type of Lot:	Non-Conforming		
	17,500 or over	13,501 - 17,449	13,500 or less
Lot Area in square feet: (upland area above jurisdictional wetlands and OCRM critical line)			
Front/streetside property line:	30'	30'	30'
Side property line (see * below): (no improvement other than landscape, driveways, walkways and guest parking as described below allowed within the side setbacks)	15'	12' 6"	10'
Rear property line: (covered or screened decks & porches at or below the first inhabitable floor, second floor porches, <u>pools elevated above 3'</u> ; see * below)	25'	25'	25'
Rear property line: (uncovered or open porches or decks at or below the first inhabitable floor, in ground <u>swimming pools (or those elevated less than 3')</u> at grade / flush with grade elements; see * and ** below)	15'	15'	15'
Rear and side property lines: (driveways, walkways, guest parking)	6'	3'	3'
Oceanfront Lot Setbacks:	***	***	***

* Marsh front lots are measured from the more landward of the current certified DHEC-OCRM critical line or Property line. (See §7 of Town Development Standards Ordinance.)

** Open and uncovered porches/decks which are at or below the first habitable floor elevation require 15' setbacks. Screened porches, covered porches/decks and open decks with element(s) which extend above railing height and/or with solid walls which are intended to be railings or visual screens, decks, or porches above elevated lower level decks/porches, or which are located above the first habitable floor elevation, are not permitted in areas defined by the deck setbacks. Examples of elements extending above rail height could include but are not necessarily limited to: arbors, awnings, outdoor fireplace chimney structures, or any other elements the ARC at its discretion determines are inappropriate for open deck structures that are located within the first level deck buildable area as defined by the deck setbacks. The intent is to create uncovered decks with open railings at or below the first floor of the house, within the buildable area for decks as defined by the deck setback. See Appendix M-Deck Setback Exhibit Drawing.



West (Front) View



Existing Metal Railing



Entry Stair

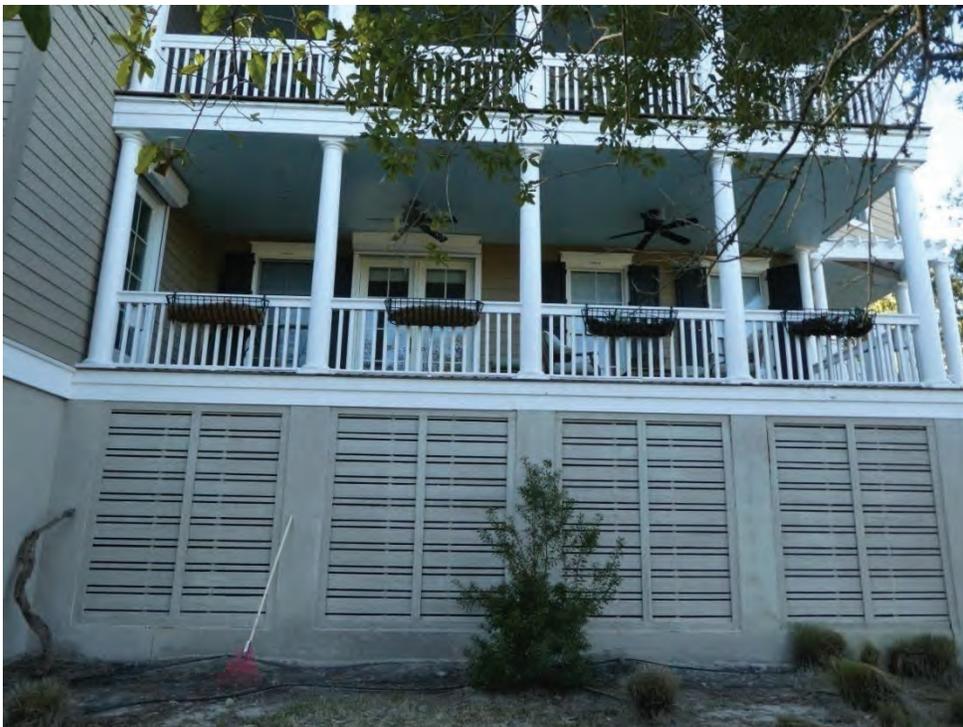


North (Side) Views





North West (Rear) View



West (Rear) Porch View



South West (Rear) View



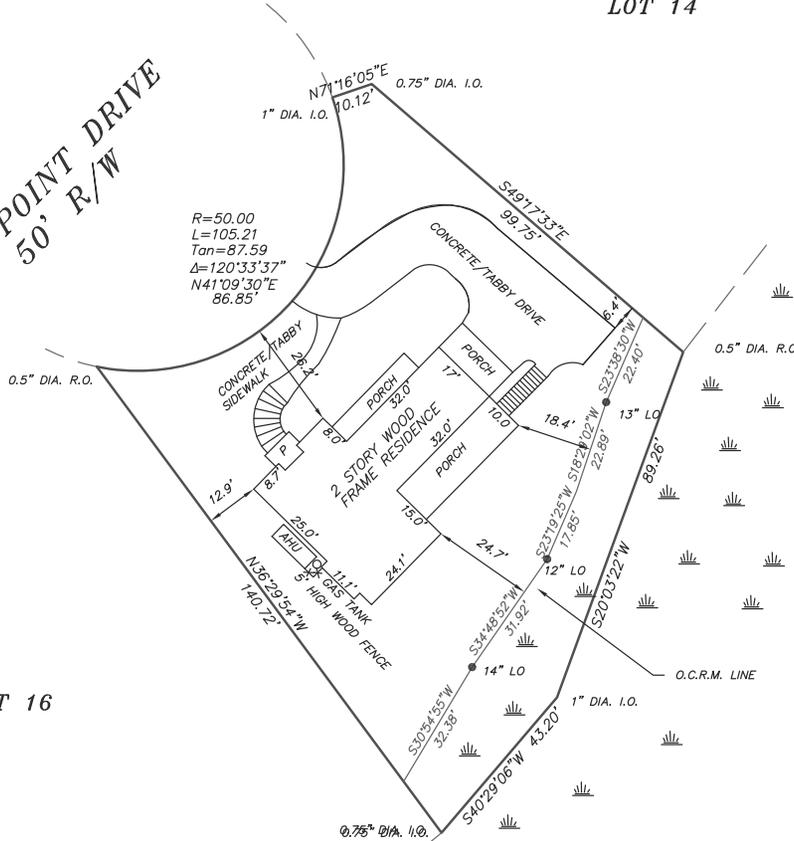
ATTACHMENT #2

Survey (Existing Conditions)



LOT 14

DEER POINT DRIVE
50' R/W

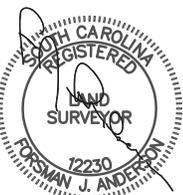


R=50.00
L=105.21
Tan=87.59
Δ=120°33'37"
N41°09'30"E
86.85'

LOT 16

LEGEND

- I.O. INDICATES IRON PIPE, OLD
- I.N. INDICATES IRON PIPE, NEW
- R.O. INDICATES ROD, OLD
- R.N. INDICATES ROD, NEW
- C.M.O. INDICATES CONCRETE MONUMENT, OLD
- C.P. INDICATES CALCULATED POINT
- PLT. INDICATES PLANTER



DRAWING NO. 9179



O.C.R.M. STATEMENT

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT (SCDHEC-OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC-OCRM, SCDHEC-OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY WHETHER SHOWN, HEREON OR NOT.

APPROVED BY MEREDITH B. WRYE 8/5/2020
SIGNATURE DATE

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

CERTIFICATIONS

1. I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN S.C. AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED HEREIN ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
2. I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO F.E.M.A. FLOOD HAZARD BOUNDARY MAPS.

NOTES

1. REF. : PLAT BOOK BD, PAGE 25.
2. PRESENTLY OWNED BY ERIC M. BYRAN AND ELIZABETH H. BRYAN.
3. T.M.S. NO. 149-14-00-029.
4. THE ADDRESS IS 2913 DEER POINT DRIVE.
5. AREA = 0.28 ACRES

PLAT

LOT 15, BLOCK 49,
TOWN OF SEABROOK ISLAND.

SCALE : 1" = 30'
DATE : MAY 20, 2020

CHARLESTON COUNTY
SOUTH CAROLINA

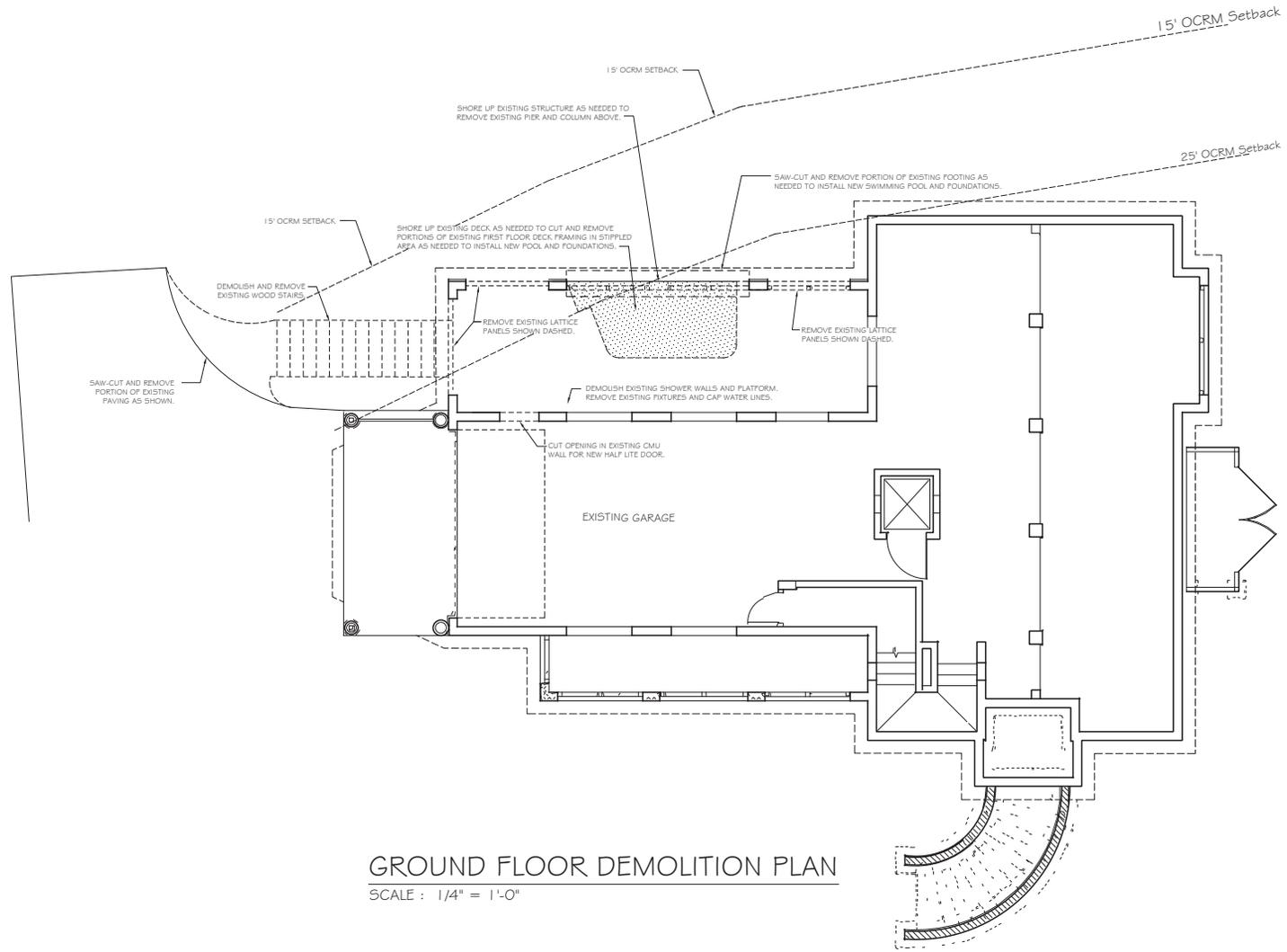
ANDERSON & ASSOCIATES
LAND SURVEYING AND PLANNING, INC.
P.O. BOX 87, JOHNS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA 29457
PHONE (843)571-0900



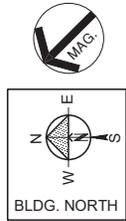


ATTACHMENT #3

Site Plan & Architectural Drawings



GROUND FLOOR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION



D1
SHEET

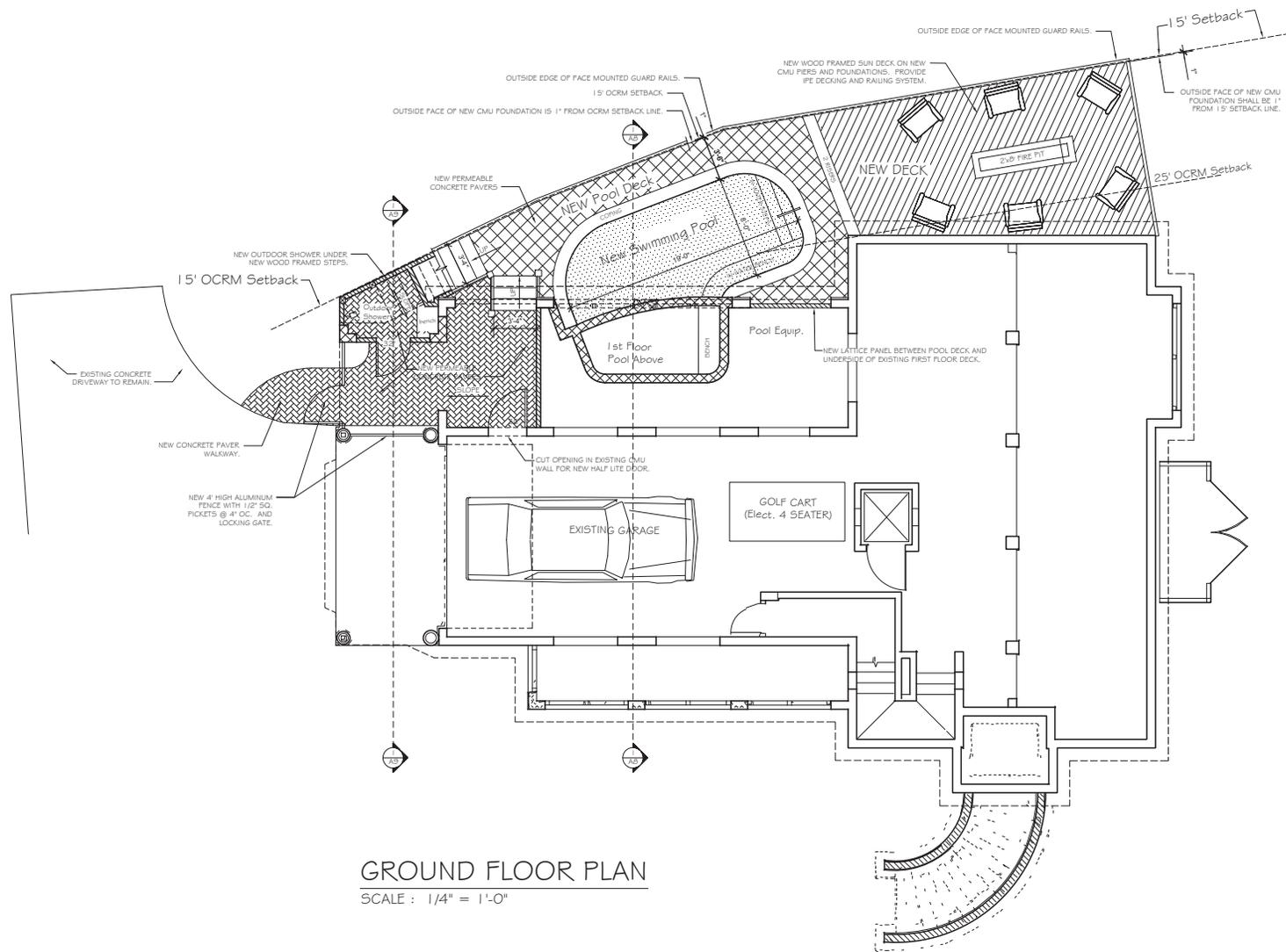
DATE: June 18, 2020

NO.	REVISIONS
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2	5
3	6
4	7

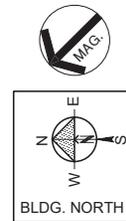
M. BRENNAN ARCHITECTS, INC.
1113 Wappoo Creek Drive, Ste. 4
Charleston, South Carolina
mbrennanarchitects.com



BRYAN RENOVATION
2913 Deer Point Drive
Seabrook Island, SC 29445



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION



A2
SHEET

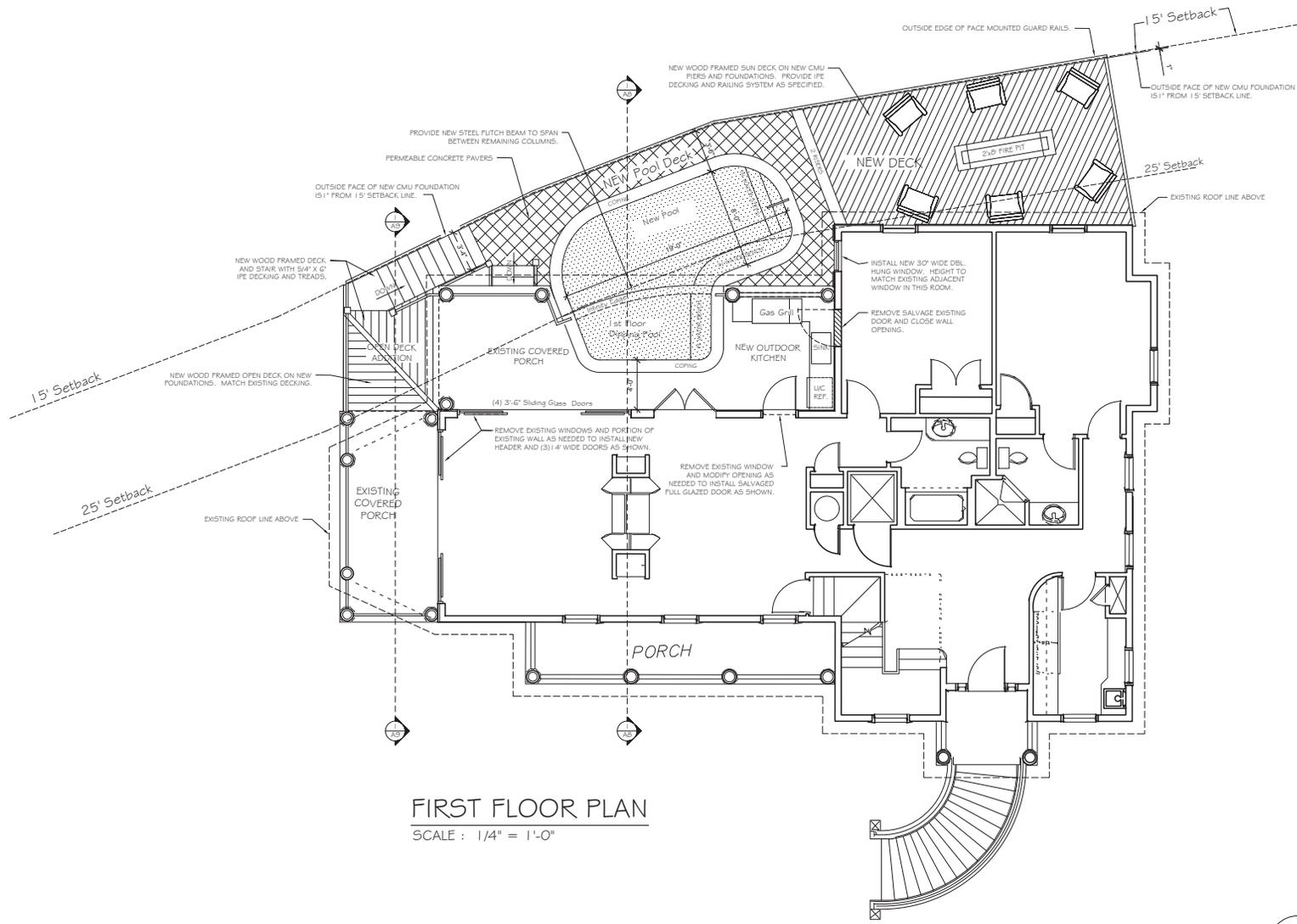
DATE: June 18, 2020

NO.	REVISIONS
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2	6
3	7
4	

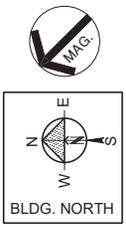
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FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"



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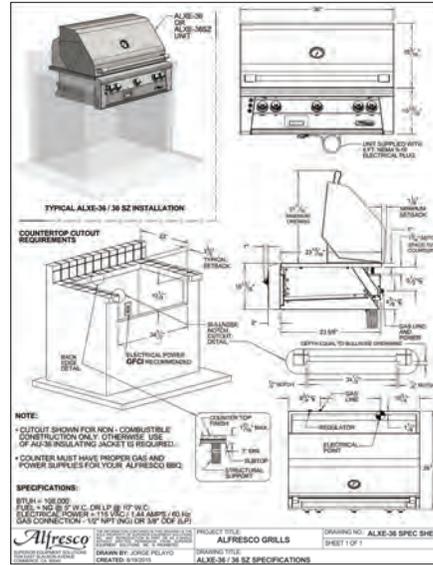
DATE: June 18, 2020

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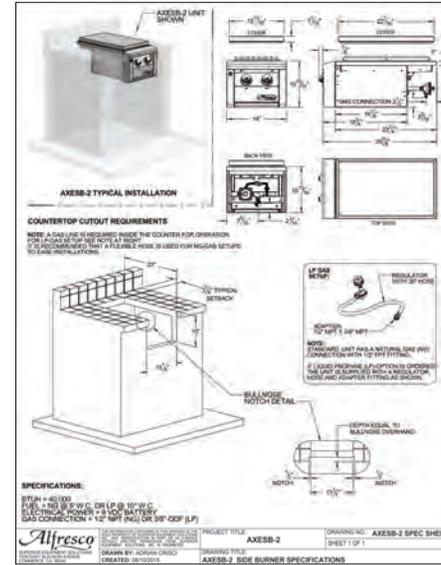
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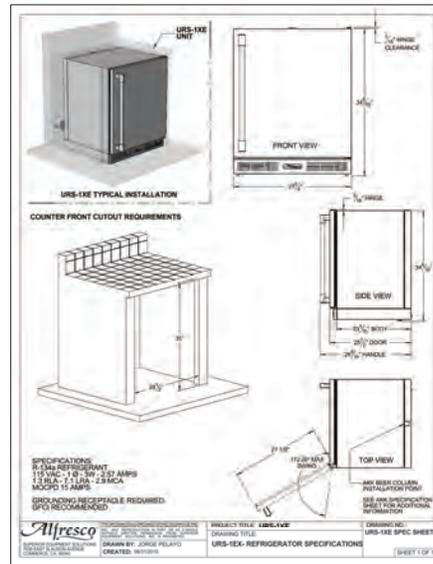
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OUTDOOR KITCHEN APPLIANCE #1



OUTDOOR KITCHEN APPLIANCE #2



OUTDOOR KITCHEN APPLIANCE #3



FIRE PIT

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REVISIONS	4	5	6	7
1	2	3		

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PROPOSED NORTH (SIDE) ELEVATION
SCALE : 1/4" = 1'-0"



EXISTING NORTH (SIDE) ELEVATION
SCALE : 1/4" = 1'-0"

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DATE: June. 18, 2020

REVISIONS	4	5	6	7
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PROPOSED EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"



EXISTING EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"

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DATE: June. 18, 2020

REVISIONS	4	5	6	7
1	2	3		

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PROPOSED WEST (FRONT) ELEVATION
SCALE : 1/4" = 1'-0"



EXISTING WEST (FRONT) ELEVATION
SCALE : 1/4" = 1'-0"

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SHEET

DATE: June. 18, 2020

REVISIONS	4	5	6	7
1	2	3		

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NEW DECK WITH STAINLESS STEEL
CABLE RAILINGS BETWEEN FT.
NEWAL POSTS: INCLUDE 2\"/>

PROPOSED SOUTH (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"



EXISTING SOUTH (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

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DATE: June. 18, 2020

NO.	REVISIONS
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EAST VIEW



NORTH EAST VIEW



AERIAL VIEW



NORTH VIEW

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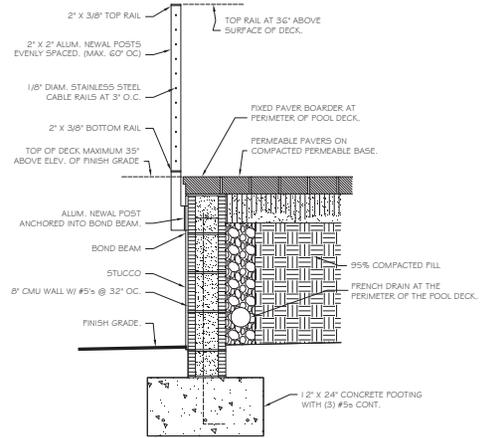
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BUILDING SECTION
SCALE : 1/4" = 1'-0"



SECTION DETAIL AT POOL DECK
SCALE : 1" = 1'-0"

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SHEET

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NO.	REVISIONS	DATE
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BUILDING SECTION
SCALE : 1/4" = 1'-0"

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BRYAN RENOVATION
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Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

PART 1 - PRELIMINARY SCOPE OF WORK
In addition to the work indicated on the Drawings dated June 18, 2020, include provisions for the items described in this manual.

Div. 1 - General
A. All new systems and construction must comply with the Requirements of Seabrook Island, Charleston County, and at minimum, meet the requirements set forth in the 2018 SC International Residential Code and its amendments.
B. The above jurisdictions include restrictions on:
1. the use of the site,
2. hours of operations and noisemaking activities,
3. debris removal procedures,
4. exterior materials and color selections.
C. **Project Summary:** The work of this project is limited to the areas identified on the Drawings and in this manual. Additional contractor recommendations, if any, shall be listed as suggested alternates.
1. General: Protect all existing landscaping, paving, doors, fixtures, equipment, roofing, siding, trim, and finishes not scheduled for demolition.
2. Demolition:
a. Provide temporary shoring and modifications to the existing framing systems as needed to transfer existing loads to new structural members and direct those loads to new or existing foundations as indicated.
b. Remove portions of existing decking, siding, porch ceiling, framing, wood column and other structural elements as needed to install new structural members, electrical, plumbing, mechanical, windows, doors, swimming pools, appliances, equipment, decks, and lattice.
3. Structural
a. Provide new footings, cmu, concrete slabs, and wood framing, for new decks, stairs, fenestration, and outdoor shower.
Div. 2 - Site Work
A. Do all grading and excavation work necessary for foundations, columns, waste water lines, supply water lines, electrical service conduit, concrete slabs and paving. Any soil or sand removed shall be used on the site and smoothed in with the required contours.

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PART 1 Scope of Work, Page 1 of 11

Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

Div. 8 - Doors and Windows
A. Unless otherwise noted, all new exterior windows and glazed doors shall be Anderson windows meeting IRC requirements for design pressure and impact rating.
1. Provide coastal hardware upgrade and high visibility insect screen on all new operable units.
2. Interior of new windows and doors shall be primed for paint unless noted otherwise.
B. Provide copper sill pans at all new exterior doors and window installations.
C. Water test all new windows and exterior doors in the presence of the Architect, prior to installing exterior trim or new insulation.
D. ~~Unless otherwise indicated, all existing interior doors and door hardware shall be repaired. Provide four (4) two-panel interior doors throughout conditioned spaces. New interior doors shall match color of existing doors. Widths of new door openings are indicated on the Floor Plan.~~
E. Unless otherwise noted, new ground floor exterior doors shall be Thermo-Tru half light fiberglass unit meeting IRC requirements for design pressure and impact rating.
F. New door and window hardware shall match existing.
G. Provide thresholds and weather-stripping in all new doors between conditioned and un-conditioned spaces.
Div. 9 - Finishes
A. **Flooring** See Allowances
B. Interior Ceilings and Walls
1. All new walls and ceilings shall be 1/2" thick gypsum board with smooth finish unless otherwise noted.
a. Unless otherwise noted all new interior wallboard shall be screwed to framing. No nails will be permitted.
b. No Chinese gypsum board will be permitted.
C. Painting and Staining See Allowances
1. All paint and stain colors and grades shall match existing.

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PART 1 Scope of Work, Page 4 of 11

Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

C. Imported fill shall be clean, permeable, sandy and free from debris and should contain sufficient top soil in new landscaped areas to provide proper base for planting.
D. Termitte treatment: Coordinate construction with the Owner's termitte bonding company. Include the cost of termitte treating the soils under and around the new additions, foundations and slabs with approved renewable one year warranted termitte treatment.

Div. 3 - Concrete
A. Concrete shall be 3000 lb. mix and include a minimum of 6 sacks of Portland cement per cubic yard and shall test a minimum of 2000 psi at 7 days unless otherwise noted on the drawings.
B. Finishing of concrete slabs and driveway, unless otherwise noted on the drawings, shall be steel troweled, with a light broom finish applied.
C. Do not dump any excess concrete at the site except as permitted by the Owner.
D. Reinforcing steel bars shall be deformed type A-36 rods supported for minimum all around coverage of 3".
1. Include 24" wide x 12" thick continuous footings with (3) #5's under all new foundation walls.
2. New walkways shall be 4" thick with 6" x 6" 10/10 W/M.
E. Concrete slabs shall be constructed flat with enough slope to drain unless otherwise indicated on drawings.
Div. 4 - Masonry
A. All walls indicated on the Ground Floor Plan shall be constructed of 8" x 8" x 16" reinforced concrete masonry units.
1. Vertical foundation wall reinforcing shall be #5's at 32" oc.
2. Horizontal foundation wall reinforcing shall be galvanized truss type at 32" oc. Provide bond beam with #5 rebar at top course of new foundation walls.
~~B. New brick veneer and mortar joints shall match existing and be toothed in with the existing adjacent brick. Provide brick tie at 32" oc each way.~~

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PART 1 Scope of Work, Page 2 of 11

Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

2. Where new fenestration is required, prep and paint adjacent interior and exterior wall and trim surfaces corner to corner.
a. Back prime all new exterior wood trim prior to installation.
b. Treat all cuts and drilled holes in new pt trim per the manufacturer's recommendations prior to installation.

Div. 10 - Specialties NOT USED See allowances.
Div. 11 - Equipment NOT USED
Div. 12 - Furnishings NOT USED

Div. 13 - Special Construction
Swimming Pool
PART 1 - GENERAL
1.1 SUMMARY
A. Provide swimming pool where shown on the Drawings, as specified herein, and as needed for a complete and proper installation including, but not necessarily limited to:
1. Complete engineering design to the approval of the Architect and governmental agencies having jurisdiction;
2. Excavation and disposal of surplus earth materials;
3. Reinforcement, grout, and plaster;
4. Ceramic tile and coping;
5. Underwater light and other subsystem electrical;
6. Supply and return lines from the pool equipment;
7. Filtering and heating system;
8. Salt water Chlorinating system;
9. Automatic cleaning system.
11. Infinity edge with water fall or water feature
12. In water benches, steps, and handrail as shown.
1.2 SUBMITTALS
B. Product data: Within 35 calendar days after the Contractor has received the Owner's Notice to Proceed, submit:
1. Materials list of items proposed to be provided under this Section;
2. Manufacturer's specifications and other data needed to prove compliance with the specified requirements;

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PART 1 Scope of Work, Page 5 of 11

Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

Div. 5 - Metals
A. Include galvanized metal straps and connectors as needed to tie new wood framing to new foundations.

Div. 6 - Wood and Plastics
A. Unless otherwise noted rough framing shall be as follows:
1. New deck joists shall be p.t. 2 x 12's at 16" oc.
2. New exterior wall framing shall match existing.
~~3. New roof ceiling joists shall be 2 x 8's at 16" oc.~~
B. All subfloors on new framing shall be 3/4" T & G exterior grade Sturd-I-Floor glued and screwed to framing with exterior glue. Place subfloor perpendicular to supports and stagger end joints 1/2 sheets (4 feet).
C. Unless otherwise noted, coordinate height of new deck framing system so that the top of the new decking shall be aligned with top of existing adjacent decking.
~~D. Shear wall sheathing shall be 1/2" CDX exterior grade plywood with exterior glue and nailed per code. All joints to be supported on studs or blocking. Plywood sheathing perpendicular to supports and stagger end joints 1/2 sheets (4 feet).~~
~~E. New roof sheathing on new framing shall be 5/8" exterior grade plywood installed with exterior glue and nailed per code. All joints to be supported on studs or blocking or by clips. Plywood roof sheathing perpendicular to supports and stagger end joints 1/2 sheets (4 feet).~~
F. Cabinets- by Allowance
G. Trim
1. Where new trim is required, match existing adjacent trim.
Div. 7 - Thermal and Moisture Protection - NOT USED
A. Where new exterior walls are provided, match existing adjacent wall insulation.
B. Provide thermal insulation as follows:

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PART 1 Scope of Work, Page 3 of 11

Bryan Renovation
2913 Depout Drive, Seabrook Island, SC June 18, 2020

3. Shop Drawings in sufficient detail to show fabrication, installation, anchorage, and interface of the work of this Section with the work of adjacent trades;
4. Manufacturer's recommended installation procedures which, when approved by the Architect, will become the basis for accepting or rejecting actual installation procedures used on the Work.
C. Manuals: Upon completion of this portion of the Work, submit to the Architect copies of an operation and maintenance manual compiled in accordance with pertinent provisions of these Specifications.

1.3 QUALITY ASSURANCE
A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.
B. Use a swimming pool subcontractor who has been engaged in construction of swimming pools for at least five years immediately prior to the start of this Work, and who has a history of successful production acceptable to the Architect.
1.4 DELIVERY, STORAGE, AND HANDLING
A. Comply with pertinent provisions of this Section.
PART 2 - PRODUCTS
2.1 DESIGN
A. Provide the services of an engineer properly licensed to perform such work at the location of the Work, and prepare complete engineering design in accordance with the shape and dimensions shown on the Drawings.
1. Secure all required design approvals prior to submittal of data described in Paragraph 1.2-B above.
2. Affix the signature and verification of the engineer on all design data submitted to the Architect.
2.2 CONSTRUCTION MATERIALS

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BRYAN RENOVATION
2913 Deer Point Drive
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<p>Bryan Renovation 2913 Deerport Drive, Seabrook Island, SC June 18, 2020</p> <p>A. Provide required reinforcement, complying with pertinent provisions of these Specifications.</p> <p>B. Guniting 1. Provide gunite with materials complying with pertinent provisions of these Specifications. 2. Produce gunite having a compressive strength of 3500 psi at 28 days.</p> <p>D. Provide a complete plastering system with finish plaster of "Castle Plaster" manufactured by the Lewis Osbourne Co., or equal approved in advance by the Architect.</p> <p>D. Ceramic tile: 1. Provide 6" x 6" cushion edge frostproof "Romany" tile manufactured by U. S. Tile Company, or equal product of other manufacturer approved in advance by the Architect, in color and pattern selected by the Architect from the standard colors and patterns of the approved manufacturer.</p> <p>E. Coping: Provide wet-cast type coping with semi-travertine finish, manufactured by Kaytex Coping Company, or an equal approved in advance by the Architect.</p> <p>2.1 EQUIPMENT</p> <p>A. Plumbing lines: 1. Provide type "L" copper tubing for face lines, and provide copper tubing or PVC Schedule 40 tubing for other piping. 2. Provide brass valves and fittings. 3. Clearly identify all valves.</p> <p>B. Provide the following other equipment, or equal approved in advance by the Architect: 1. Under-sink light: 300 W no-on-ic under-sink light with mounting rings, such as "Hoc-Cal No. 38-100-14" with accessories. 2. Filter: "Sta-Rite" 1/2 in. ft vertical diatomaceous earth filter ("Spine No. 38-102-754"). 3. Frostout funnel: Aluminum diatomaceous earth percol funnel with valve assembly, such as "Spine No. 38-101-201". 4. Pump and motor: "Sta-Rite" 3/4 hp bronze pump and motor ("Spine No. 38-102-508"). 5. Heater: "Raypak-Raytherm" 685,000 Btu natural gas heater. 6. Charolmarat Salt water "Bio-White Chem-Fend" ("Spine No 42-117100"), with solution tank.</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 1 Scope of Work, Page 7 of 11</p>	<p>Bryan Renovation 2913 Deerport Drive, Seabrook Island, SC June 18, 2020</p> <p>7. Pool cleaners: "Paul Sweep" pool cleaner system, installed under the deck.</p> <p>2.4 OTHER MATERIALS</p> <p>A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.</p> <p>PART 3 - EXECUTION</p> <p>3.1 SURFACE CONDITIONS</p> <p>A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.</p> <p>3.2 EXCAVATING</p> <p>A. Layout the perimeter of the pool and route of utility lines in accordance with the original design and the approved engineering design.</p> <p>B. Excavate in strict accordance with the provisions of these Specifications, removing excavated material and disposing of it away from the job site unless otherwise approved by the Architect.</p> <p>C. Perform final shaping of the pool excavation by hand.</p> <p>3.3 PLACING REINFORCEMENT</p> <p>A. Place reinforcement in strict accordance with the approved engineering design.</p> <p>3.4 CASTING</p> <p>A. General: 1. Perform guniting in a steady uninterrupted flow, at right angles to the surface except when enclosing reinforcement, and at a distance of 30" to 36". 2. When enclosing reinforcement, direct the material behind the bars.</p> <p>B. Cleaning out:</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 1 Scope of Work, Page 8 of 11</p>	<p>Bryan Renovation 2913 Deerport Drive, Seabrook Island, SC June 18, 2020</p> <p>1. When enclosing reinforcement, position a second nozzle-man ahead of the gunite nozzle-man, and equipped with an air hose 2. Blow out rebound and sand which may have lodged behind the reinforcement. 3. Do not incorporate rebound into the finished gunite.</p> <p>3.5 UTILITY LINES</p> <p>A. Install plumbing lines in accordance per code. B. Install electrical lines per code.</p> <p>3.6 TILE AND COPING</p> <p>A. Set tile and coping in strict accordance with the approved engineering design, anchoring components firmly into position, square and true, and dead level within a tolerance of one in 500, non-accumulative.</p> <p>3.7 PLASTERING</p> <p>A. General: 1. Do not begin plastering until at least 20 days after completion of the gunite. 2. Do not plaster during rainy or windy weather unless specifically otherwise approved by the Architect.</p> <p>B. Application: 1. Uniformly trowel one finish coat of the specified plaster into the paring coat of the gunite, achieving a smooth, dense, and impervious surface completely without stains. 2. Make the finish coat not less than 1/4" thick and not more than 3/8" thick. 3. Uniformly meet the edge of the waterline ceramic tile.</p> <p>3.8 POOL FILLING</p> <p>A. Upon completion of the plastering, immediately commence filling operations by uniform and steady slow stream of potable water introduced through a hose equipped with a desparging device to prevent erosion of the plaster.</p> <p>B. Do not interrupt the flow of water until the pool is filled above the centerline of the waterline ceramic tile.</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 1 Scope of Work, Page 9 of 11</p>
<p>Bryan Renovation 2913 Deerport Drive, Seabrook Island, SC June 18, 2020</p> <p>3.9 INSTALLING EQUIPMENT</p> <p>A. Install equipment in strict accordance with the manufacturers' recommendations, anchoring firmly into position. B. Make required hookups.</p> <p>3.10 ADJUSTMENT</p> <p>A. Put all items of equipment through at least five complete cycles of operation, verifying that each item is properly installed and properly operating, and making required adjustments to achieve optimum operation.</p> <p>3.11 INITIAL WATER BALANCE</p> <p>A. Upon completion of the installation, chlorinate, acidulate, and properly balance the pH content of the water.</p> <p>3.12 INSTRUCTION</p> <p>A. Instruct the Owner regarding the contents of the operation and maintenance manual required to be submitted under Article 1.2 of this Section.</p> <p>END OF SECTION</p> <p>Div. 14 - Conveying Systems.....NOT USED</p> <p>Div. 15 - Mechanical</p> <p>A. Provide water and waste lines to the new plumbing fixtures and pool equipment as needed. B. Provide gas connections to the new Gas Grill, and fire pit appliances. Note location of existing propane tank on site plan. C. All penetration in the building envelope shall be configured to be rodent proof.</p> <p>Div. 16 - Electrical</p> <p>A. Provide electrical connections and convenience outlets for all new equipment and appliances.</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 1 Scope of Work, Page 10 of 11</p>	<p>Bryan Renovation 2913 Deerport Drive, Seabrook Island, SC June 18, 2020</p> <p>B. Align new electrical convenience outlets with existing adjacent outlets v.n.o. Provide new electrical outlets per code and as follows: 1. Three new weather-proof duplex outlets on the existing east porch. 2. Two new weather-proof duplex outlets in the existing wall adjacent to the Fire Pit Deck. Locate 24" above the BFE.</p> <p>C. Provide new lighting per code and as follows: 1. All new light fixtures shall be LED. 2. Provide dimmers for all Porch and exterior light fixtures mounted more than 36" above adjacent walking surface. 3. Provide dimmers for all new cans, sconces, ceiling fans, and pendant light fixtures. 4. Unless otherwise noted, provide white baffle and white trim kit for all new can lights. a. Provide eyeball trim at all sloped ceilings. b. All new can lights shall be 4" diameter LED. c. Provide airtight insulated cans rated for contact with insulation at all locations where the can is located in an insulated ceiling cavity.</p> <p>D. Provide new light fixtures as follows: 1. Ground Floor Parking and Storage - four new ceiling mounted, low voltage, LED fixtures for wet locations. Switch in pairs. 2. New Exterior Showers - one low voltage led exterior light fixture for wet location. 3. New Outdoor Kitchen - two can lights switched together. 4. Deck Lights - twenty-one low voltage led deck lights mounted on the new railing newel posts and mounted 18" above the deck. Route wiring concealed in newel posts, in framing cavities, and in conduit under concrete decks. 5. Pool Lighting - see pool specifications.</p> <p>E. Provide new ceiling fans as follows: 1. One on the east porch and one on the north porch.</p> <p>END OF THIS SECTION</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 1 Scope of Work, Page 11 of 11</p>	<p>Bryan Renovation 2913 Deer Point Drive, Seabrook Island, SC 29445 June 18, 2020</p> <p>PART 2 ALLOWANCES All allowances are for materials only, unless otherwise indicated. Include cost of installation in your proposal.</p> <p>Allowance #1 Ceramic tile, and stone..... \$ 10.00 Per sq. ft. This allowance includes the cost of the pavers, shipping, grout, accessories, and installation.</p> <p>Allowance #2 Electrical Fixtures \$ 3,500.00 Includes purchase and shipping of switches, dimmers, and decorative electrical fixtures. These fixtures are limited to the following categories: Chandeliers Decorative Ceiling Fans Bathroom exhaust fans Hanging Lanterns / Pendants Scones (interior & exterior) Vanity Lighting Track Lighting Low-voltage lighting Can lights and trim kits Include the installation of the new fixtures and wiring in the base bid. Also include the cost of all new electrical outlets and boxes that are recessed into the walls, ceiling, or floors in your base bid proposal.</p> <p>Allowance #3 Cabinets and Tops 15 1/2" of cab.s at \$300.00 pif. = \$ 7,500.00 15' counter tops at \$150.00 pif. = \$ 2,250.00 Includes the purchase and installation of Outdoor Kitchen cabinets, counter tops, and cabinet hardware.</p> <p>Allowance #4 Audio Visual Equipment..... \$ 5,000.00 Includes materials and installation.</p> <p>Allowance #5 Plumbing Fixtures-</p> <p>M. Brennan Architects, Inc. 113 Wappoo Creek Dr., Suite 4 Charleston, SC 29412 PART 2 Allowances, Page 1 of 2</p>

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Includes sinks, lavatories, faucets, tubs, whirlpools, toilets, shower heads and controls, strainer baskets, and all auxiliary valves, connecting piping, and fittings necessary to connect the fixtures to the supply and drain pipes stubbed into the walls, floors, and ceilings.

Base Bid	
Bath/Prep Sinks	\$ 200.00 each x 1= \$ 200.00
Bath/Prep faucets	\$ 200.00 each x 0= \$ 0.00
Laundry Sinks	\$ 300.00 each x 0= \$ 0.00
Laundry faucets	\$ 200.00 each x 0= \$ 0.00
Kitchen sink	\$ 800.00 each x 0= \$ 0.00
Kitchen faucets	\$ 500.00 each x 1= \$ 500.00
Tub/Shower valves	\$ 300.00 each x 1= \$ 300.00
Toilets	\$ 350.00 each x 0= \$ 0.00
Total Allowance	\$ 1,000.00

Includes fixtures and shipping only. All other plumbing materials and installation included in base bid.

Allowance #6 Outdoor Kitchen Hood \$ 3,500.00
Include installation of all appliances in base bid.

Allowance #7 Paint
Includes paint only. All other labor, scaffolding, caulking, fillers, sealants, primer and accessories shall be included in the base bid.
Exterior Paint \$ 60.00 per gallon
Interior Stain /Paint \$ 50.00 per gallon

END OF THIS SECTION

M. Brennan Architects, Inc. 113 Wappoon Creek Dr., Suite 4 Charleston, SC 29412
PART 2 Allowances, Page 2 of 2

Bryan Renovation
2913 Deer Point Drive, Seabrook Island, SC June 18, 2020

13. Lattice	
14. Framing Material and Labor	
15. HVAC	
16. Electrical	
17. Plumbing	
18. Insulation	
19. Sheetrock	
20. Exterior Trim Material/Labor	
21. Interior Trim Material/Labor	
22. Interior Doors	
23. Painting	
24. Windows & Exterior Doors	
25. Garage Doors	NOT USED
26. Wood Flooring Installation	NOT USED
27. Carpet, Pad & Vinyl Installation	NOT USED
28. Tile & Stone Installation	NOT USED
29. Bathroom Accessories Installation	NOT USED
30. Fireplace Surround Installation	NOT USED
31. Outdoor Kitchen Appliances Installation	
32. Front Door Installation	NOT USED
33. Roof	NOT USED
34. Swimming Pool	
35. Driveway & Walkways	
36. Other	

If line "36" Other" is used, attach a sheet to describe the items included in this category. Otherwise write not applicable on this line

SUB TOTAL

M. Brennan Architects, Inc. 113 Wappoon Creek Dr., Suite 4 Charleston, SC 29412
PART 3 Preliminary Estimating Form, Page 2 of 3

Bryan Renovation
2913 Deer Point Drive, Seabrook Island, SC June 18, 2020

PART 3 - PRELIMINARY ESTIMATING FORM

General Contractor (Please Print Name of Construction Company):
The above contractor proposes to furnish all labor and materials required for construction of the
Bryan Renovation
2913 Deer Point Drive
Seabrook Island, South Carolina 29445

A. In accordance with the accompanying Preliminary Drawings and Project Manual dated June 18, 2020 prepared by:
M. Brennan Architects, Inc.
113 Wappoon Creek Drive, Suite 4
Charleston, SC 29412
Telephone : 843-406-7813

for the Contract Price specified below, subject to additions and deductions according to the terms of the above referenced documents and the requested alternates. It is understood that the preliminary information provided is insufficient to determine the exact cost of the work so we are relying on your past experience with similar projects. We will request a more accurate bid once the Construction Documents have been completed.

B. The estimated construction cost is the Total Project Sum derived from the schedule of values and allowances specified below :

Description	Cost
1. Permits	
2. Insurance/NC/License	
3. Permits/Pest Control	
4. Storage	
5. Dumpster/Debris Removal	
6. Temporary Power	
7. Temporary Water	
8. Demolition	
9. Tree/Shrub Removal	
10. Sweepers-Sinks-Gas Lines	
11. Concrete Footings/Pier/Slab	
12. Masonry	

M. Brennan Architects, Inc. 113 Wappoon Creek Dr., Suite 4 Charleston, SC 29412
PART 3 Preliminary Estimating Form, Page 2 of 3

Bryan Renovation
2913 Deer Point Drive, Seabrook Island, SC June 18, 2020

Allowances
Unless otherwise specified the following allowances have been estimated to cover the cost of items which are not specified.

Allowance #1 - Ceramic Tile and Marble	
\$ 10.00 Per sq. ft. x sq. ft. = \$	
Allowance #2 - Electrical Fixtures	\$ 3,500.00
Allowance #3 - Cabinets and Tops	\$ 9,750.00
Allowance #4 - Built-in Audio Visual Equipment	\$ 5,000.00
Allowance #5 - Plumbing Fixtures	\$ 1,000.00
Allowance #6 - Outdoor Kitchen Hood	\$ 3,500.00
Allowance #7 -Paint	
Exterior Paint & Stain	\$ 60.00 per gal. x gal.s = \$
Interior Stain & Paint	\$ 50.00 per gal. x gal.s = \$

ALLOWANCE TOTAL \$

Contractor's Fee \$

TOTAL PROJECT SUM \$

C. Indicate the number of calendar days from receipt of the building permit to final completion that you would anticipate for the work of this project:
_____ calendar days

END OF PRELIMINARY ESTIMATING FORM

M. Brennan Architects, Inc. 113 Wappoon Creek Dr., Suite 4 Charleston, SC 29412
PART 3 Preliminary Estimating Form, Page 3 of 3

PRELIMINARY
NOT FOR
CONSTRUCTION



A12

SHEET

DATE: June 18, 2020

REVISIONS	4	5	6	7
1				
2				
3				

M. BRENNAN ARCHITECTS, INC.
113 Wappoon Creek Drive, Ste. 4
Charleston, South Carolina
mbrennanarchitects.com

MB ARCHITECTS

BRYAN RENOVATION
2913 Deer Point Drive
Seabrook Island, SC 29445



ATTACHMENT #4

Subdivision Plat (1985)



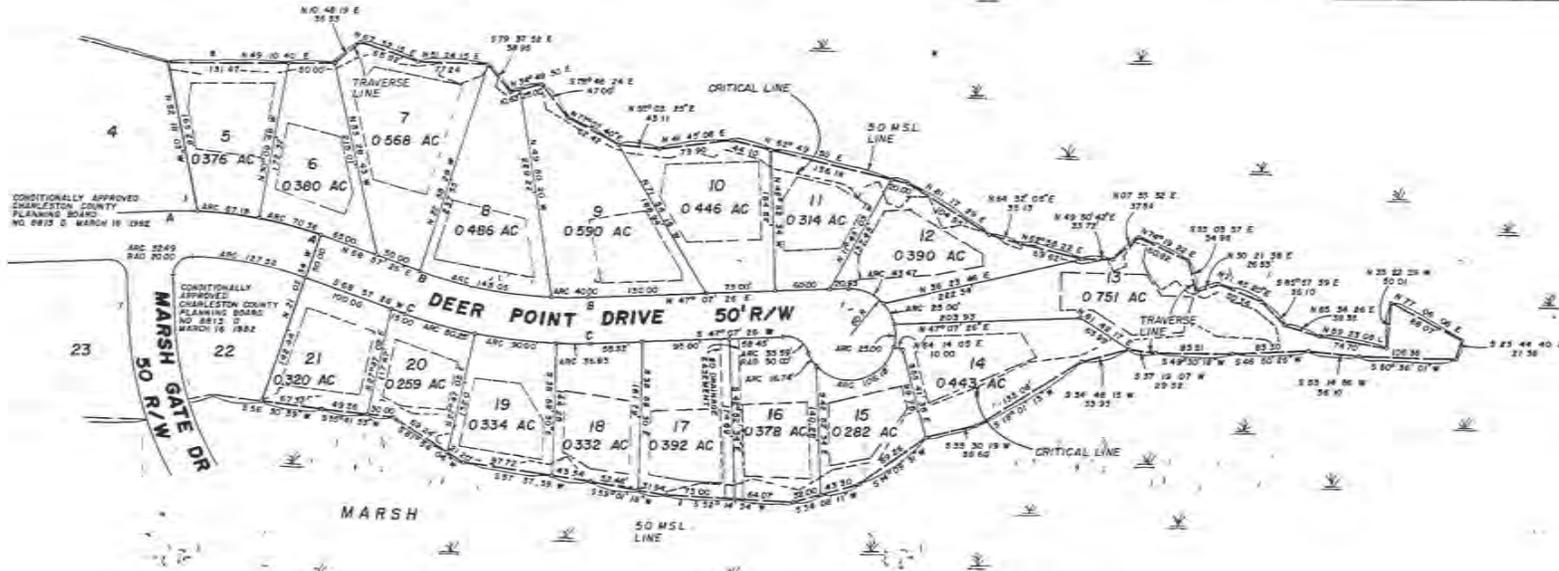
BK R 1437689

Charleston South Carolina
Office of Register Means Conveyance

Plat recorded this 21 day of Feb 1985 at
2:02 o'clock in Plat Book 212 Page 625 and tracing cloth
copy filed in File 3 Drawer 3 Folder 34 Drawing
No. 31 Original plat available for print delivered
to Charles De Plaamans, Assoc.

Robert M. King
Register Means Conveyance

CURVE DATA					
CURVE	Δ	D	T	L	R
A - A	21°43'15"	12.963'	24.80	167.56	441.58
B - B	21°50'00"	11.611'	25.18	188.05	493.48
C - C	21°50'00"	10.542'	104.82	207.10	543.48



APPROVED FINAL PLAT
Charles H. B... ..
LEADER, CHARLESTON COUNTY COUNCIL
Daniel H. Frank
DIRECTOR OF PLANNING
CHARLESTON COUNTY PLANNING BOARD
DATE FEBRUARY 14, 1985
#9100-LL

NOTE:
ALL STREETS AND EASEMENTS SHOWN ON
THIS PLAT ARE PRIVATE AND ARE TO
BE MAINTAINED BY SEABROOK ISLAND
COMPANY, ITS SUCCESSORS OR ASSIGNS

NOTES
1 ALL PROPERTY CORNERS MARKED WITH IRON PIPES UNLESS SHOWN OTHERWISE
2 ALL CORNER RADII ARE 20.00 UNLESS SHOWN OTHERWISE
3 TOTAL ACRES 7040 ACRES
4 OWNER OF THIS PROPERTY IS SEABROOK ISLAND COMPANY
5 ALL LOTS SHOWN ON THIS PLAT ARE ABOVE ELEVATION 50 MSL
6 DASHED LINES WITHIN LOTS INDICATE AREA WHERE CONSTRUCTION IS PERMITTED

E. M. SEABROOK, JR., a Registered Surveyor of the State of South Carolina hereby certifies that I have surveyed the property shown herein and that this plat shows the true dimensions of the property and that all necessary markers have been installed and the precision is 1/7500.

E. M. Seabrook, Jr.
E. M. SEABROOK, JR.
CIVIL ENGINEER & LAND SURVEYOR
S.C. REG. NO. 1375



SEABROOK ISLAND

CHARLESTON COUNTY, SOUTH CAROLINA

PLAT OF LOTS 5 - 21 BLOCK 49

SCALE 1" = 100'
SEPTEMBER 16 1982
REVISED JAN 14, 1985

E. M. SEABROOK, JR., INC.
ENGINEERS SURVEYORS PLANNERS



ATTACHMENT #5

Property Photos



NOTICE
Board of County Appeals Meeting
Public Hearing - 10:00 AM
PUBLIC INVITED
The Board of County Appeals will meet on the 1st floor of the County Administration Center, 1000 North Highway 17, Ocala, Florida 34471, on the 1st floor of the County Administration Center.









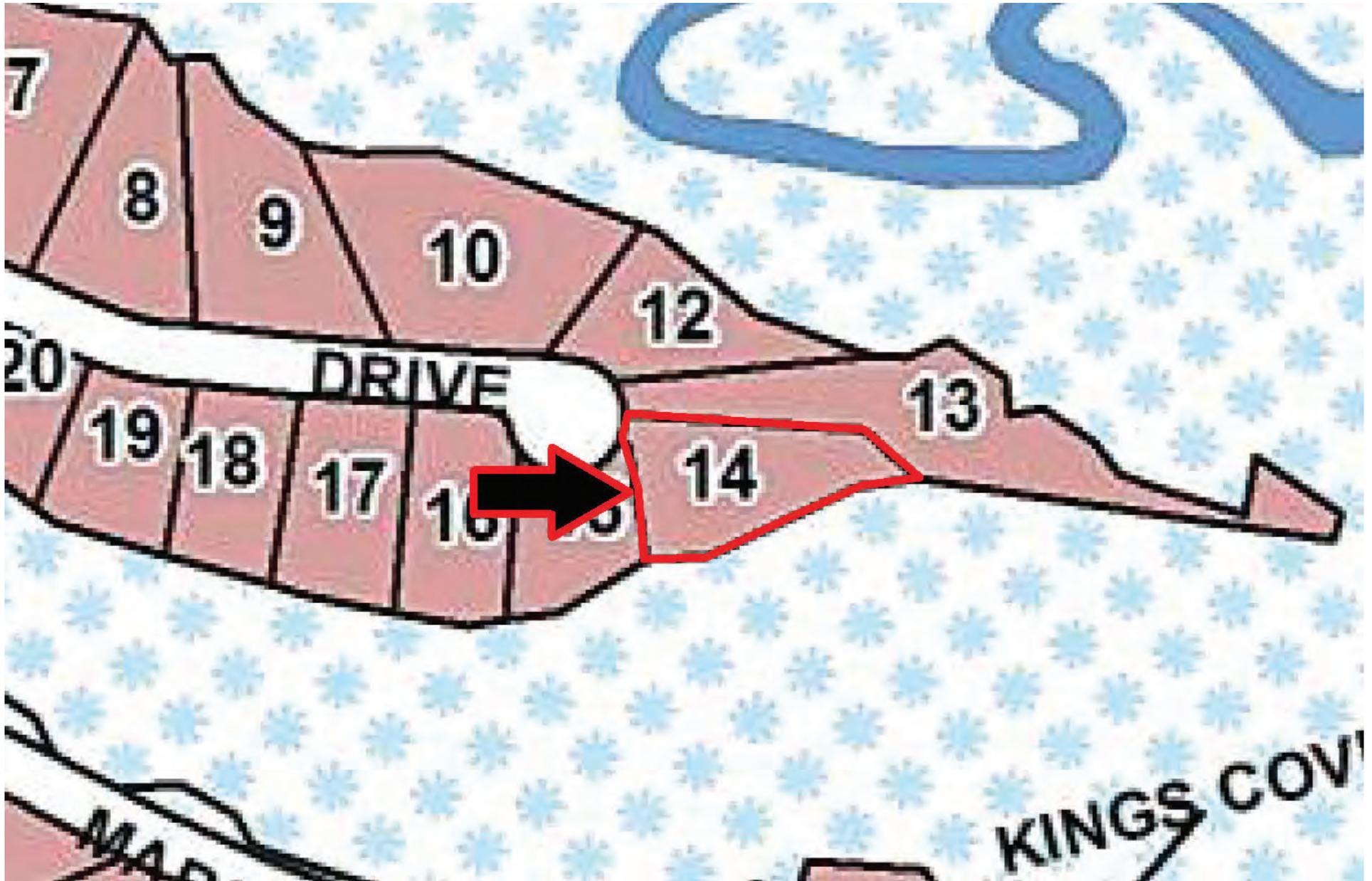






ATTACHMENT #6

Zoning Map





ATTACHMENT #7

Aerial Image



2913 Deer Point Drive

Parcel ID: 1491400029

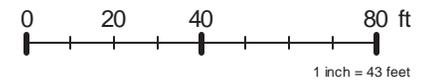
OWNER1: BRYAN ERIC M

PLAT BOOK PAGE: BD-25

DEED BOOK PAGE: 0649-691

Jurisdiction: TOWN OF SEABROOK ISLAND

Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.



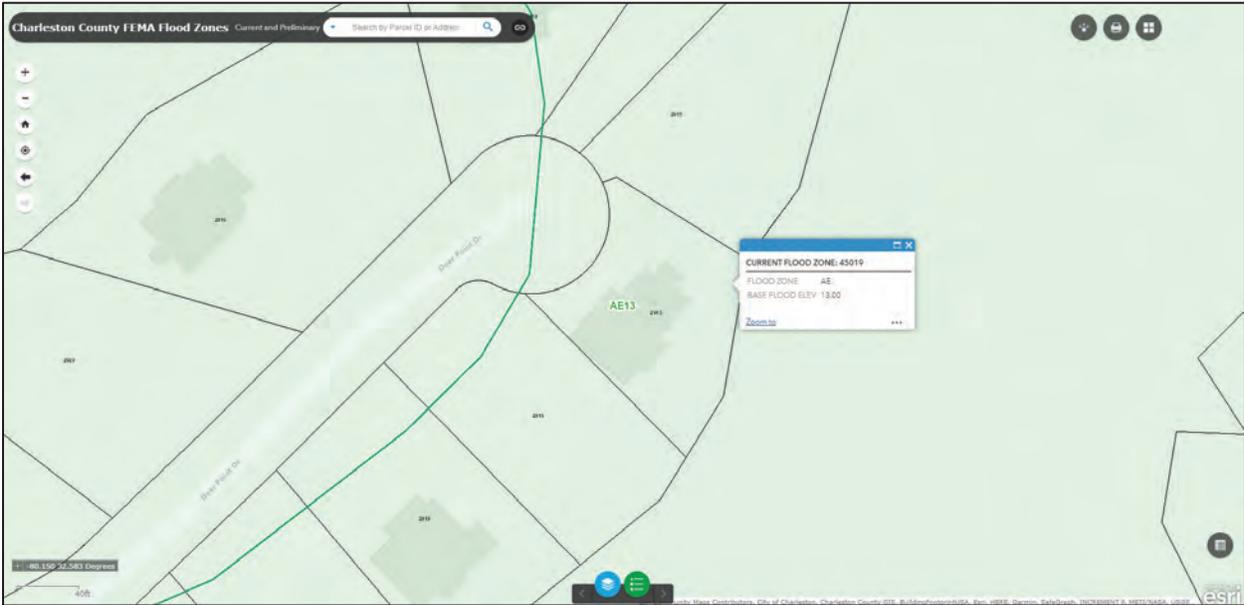
Author: Charleston County SC
Date: 8/21/2020



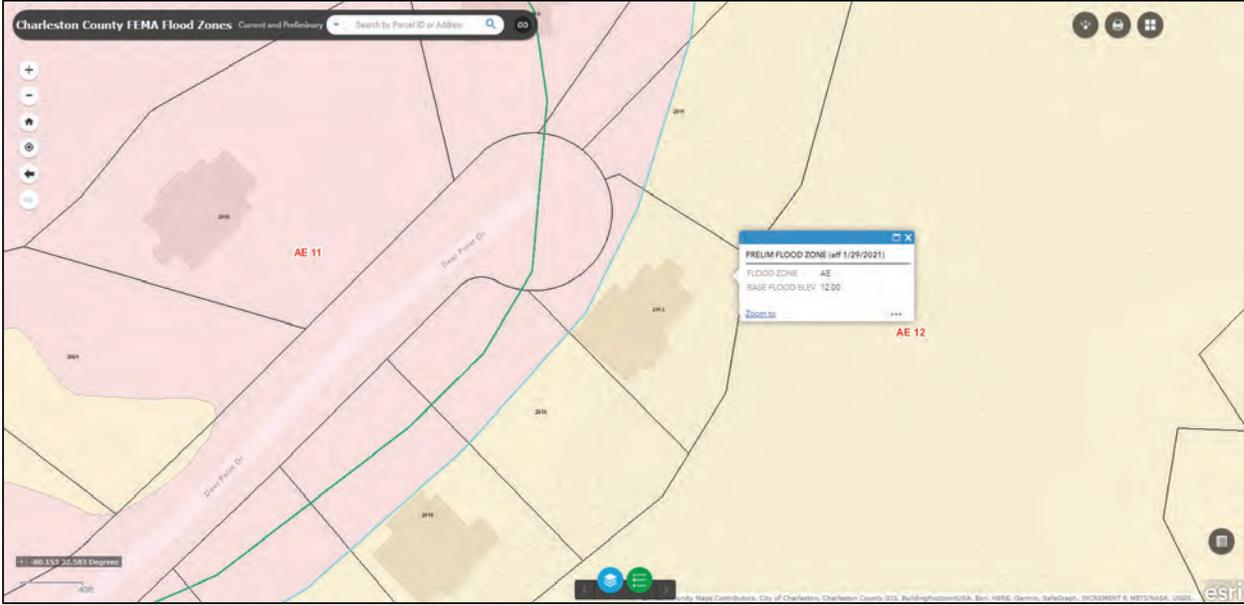
ATTACHMENT #8

FEMA Base Flood Elevations (Current & Preliminary)

FEMA Base Flood Elevation (Current) AE-13



FEMA Base Flood Elevation (Effective 01/29/2021) AE-12





ATTACHMENT #9

Title to Real Estate



BP0649691

PGS:

5

STATE OF SOUTH CAROLINA)
)
COUNTY OF CHARLESTON)

TITLE TO REAL ESTATE

KNOW ALL MEN BY THESE PRESENTS, that **Rome H. Walker and Ann Walker** ("Grantor"), in the State aforesaid, for/and in consideration of the sum of ONE MILLION THREE HUNDRED SIXTY NINE THOUSAND AND 00/100 DOLLARS (\$1,369,000.00), to us in hand paid at and before the sealing of these Presents by **Eric M. Bryan and Elizabeth H. Bryan**, in the State aforesaid, the receipt whereof is hereby acknowledged, have granted, bargained, sold and released, and by these Presents do grant, bargain, sell and release unto the said **Eric M. Bryan and Elizabeth H. Bryan as joint tenants with right of survivorship and not as tenants in common**, the following described property, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO
AND INCORPORATED HEREIN BY REFERENCE FOR LEGAL DESCRIPTION.

TMS Number: 149-14-00-029

Address of Grantee(s):

107 N. Olive Avenue

Fayettesville, AR 72701

This is the same property conveyed to Grantor by deed from Dudley N. Carpenter and Jane G. Carpenter and recorded July 5, 2007 in Book F631, page 161, Charleston County Recording Office.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said Premises before mentioned unto the said **Eric M. Bryan and Elizabeth H. Bryan as joint tenants with right of survivorship and not as tenants in common**, their heirs and assigns, forever.

AND subject to the exceptions set forth above, Grantor do bind myself/ourselves and our heirs, executors, and administrators, to warrant and forever defend, all and singular, the premises before mentioned unto the said **Eric M. Bryan and Elizabeth H. Bryan**, their heirs and assigns, against us and our heirs, and all persons whomsoever lawfully claiming, or to claim the same or any part thereof.

EXHIBIT A

ALL that certain lot, piece or parcel of land, situate, lying and being on Seabrook Island, Charleston County, State of South Carolina, and known and designated as LOT 15, BLOCK 49, on a plat by E.M. Seabrook, Jr., CE & LS, dated September 16, 1982, revised January 14, 1985, and recorded in the Charleston County RMC Office in Plat Book BD, Page 25.

Said lot having the size, shape, dimensions, buttings and boundings, more or less, as are shown on said plat, which is specifically incorporated herein by reference.

THIS CONVEYANCE IS SUBJECT TO the Covenants, Conditions, Restrictions, Limitations, Affirmative Obligations and Easements of record and more particularly set forth in instruments duly recorded in the RMC Office for Charleston County, as follows: Book N-100, at Page 296; as amended by instrument recorded in Book Y-110, at Page 143; and Second Modification thereto dated March 26, 1985 and recorded in Book J-144, at Page 67; Third Modification of Protective Covenants dated April 24, 1987 and recorded in Book J-164, at Page 497; Also, Second restated and amended By Laws dated October 18, 1984 and recorded in Book B-141, at Page 267; as amended by instrument dated March 26, 1985 and recorded in Book J-144, at Page 59; Third Restated and Amended By-Laws of the Seabrook Island Property Owners Association, dated August 1, 1989, and recorded in the RMC Office for Charleston County in Book L-186, Page 718; and Amendment filed in Book K215, Page 001; Restatement and Fourth Modification of Protective Covenants for Seabrook Island Development, dated August 1, 1989, and recorded in the Charleston County RMC Office in Book L-186, Page 697; Restatement and Fifth Modification recorded in Book K-215, Page 23.

FURTHER THIS CONVEYANCE IS MADE SUBJECT TO the restriction that all dwelling units must be constructed within the dashed line as shown on the reference plat, provided there building zoning lines may be adjusted by the Seabrook Island Board of Architectural Review if it finds the natural site features so require.

FURTHER THIS CONVEYANCE IS MADE SUBJECT TO the provision that all dwelling units constructed on the lots shown on the reference plat must have at least 1,800 square feet of heated floor area and that no garage door shall directly face the main street, and that the driveways shall be exposed aggregate concrete.

FURTHER, THIS CONVEYANCE IS SUBJECT TO all applicable covenants, conditions, restrictions, limitations, obligations and easements of record affecting subject property.

AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property being transferred is located at 2913 Deer Point Drive, Seabrook Island, SC 29455 bearing Charleston County Tax Map Number 149-14-00-029, was transferred by **Rome H. Walker and Ann Walker** to **Eric M. Bryan and Elizabeth H. Bryan** on June 28, 2017.
3. Check one of the following: The deed is
 - (a) subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
 - (c) exempt from the deed recording fee because (See Information section of affidavit): _____ (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes _____ or No _____

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See information section of this affidavit.):
 - (a) The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$1,369,000.00
 - (b) The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____

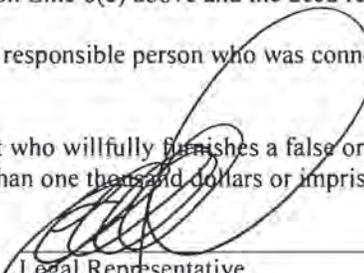
5. Check YES ___ or NO to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____

6. The deed recording fee is computed as follows:
 - (a) Place the amount listed in item 4 above here: 1,369,000.00
 - (b) Place the amount listed in item 5 above here: _____
(If no amount is listed, place zero here.)
 - (c) Subtract line 6(b) from Line 6(a) and place result here: 1,369,000.00

7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: 5,065.30

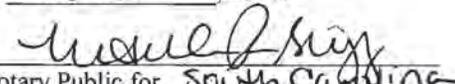
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as: Legal Representative

9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.



 Legal Representative
 Eric Bradshaw

 Print Name

Sworn to before me this 28th day
 of June, 2017.

 Notary Public for South Carolina
 My Commission Expires: 9/1/2025



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

BRADSHAW & COMPANY, LLC
 147 WAPPOO CREEK DR.
 SUITE 605
 CHARLESTON SC 29412 (BOX)

RECORDED		
Date:	July 5, 2017	
Time:	9:17:17 AM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0649	691	Deed
Charlie Lybrand, Register Charleston County, SC		

MAKER:

WALKER ROME H AL

Note:

RECIPIENT:

BRYAN ERIC M AL

of Pages:

Recording Fee	\$ 10.00
State Fee	\$ 3,559.40
County Fee	\$ 1,505.90
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 5,075.30

Original Book:

Original Page:

DRAWER
 CLERK

AUDITOR STAMP HERE
 RECEIVED From RMC
 Jul 07, 2017
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 REP MKD
 DATE 07/10/2017
 4



0649
Book



691
Page



07/05/2017
Recorded Date



5
Pgs



Original Book



Original Page



D
Doc Type



09:17:17
Recorded Time



ATTACHMENT #10

Property Information Card



[WELCOME](#) [REAL PROPERTY RECORD SEARCH](#) [REAL PROPERTY BILL SEARCH](#) [PERSONAL PROPERTY SEARCH](#)

[MOTOR VEHICLE SEARCH](#) [CHECKOUT](#) [CONTACT US](#)

\$0.00
CHECK OUT

[← RETURN](#) [🔍 SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

Property Information

Current Owner: BRYAN ERIC M BRYAN ELIZABETH H 2913 DEER POINT DR JOHNS ISLAND SC 29455	Property ID	1491400029
	Physical Address	2913 DEER POINT DR
	Property Class	101 - RESID-SFR
	Plat Book/Page	/
	Neighborhood	111404 AD04 Marsh Haven, Deer Point
	Deed Acres	0.0000

Legal Description

Subdivision Name -PART SEABROOK ISLAND Description -LOT 15 BLK 49
PlatSuffix BD-25 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0649	691	6/28/2017	WALKER ROME H	BRYAN ERIC M	S	Ge	\$1,369,000
F631	161	6/29/2007	CARPENTER DUDLEY N	WALKER ROME H		Ge	\$1,620,000
K345	367	4/5/2000	SEABROOK PARTNERS RLLLP	CARPENTER DUDLEY N		Ge	\$295,000
D297	417	2/6/1998	LEBOWITZ ARTHUR S	SEABROOK PARTNERS RLLLP		Ge	\$142,000
F256	532	6/5/1995	BUCHANAN WILLIAM H JR	LEBOWITZ ARTHUR S		Ge	\$95,000
B217	511	8/4/1992	KENT ELAINE B	BUCHANAN WILLIAM H JR		Ge	\$77,000
V138	136	7/9/1984		KENT ELAINE B		Ge	\$0

[← RETURN](#) [🔍 SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

PIN: 1491400029

This data is as-of 04-09-2020



The information on this page is for Tax Year 2019 and reflects the status of the property for that tax year. This includes building information, values and information on exemptions, discounts and special assessments. Any changes for Tax Year 2020 will not be displayed until later in 2020.

Value Info

Legal Residence	LR Pct	AgUse	ATI 25Pct Exemption	Assessed Value
Y	100	N	N	\$54,760
		Land	Improvement	Total
Market Value		\$450,000	\$919,000	\$1,369,000
Capped Value *		\$450,000	\$919,000	\$1,369,000
Taxable/Use Value **		\$450,000	\$919,000	\$1,369,000

Value History

	2018	2017	2016	2015
Market Value	\$1,369,000	\$1,300,000	\$958,131	\$958,131
Capped Value *	\$1,369,000	\$1,300,000	\$958,131	\$958,131
Taxable/Use Value **	\$1,369,000	\$1,300,000	\$958,131	\$958,131
Assessed Value	\$82,140	\$52,000	\$38,320	\$38,320

* **Capped Value:** At County-wide reassessments the increase in the value of a property for tax purposes is limited (capped) at no more than 15%.

** **Taxable/Use Value:** The Capped Value and Taxable/Use Value are usually the same. If the property has been approved for Agricultural Use the values will be different.

Dwelling Info

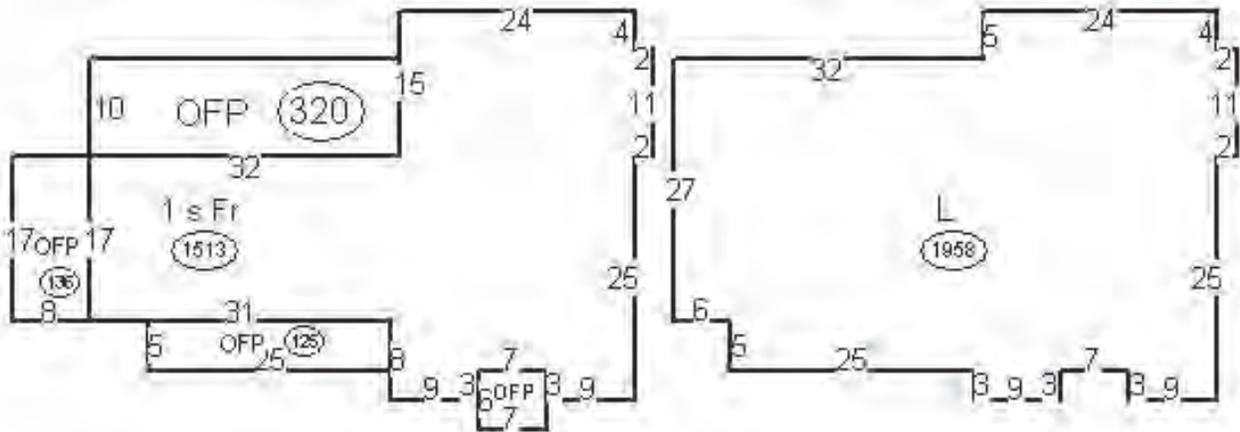
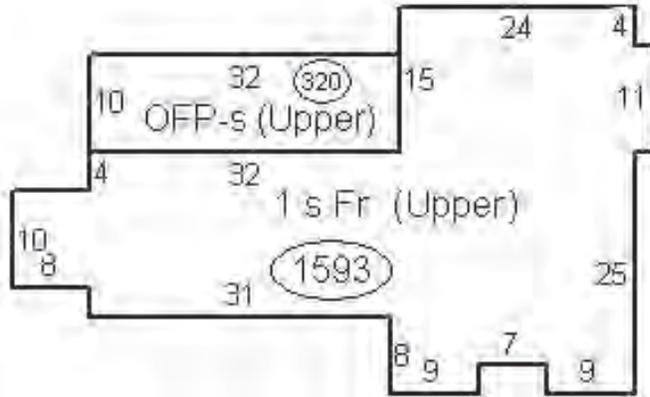
Extension	House Type	Year Built	Total Finished Living Area	Bedroom Count	Full Bath Count	Half Bath Count	Total Stories
R01	84 Multi-Story	2003	3106	4	3	1	2

Additional Improvements

No data available

Sketches

R01



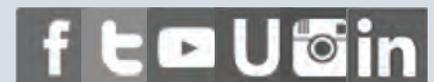
Municipalities

- [City of Charleston](#)
- [City of Folly Beach](#)
- [City of North Charleston](#)
- [City of Isle of Palms](#)

Additional Resources

- [Arts & Entertainment](#)
- [CARTA Transit System](#)
- [Sex Offenders Search](#)
- [Identity Theft Info](#)
- [Traffic Cam](#)

Social Media



[Town of Awendaw](#)
[Town of Hollywood](#)
[Town of James Island](#)
[Town of Kiawah Island](#)
[Town of Lincolnville](#)
[Town of McClellanville](#)
[Town of Meggett](#)
[Town of Mount Pleasant](#)
[Town of Ravenel](#)
[Town of Rockville](#)
[Town of Seabrook Island](#)
[Town of Sullivan's Island](#)

[County Library](#)
[County Parks](#)
[Transportation](#)
[Sales Tax](#)
[School District](#)
[Charleston](#)
[Community Guide](#)

[Make-A-Wish Car](#)
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[hotline](#)
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ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 2913 Deer Point Drive (Variance #167)
DATE: July 22, 2020

Dear Property Owner,

The purpose of this letter is to notify you that the owners of **2913 DEER POINT DRIVE** have requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO ALLOW A PROPOSED POOL TO ENCROACH APPROXIMATELY 6.5 FEET INTO THE REQUIRED 25-FOOT SETBACK FROM THE OCRM CRITICAL LINE (MARSH)**. A copy of the variance application is enclosed for your information.

The Town's Board of Zoning Appeals has scheduled a **VIRTUAL PUBLIC HEARING**, during which time the Board will receive testimony from any individual who wishes to provide a comment regarding the variance request. This notification is being provided to you pursuant to Section § 19.30.20.30 of the DSO.

PUBLIC HEARING DATE: Wed. August 26, 2020
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: Live Stream on Town YouTube Page
<https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>

Individuals who wish to submit a public comment on the variance request may do so in writing by 12:00 pm on Tues. August 25, 2020, using one of the following options:

ONLINE: www.townofseabrookisland.org/variance-167.html
BY E-MAIL: jcronin@townofseabrookisland.org
BY MAIL: Town of Seabrook Island, Attn: Zoning Administrator
2001 Seabrook Island Road, Seabrook Island, SC 29455

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

Joseph M. Cronin
Town Administrator/Zoning Administrator



ATTACHMENT #12

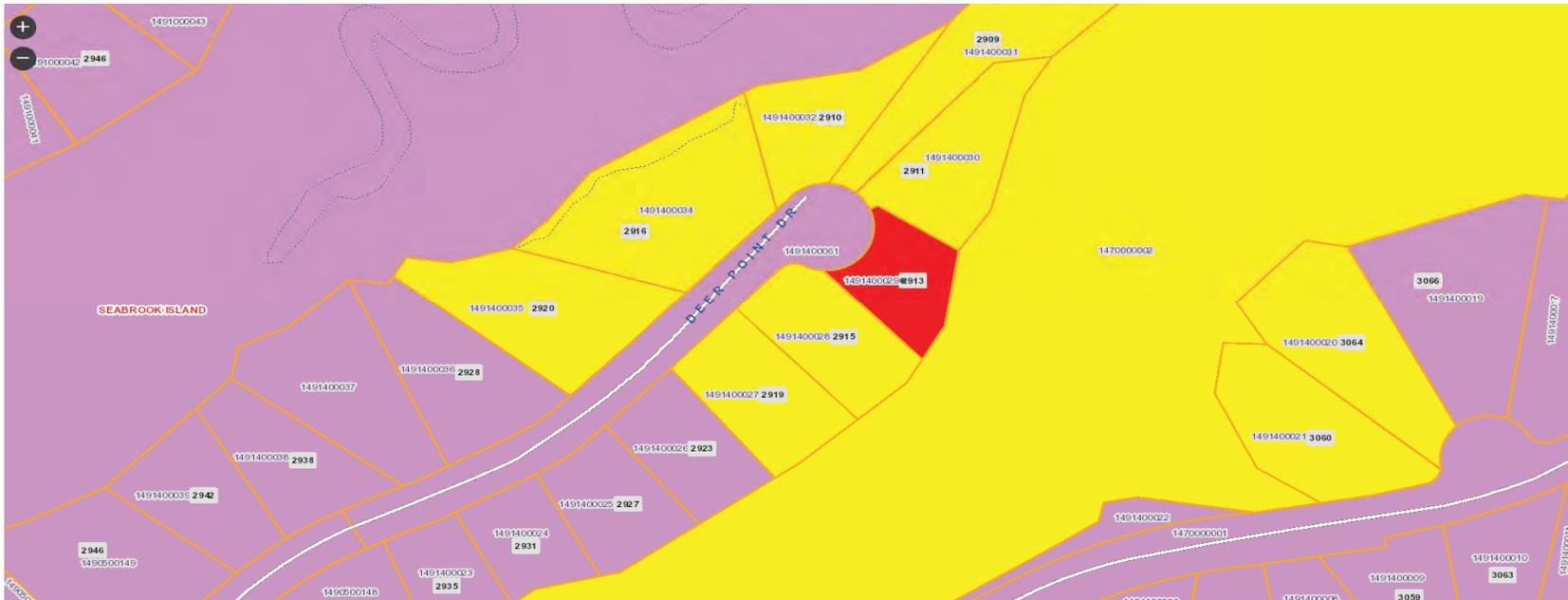
Public Hearing Notice:
List of Neighboring Property Owners

Variance Notification List

2913 Deer Point Drive

Property Address	Owner(s) of Record	Mailing Address	City	State	Zip
2909 Deer Point Drive	Reves Revocable Trust	167 Rutledge Ave	Charleston	SC	29403
2910 Deer Point Drive	Carl & Simone Voelker	2910 Deer Point Dr	Seabrook Island	SC	29455
2911 Deer Point Drive	Richard & Patricia Dabrowski	2911 Deer Point Dr	Seabrook Island	SC	29455
2915 Deer Point Drive	Pamela Joan Parrot Trust	1017 Settlers Ridge Ln	Raleigh	NC	27614
2916 Deer Point Drive	Thomas & Cecilia Dickson	200 S College St Suite 1800	Charlotte	NC	28282
2919 Deer Point Drive	David & Susan Whitehouse	2919 Deer Point Dr	Seabrook Island	SC	29455
2920 Deer Point Drive	Richard & Mary Gwyn	462 Fairtree Dr	Severna Park	MD	21146
3060 Marsh Gate Drive	Ruth Merrigan Trust & William Mulligan Trust	3060 Marsh Gate Drive	Seabrook Island	SC	29455
3064 Marsh Gate Drive	James Dobson	3064 Marsh Gate Drive	Seabrook Island	SC	29455
Marsh	Seabrook Island Property Owners Association	1202 Landfall Way	Seabrook Island	SC	29455
Golf Course	The Club at Seabrook Island	1002 Landfall Way	Seabrook Island	SC	29455
Property Owners Association	Seabrook Island Property Owners Association	1202 Landfall Way	Seabrook Island	SC	29455
Regime	Not Applicable				

Duplicate





ATTACHMENT #13

Public Hearing Notice:
U.S.P.S. Certified Mail Receipts

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

CHARLESTON, SC 29403

OFFICIAL USE

Certified Mail Fee \$3.55 0455
 \$ 04

Extra Services & Fees (check box, add fee):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Reyes Revocable Trust*
 Street and Apt. No., or PO Box No.
 167 Rutledge Ave
 City, State, ZIP+4®
 Charleston, SC 29403

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

Certified Mail Fee \$3.55 0455
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 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Carl + Simone Voelker*
 Street and Apt. No., or PO Box No.
 2410 Deer Point Drive
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

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 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Richard + Patricia Dabrowski*
 Street and Apt. No., or PO Box No.
 2911 Deer Point Dr
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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RALEIGH, NC 27614

OFFICIAL USE

Certified Mail Fee \$3.55 0455
 \$ 04

Extra Services & Fees (check box, add fee):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Pamela Joan Parrot Trust*
 Street and Apt. No., or PO Box No.
 1617 Settlers Ridge Ln
 City, State, ZIP+4®
 Raleigh, NC 27614

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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CHARLOTTE, NC 28282

OFFICIAL USE

Certified Mail Fee \$3.55 0455
 \$ 04

Extra Services & Fees (check box, add fee):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Thommas + Cealla Dickson*
 Street and Apt. No., or PO Box No.
 300 S College St Suite 1800
 City, State, ZIP+4®
 Charlotte, NC 28210

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

Certified Mail Fee \$3.55 0455
 \$ 04

Extra Services & Fees (check box, add fee):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *David + Susan Whitehouse*
 Street and Apt. No., or PO Box No.
 2419 Deer Point Dr
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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SEVERNA PARK, MD 21146

OFFICIAL USE

Certified Mail Fee \$3.55 0455
 \$ 04

Extra Services & Fees (check box, add fee):
 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Richard + Mary Gwyn*
 Street and Apt. No., or PO Box No.
 162 Fairtree Drive
 City, State, ZIP+4®
 Severna Park, MD 21146

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

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 \$ 04

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 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Ruth Morrison Trust + William Milken Trust*
 Street and Apt. No., or PO Box No.
 3060 Marshgate Dr
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

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 \$ 04

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *James Dobson*
 Street and Apt. No., or PO Box No.
 3060 Marshgate Drive
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

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 Return Receipt (hardcopy) \$2.85
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *The Club at Seabrook Island*
 Street and Apt. No., or PO Box No.
 1602 Landfall Way
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

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 \$ 04

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Seabrook Island Property Owners Assoc*
 Street and Apt. No., or PO Box No.
 1602 Landfall Way
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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JOHNS ISLAND, SC 29455

OFFICIAL USE

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.70
 Total Postage and Fees \$7.10

Postmark Here
 07/23/2020

Sent To: *Seabrook Island Property Owners Assoc*
 Street and Apt. No., or PO Box No.
 1602 Landfall Way
 City, State, ZIP+4®
 Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad

TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455
Attn: Faye Allbritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina

County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

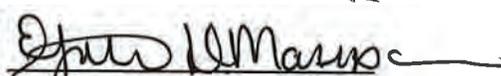
(copy attached)

appeared in the issues of said newspaper on the following day(s):

07/27/20 Mon PC
07/27/20 Mon CNW

at a cost of **\$221.00**
Account# **108294**
Order# **1886347**
P.O. Number:

Subscribed and sworn to before
me this 27th day
of July
A.D. 2020


advertising clerk

NOTARY PUBLIC, SC
My commission expires



TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on Wednesday, August 26, 2020. During the meeting, the board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

Application # 166
APPLICANT: Robert and Katherine Newman (Owners) and Ron Welch (Applicant)
LOCATION: 2750 Gnarled Pine
TAX MAP #: 147-08-00-082
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback

Application # 167
APPLICANT: Eric and Elizabeth Bryan (Owners) and Malcolm Brennan (Applicant)
LOCATION: 2913 Deer Point Drive
TAX MAP #: 149-14-00-029
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line (marsh)

Application # 168
APPLICANT: Leanne and William Spaide (Owners) and Outdoor Spatial Design LLC (Applicant)
LOCATION: 3557 Seaview Drive
TAX MAP #: 147-11-00-049
ZONING DISTRICT: SR Single-Family Residential
VARIANCE(S) REQUESTED: To allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps to encroach approximately 7 feet into the required 15-foot rear yard setback

Documents relating to the variance requests may be viewed on the town's website at www.townofseabrookisland.org.

Individuals who wish to submit a public comment on the variance requests may do so in writing by 12:00 pm on Tuesday, August 25, 2020, using one of the following options:
ONLINE: www.townofseabrookisland.org
EMAIL: tcronin@townofseabrookisland.org
MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel at the following address: <https://www.youtube.com/channel/UCiKf87KnEAPHD1o0KGlaGZg>
For more information, please call (843) 768-9121.

AD# 1886347



ATTACHMENT #15

Public Hearing Notice:
Property Posting



NOTICE 8879 /
Board of Zoning Appeals Hearing
 The Board of Zoning Appeals of the Town of Southside Beach, SC will hold a public hearing of 2:30pm - 4:30pm on 11/16/20 at 12000 Highway 17, Southside Beach, SC.
PUBLIC INVITED
 Property Owner is seeking variances from Section 16.02 of the Zoning Ordinance, Ordinance 2017-111700. A complete list of requests and a transcript will be available at the hearing. 25 Park Street, Southside Beach, SC.
 Questions may be directed to the Planning Department at 25 Park Street, Southside Beach, SC.
 THIS SIGN SHALL NOT BE REMOVED OR DEGRADED
 UNDER PENALTY OF \$500



ATTACHMENT #16

Variance #128: 2913 Deer Point Drive
(Approved April 25, 2002)

Town of Seabrook Island
Variance Application

Date: 1/23/2002 Variance #: 128
Prop Owner: Dudley N. Carpenter Phone 804-378-963
Address: 11790 Edenberry Drive City Richmond State VA
Zip: 23236

Lot: 15 Fee: \$25.00 Check #: 2309
Block: 49 Paid Date: 1/22/2002
TMS: 1491400029 Paid Amount: \$25.00

Agenda Time: 3:00:00 PM Agenda Date 3/28/2002

Board of Zoning Appeals Planning Commission

Variance- Describe (Note-Variance Application must be accompanied by a plat showing lot lines and encroachment

To allow an encroachment into the rear setback from critical and the front setback as shown on site plan. Rear encroachment is maximum of ten (10) feet from critical line. Front is a maximum of nine (9) feet encroachment to the front property line.

Action
Taken:

Applicant

Zoning Administrator

Notice of Appeal – Form 1
Town of Seabrook Island / County of Charleston

Date Filed: _____ Permit Application #. _____ Appeal #. _____

Fee: 15:00 Dollars Fee Paid: _____ Check # _____

Instructions

This form must be completed on a hearing on appeal from action of a zoning official, application for a variance, or application for special exception. Entries must be printed or typewritten. If the application is on behalf of the property owner(s) all owners must sign. If the applicant is not an owner, the owner(s) all must sign the Designation of Agent.

An accurate, legible plot plan showing property dimensions and location of all structures and improvements must be attached to an application for variance or special exception.

THE APPLICANT HEREBY APPEALS [indicate one]:

- From action of a zoning official as stated on attached form 2.
- For a variance as stated on attached form 3.
- For a special exception as stated on attached form 4.

Applicant (S) [print]:

Address: P.O. BOX 1408 JOHN'S ISLAND S.C.
 Telephone: 768-3800 [work] 768-3800 [home]
 Interest: ARCHITECT Owner(s) _____ Adjacent Ower(s); Other _____

Owner(s) [if other than Applicant(s)]: DUDLEY & JANE CARPENTER
 Address: 11790 Edenberry Dr. Richmond, VA 23236
 Telephone: (804) 378-9636 [work] (804) 378-7849 [home]

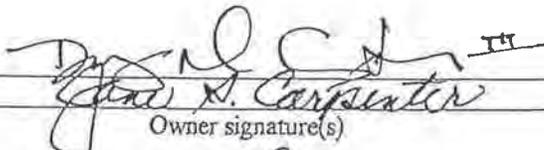
[Use reverse side if more space is needed]

Property Address: 2913 DEER POINT
 Lot 15 Block 49, Subdivision SEABROOK
 Tax Map No. 149 14 00 029 Plat Book, BD Page 25
 Lot dimensions: 100.22 x 106.23 Lot Area Sq. Ft. 12,340 - 10267 HIGHLAND
 Zoning District: _____ 2073 MARCH

Designation of AGENT [complete only if owner is not applicant]:

I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: 1/5/2002



 Owner signature(s)

I (we) certify that the information in this application and attached form 2,3 or 4 is correct.

Date: 2/25/2002 Applicant signature(s) [Signature]

Variance Application- Form 3
Board of Zoning Appeals
Town of Seabrook Island/ County of Charleston

Date Filed: _____ Permit Application #: _____ Appeal # _____

Application Fee: 25 Dollars Fee Paid: _____ Check # _____

1. Applicant hereby appeals to the Board of Zoning Appeals for a variance from the strict application to the property described in the Notice of Appeal [Form 1] of the following provision of the Zoning Ordinance:

ENCROACHMENT OF 7.10.351 MARSH SETBACK

ENCROACHMENT OF 7.10.350 FRONT YARD SETBACK

so that a zoning permit may be issued to allow use of the property in a manner shown on attached plot plan, described as follows: ENCROACHMENT OF FRONT YARD SETBACK 9' (A-3) 6' (A-4)

ENCROACHMENT OF MARSH 10' (A-1) 10' (A-2)

for which a permit has been denied by a zoning official on the grounds that the proposal would be in violation of the cited section(s) of the Zoning Ordinances.

2. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by State law and the ordinance are met by the following facts.

A. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: THE ALLOWABLE BUILDABLE AREA OF ENTIRE LOT IS LESS

THAN MAXIMUM ALLOWABLE LOT COVERAGE AREA. IN ADDITION 50% OF THE WIDTH OF BUILDABLE AREA IS LESS THAN 25' IN WIDTH

B. These conditions do not generally apply to other property in the vicinity as shown by: _____

SIZES AND CONFIGURATIONS OF BUILDABLE AREAS OF PROPERTIES IN VICINITY

C. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: _____

THE SHAPE OF THE ALLOWABLE BUILDABLE AREA IS UNFAIRLY NARROW AND RESTRICTIVELY SMALL FOR AN AVERAGE SIZE HOUSE IN ADJACENT AREA

D. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: THE REQUEST WILL KEEP THE STREET

CHARACTER INTACT WITH MINIMAL ENCROACHMENT OF FRONT YARD SETBACK. MARSH ENCROACHMENT WILL MINIMALLY DISTURB ADJACENT PROPERTY MARSH VIEWS.

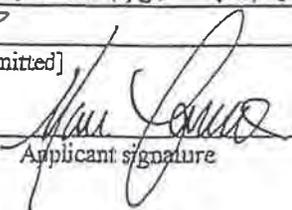
3. The following documents are submitted in support of this application: _____

PLOT PLANS OF LOT 15 AND ADJACENT PLOTS

LOT 15 VIEW OBSTRUCTION MAP

[A plot plan must be submitted]

Date: 2/25/2002


Applicant signature



A.H. SCHWACKE & ASSOCIATES, INC.
 LAND SURVEYING & CONSTRUCTION LAYOUT
 1875 FRANKLIN AVENUE PHONE 843 782-7028 FAX 843 782-0198
 P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

REFERENCE
 PLAT BY E.M. SEABROOK, JR.
 DATED SEPTEMBER 16, 1992
 PLAT BOOK 90 PAGE 25
 RMC CIVIL CO.
 REVISED JANUARY 14, 1995

TAX MAP No. 148-14-00-029
 No. 2913 DEER POINT DRIVE

Highland Area = 10332 sq ft
 Marsh Area = 2008 sq ft

PROPERTY APPEARS TO BE LOCATED
 IN FLOOD ZONE AS (EL. 13)
 AS PER FEMA FLOOD MAPS.
 PANEL NO. 434513 430208 0440 H
 DATED SEPTEMBER 2, 1993

LEGEND
 I.O. IRON OLD (FOUND)
 I.N. IRON NEW (SET)
 T.B. TELEPHONE BOX
 E.B. ELECTRIC BOX
 S.S.M. SANITARY SEWER MANHOLE
 * SPOT ELEVATION (NOVD '29)
 ● 12" (DB) PALMETTO TREE
 12" PALM

Owner:
 DUDLEY CARPENTER & JANE CARPENTER

SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or projections other than shown. This Survey is not valid unless it bears the original signature and has an embossed seal. Area determined by coordinate method.

A.H. Schwacke, P.E., S.L.S.
 S.C. Registration Number 13855

THE AREA SHOWN ON THIS PLAT IS GENERAL REPRESENTATION OF DNEC-OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DNEC-OCRM, THE OFFICE OF CORN IN NO WAY WAIVES THE RIGHT TO ASSESS PERMIT JURISDICTION AT ANY TIME, IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

[Signature] 03-26-02 DATE

The critical line shown on this plat is valid for three years from the date of this signature, subject to the customary signage clause.

NOTES:
 BEARINGS SHOWN ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 AREA DETERMINED BY COORDINATE METHOD.
 THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.
 ELEVATIONS ARE BASED ON NOVD '29 DATUM.
 THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.
 SETBACKS SHOWN ARE SCALED FROM PLAT OF RECORD AND DOES NOT REPRESENT SEABROOK ISLAND SETBACKS.

TREE & TOPOGRAPHIC SURVEY
 LOT 15 BLOCK 49
 SEABROOK ISLAND
 CHARLESTON COUNTY SOUTH CAROLINA
 DATE: JULY 10, 2001 SCALE: 1" = 10'
 REVISED: MARCH 22, 2002 (DNEC-OCRM-OCRM CRITICAL LINE)

REMARKS:
 THIS PLAT IS CORRECTED AND IS INTENDED ONLY FOR THE ENTRY OR RECORDS SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 Name: C:\PROJECTS\04163207\04163207.DWG



A.H. SCHWACKE & ASSOCIATES, INC.
LAND SURVEYING & CONSTRUCTION LAYOUT
 1578 HANFORD ROAD, PHONE 843-752-7555 FAX 843-762-9108
 P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29423-3077

REFERENCE
 PLAT BY E.M. SEABROOK, JR.
 DATED SEPTEMBER 14, 1982
 PLAT BOOK 80 PAGE 23
 P.M.C. CIVIL CO.
 REVISED JANUARY 14, 1985

THE MAP NO. 149-11-00-029
 IN 2012 DEER POINT DRIVE

Highland Area = 10,267 sq ft
 Marsh Area = 2,075 sq ft

PROPERTY APPEARS TO BE LOCATED
 IN FLOOD ZONE AS (FL 13)
 AS PER FEMA FLOOD MAPS.
 PANEL No. 450417 450278 0440 H
 DATED SEPTEMBER 2, 1982

- LEGEND
- 10. IRON OLD (FOUND)
 - 16. IRON NEW (SET)
 - 18. TELEPHONE BOX
 - 19. ELECTRIC BOX
 - 20. SEWER SANITARY SEWER MANHOLE
 - SPOT ELEVATION (NOV 78)
 - ⊙ 12" (DN) PALMETTO TREE
 - 12794

Owner:
 DOULEY CARPENTER & JANE CARPENTER

SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class _____ survey as specified therein, and there are no visible encroachments or projections other than shown. This Survey is not valid unless it bears the original signature and has an embossed seal area determined by boardplate method.

A.H. Schwacke
 A.H. SCHWACKE, R. L.L.S.
 S.C. Registration Number 13855



CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTRUMENTS OR SUBSEQUENT OWNERS
 THIS PLAN IS COPYRIGHTED AND IS INTENDED ONLY FOR THE PARTY OR PARTIES(S) SHOWN HEREON. THIS PLAN REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 File Name: C:\PROJECTS\01032078\01032078.DWG



SITE PLAN STATISTICS	
LOT AREA	10,267 SQ. FT. HIGHLAND 2,075 SQ. FT. MARSH
ALLOWABLE LOT COVERAGE	25% (2566 SF)
BUILDING AREA	2164 SF
PERCENTAGE OF LOT COVERED	21.07% (HIGHLAND)
HEATED AND COOLED SF	3150 SF
FLOOD ELEVATION	13.0 FEET
FIRST FLOOR ELEVATION	17.5 FEET
SECOND FLOOR ELEVATION	27.8 FEET
HT. OF BLDG. ABOVE AVE. GRADE	31.83 FT.

NOTES:
 SETBACKS SHOWN ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 AREA DETERMINED BY COORDINATE METHOD.
 THE PARCEL RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARY BY THE SEABROOK ISLAND ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.
 ELEVATIONS ARE BASED ON NOV 78 DATA.
 THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS ADDITIONAL SETBACKS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.
 SETBACKS SHOWN ARE BASED FROM PLAT OF RECORD AND DOES NOT REPRESENT SEABROOK AIR SETBACKS.

TREE & TOPOGRAPHIC SURVEY
 LOT 15 BLOCK 49
 SEABROOK ISLAND
 CHARLESTON COUNTY SOUTH CAROLINA

DATE: JULY 10, 2001 SCALE: 1" = 10'
 REVISED: MARCH 22, 2002 (DHEC CORR-CORR CRITICAL LINE)
 REVISED: APRIL 16, 2002 (SETBACKS)

REUSE SITE PLAN 9" SWANITE

Town of Seabrook Island

Board of Zoning Appeals

**Minutes
April 25, 2002**

Members Present:

Walter Diesing-Chairman
Donald Stock-Vice-Chairman
Wayne Hockersmith
Tom Kent
William Wolfe
Douglas Smith, Zoning Administrator
Lynda Whitworth-Secretary

Guest Attending:

Mr. and Mrs. Hank Billeter
Mark Camens, Architect
Mr. and Mrs. Dudley Carpenter
Stephen Delaney, Builder
Robert Giuffreda, Exec. Director POA
Wayne Windam, Architect

Chairman Walter Diesing called the Board of Zoning Appeals meeting to order April 25, 2002, at 3:00 p.m. All requirements of the Freedom of Information Act were fulfilled and the meeting was properly posted. Chairman Diesing swore the testimony of the Zoning Administrator and all persons that would be giving testimony.

Approval of March 28, 2002, Minutes

Draft minutes of the March 28, 2002, meeting were distributed to the Board members. Commissioner Tom Kent suggested a change in sentence structure used in section one Approval of March 28, 2002, minutes. Vice-Chairman Donald Stock moved to approve the minutes as amended. Commissioner William Wolfe seconded the motion. The motion was unanimously approved.

Continuance of Variance 128 Appeal 31 Dudley and Jane Carpenter

At the March 28, 2002, appeal hearing the Board of Appeals requested revised plans for proposed construction of the Carpenter's home to be located at 2913 Deer Point Drive. The Board requested the following before considering the appeal:

- Reduce the square footage of construction plans for the home
- Move the footprint of the home closer to a large berm located in the front of the yard
- Pivot the location of the home

Revised plans presented by Architect Mark Camens resulted in a narrower shaped home with front and rear porches. The construction footprint was located closer to the berm as requested by the Board. Mr. Camens and the property owners Dudley and Jane Carpenter stated that prior to the incorporation of the Town the lot met all zoning requirements and providing a hardship

Page 2
Board of Zoning Appeals
April 25, 2002

Robert Giuffreda, representing the Property Owner's Association asked the Board to deny the variance and require the construction plans to fit the lot size without encroaching setbacks. Mr. Giuffreda added that the POA does not approve construction plans that would require a zoning variance.

Mr. and Mrs. Hank Billeter, Seabrook Island property owners, appealed to the Board to deny the variance at the March 28th hearing. Mr. Billeter informed the Board that prior to drawing construction plans for his home on neighboring lot 16, he had reviewed all POA ARB building guidelines and requirements. Mr. Billeter listed these reasons for denying the variance request:

- The variance would be unfair to adjacent property owners that have complied with setback requirements.
- The appeal does not meet the criteria for a variance and if approved may affect future appeals by setting a precedence.

Mr. Camens reasoned that the appeal meets the conditions for approval of a variance because other lots within the cul-de-sac were not adversely affected when the Town incorporated. He added that the ordinance is unreasonably strict and approval of the variance would not be a detriment to other property.

Chairman Diesing advised the applicants Dudley and Jane Carpenter that the Board would forward its determination within 7 days.

Variance 129 Appeal 32 Conrad and Isabel Kottack

Mr. and Mrs. Kottack are property owners of 2742 Amber Jack Court and are appealing to the Town for relief by variance of Ordinance 7.10.270 Setback Encroachment. The property owners were unable to attend the hearing and were represented by the Architect Wayne Windam and the builder Stephen Delaney.

Mr. and Mrs. Kottack provided the Town with copies of certified letters to adjacent property owners advising the neighbors of the variance request. There were no objections to the variance request by neighbors.

Board Zoning Appeals
Order on Variance

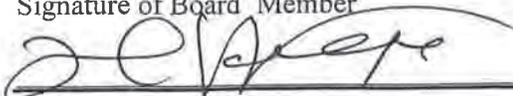
Date filed: 4/29/02
Permit Application # 128 Appeal # 31

Dudley and Jane Carpenter
2913 Deer Point Drive
Seabrook Island, SC 29455

The Board of Zoning Appeals held a public hearing ON April 25, 2002 to consider the appeal of Dudley and Jane Carpenter for a variance from the strict application of the Zoning Ordinance as set forth in the form 3 affecting the property described on form 1 filed herein. After consideration of the evidence and arguments presented, the Board makes the following finding of fact and conclusions.

1. The Board concludes that the Applicant has does not have an unnecessary hardship because there are extraordinary and exceptional conditions pertaining to the particular piece of property based on the following finding of fact: This involves a very small lot in a neighborhood of larger lots and homes. Luckily there is a substantial natural berm on the front of the property which eases the disadvantages from siting the house so close to the cul-de-sac. My approval is conditioned on the maintenance of that berm.
2. The Board concludes that these conditions do do not generally apply to other property in the vicinity based on the following finding of fact: This lot is unique in size and topography.
3. The Board concludes that because of these conditions, the application of the ordinance to the particular piece of property would would not effectively prohibit or unreasonably restrict the utilization of the property based on the following findings of fact: The planned house has already been reduced in size. Further reduction does not appear reasonable.
4. The Board concludes that authorization of the variance will will not be of substantial detriment to adjacent property or to the public good, and the character of the district will will not be harmed by the granting of the variance based on the following finding of fact: Reduction in size and resiting of the planned house at the Board's request, has eliminated the objectionable sight line obstructions of the earlier plan. The berm will shield*
5. The Board concludes that the effect of the variance NA would NA would not be to allow establishment of a use not otherwise permitted in the zoning district, based on Sec. NA of the ordinance; and NA would or would not extend physically a nonconforming use of the land; and NA would would not change the zoning district boundaries shown on the official zoning map, based on the following findings of fact.

Signature of Board Member



Date: 4/29/02

the front of the house from the cul-de-sac.

Board Zoning Appeals
Order on Variance

Date filed: _____
Permit Application # 128 Appeal # 31

Dudley and Jane Carpenter
2913 Deer Point Drive
Seabrook Island, SC 29455

The Board of Zoning Appeals held a public hearing ON April 25, 2002 to consider the appeal of Dudley and Jane Carpenter for a variance from the strict application of the Zoning Ordinance as set forth in the form 3 affecting the property described on form 1 filed herein. After consideration of the evidence and arguments presented, the Board makes the following finding of fact and conclusions.

1. The Board concludes that the Applicant X has _____ ~~does not have~~ an unnecessary hardship because there are extraordinary and exceptional conditions pertaining to the particular piece of property based on the following finding of fact: The lot in question, as originally laid out, had a reasonable building area. New setback rules coupled with a peculiarly off-center cul-de-sac, however, have rendered the lot essentially unbuildable.
2. The Board concludes that these conditions ~~do~~ do not generally apply to other property in the vicinity based on the following finding of fact: Other lots in the area do not have the same problem, essentially because none of them are affected by the location and shape of the cul-de-sac.
3. The Board concludes that because of these conditions, the application of the ordinance to the particular piece of property X would _____ ~~would not~~ effectively prohibit or unreasonably restrict the utilization of the property based on the following findings of fact: See 1 & 2 above.
4. The Board concludes that authorization of the variance _____ ~~will~~ X will not be of substantial detriment to adjacent property or to the public good, and the character of the district _____ ~~will~~ X will not be harmed by the granting of the variance based on the following finding of fact: The property owner should be allowed to re-file for a variance based on a plan that is an improvement over that presented on April 25, 2002.
5. The Board concludes that the effect of the variance NA _____ would / NA _____ would not be to allow establishment of a use not otherwise permitted in the zoning district, based of Sec. NA of the ordinance; and NA would or would not extend physically a nonconforming use of the land; and NA would _____ would not change the zoning district boundaries shown on the official zoning map, based on the following findings of fact.

Signature of Board Member

Donald H. Stock

Date: April 28, 2002

Board Zoning Appeals
Order on Variance

Date filed: _____
Permit Application # 128 Appeal # 31

Dudley and Jane Carpenter
2913 Deer Point Drive
Seabrook Island, SC 29455

The Board of Zoning Appeals held a public hearing ON March 28, 2002 to consider the appeal of Dudley and Jane Carpenter for a variance from the strict application of the Zoning Ordinance as set forth in the form 3 affecting the property described on form 1 filed herein. After consideration of the evidence and arguments presented, the Board makes the following finding of fact and conclusions.

1. The Board concludes that the Applicant has ~~_____ does not have~~ an unnecessary hardship because there are extraordinary and exceptional conditions pertaining to the particular piece of property based on the following findings of fact:

(1) A small non-conforming lot on a cul-de-sac so that circular front set-back cuts significantly into original platted building area. (2) Lot is considerably smaller than other lots in vicinity. (3) Lot is ~~not~~ not deep so that set back from OCRM line further squeezes building area.

2. The Board concludes that these conditions ~~_____ do~~ do not generally apply to other property in the vicinity based on the following finding of fact:

Other lots in vicinity are significantly larger and deeper. This lot is only about 95' deep and with set backs the building area at center of lot is only about 25'. As a practical result width of house in major portion of lot would be only one room ~~wide~~ deep. Two completed houses near by are quite gracious

3. The Board concludes that because of these conditions, the application of the ordinance to the particular piece of property would ~~_____ would not~~ effectively prohibit or unreasonably restrict the utilization of the property based on the following findings of fact:

and would be adversely impacted by a new house which fails to match up.

4. The Board concludes that authorization of the variance ~~_____ will~~ will not be of substantial detriment to adjacent property or to the public good, and the character of the district ~~_____ will~~ will not be harmed by the granting of the variance based on the following finding of fact:

Adjacent sight lines of neighbors are not blocked, passing by on road would not observe ^{small} non-conforming building because of high berm in front of house.

5. The Board concludes that the effect of the variance NA _____ would NA _____ would not be to allow establishment of a use not otherwise permitted in the zoning district, based of Sec. NA of the ordinance; and NA would or would not extend physically a nonconforming use of the land; and NA would _____ would not change the zoning district boundaries shown on the official zoning map, based on the following findings of fact.

Signature of Board Member

[Signature]

Date: 4/25/02

typical would be within the neighborhood

potentially

Board Zoning Appeals
Order on Variance

Date filed: _____
Permit Application # 128 Appeal # 31

Dudley and Jane Carpenter
2913 Deer Point Drive
Seabrook Island, SC 29455

The Board of Zoning Appeals held a public hearing ON March 28, 2002 to consider the appeal of Dudley and Jane Carpenter for a variance from the strict application of the Zoning Ordinance as set forth in the form 3 affecting the property described on form 1 filed herein. After consideration of the evidence and arguments presented, the Board makes the following finding of fact and conclusions.

1. The Board concludes that the Applicant has _____ does not have an unnecessary hardship because there are extraordinary and exceptional conditions pertaining to the particular piece of property based on the following finding of fact: the building Area of This small lot is Semi-Circle in Shape, making it impossible to place a Suitable Home on this lot without a Variance
2. The Board concludes that these conditions _____ do do not generally apply to other property in the vicinity based on the following finding of fact: Other properties in This Vicinity are Larger and have Larger building Areas
3. The Board concludes that because of these conditions, the application of the ordinance to the particular piece of property would _____ would not effectively prohibit or unreasonably restrict the utilization of the property based on the following findings of fact: Other homes in This neighborhood are in The 2500 - 3000 Square foot Footprint Size. A home Smaller than the one proposed would look out of Place.
4. The Board concludes that authorization of the variance _____ will will not be of substantial detriment to adjacent property or to the public good, and the character of the district _____ will will not be harmed by the granting of the variance based on the following finding of fact: High berm in front of Home will shield a portion of the Variance from View
5. The Board concludes that the effect of the variance NA _____ would NA _____ would not be to allow establishment of a use not otherwise permitted in the zoning district, based on Sec. NA of the ordinance; and NA would or would not extend physically a nonconforming use of the land; and NA would _____ would not change the zoning district boundaries shown on the official zoning map, based on the following findings of fact.

Signature of Board Member

Walter P. Jursing

Date:

4/29/02

Board Zoning Appeals
Order on Variance

Date filed: April 25, 2002
Permit Application # 128 Appeal # 31

Dudley and Jane Carpenter
2913 Deer Point Drive
Seabrook Island, SC 29455

The Board of Zoning Appeals held a public hearing ON April 25, 2002 to consider the appeal of Dudley and Jane Carpenter for a variance from the strict application of the Zoning Ordinance as set forth in the form 3 affecting the property described on form 1 filed herein. After consideration of the evidence and arguments presented, the Board makes the following finding of fact and conclusions.

1. The Board concludes that the Applicant ✓ has does not have an unnecessary hardship because there are extraordinary and exceptional conditions pertaining to the particular piece of property based on the following finding of fact: THE OFFSET CUL-DE-SAC DOES PRESENT A UNIQUE SITUATION TO THE PROPERTY CONCERNING THE FRONT SETBACK AND THE RESULTING UNUSUALLY SHAPED BUILDING FOOTPRINT. HOWEVER THE PROPOSED REAR (MARSH) SETBACK VIOLATION CAN BE CORRECTED BY REDUCING THE SIZE OF THE COVERED PORCH ON THE REAR OF THE HOUSE OR BY MAKING IT A DECK.
2. The Board concludes that these conditions do ✓ do not generally apply to other property in the vicinity based on the following finding of fact: OTHER PROPERTIES DO NOT HAVE A SIMILAR SITUATION AS THAT CREATED BY THE COMBINATION OF THE OFFSET CUL-DE-SAC AND THE REQUIRED MARSH SETBACK WHICH CREATES AN UNUSUALLY SHAPED BUILDING FOOTPRINT
3. The Board concludes that because of these conditions, the application of the ordinance to the particular piece of property would ✓ would not effectively prohibit or unreasonably restrict the utilization of the property based on the following findings of fact: EVEN THOUGH THE CUL-DE-SAC SITUATION AND REQUIRED MARSH SETBACK DOES LIMIT THE TYPE AND SIZE OF HOUSE THAT CAN BE BUILT, A REASONABLY SIZED HOUSE COULD BE BUILT.
4. The Board concludes that authorization of the variance ✓ will will not be of substantial detriment to adjacent property or to the public good, and the character of the district ✓ will will not be harmed by the granting of the variance based on the following finding of fact: OWNER KNEW THE LOT WAS SMALL AND UNUSUALLY SHAPED AT TIME OF PURCHASE, SO THE OWNER IS REQUIRED TO MAKE A BEST EFFORT TO DESIGN A HOUSE TO PROPERLY FIT THE LOT AND ELIMINATE THE NEED FOR VARIANCES.
5. The Board concludes that the effect of the variance NA would NA would not be to allow establishment of a use not otherwise permitted in the zoning district, based of Sec. NA of the ordinance; and NA would or would not extend physically a nonconforming use of the land; and NA would would not change the zoning district boundaries shown on the official zoning map, based on the following findings of fact.

Signature of Board Member

Wayne R. Helmsmith

Date: APRIL 27, 2002



ATTACHMENT #17

Variance #159: 2566 Seabrook Island Road
(Approved March 22, 2019)



NOTICE OF DECISION

Board of Zoning Appeals
Town of Seabrook Island

TO: James & Deborah Ott, 2566 Seabrook Island Road, Seabrook Island, SC 29455
FROM: Walter Sewell, Chair, Board of Zoning Appeals
SUBJECT: Notice of Decision – Variance Application #159 (2566 Seabrook Island Road)
DATE: March 26, 2019

James and Deborah Ott (hereafter, the “Property Owners”) are the owners of real property located at 2566 Seabrook Island Road (Tax Map # 147-01-00-033), in the Town of Seabrook Island, County of Charleston, State of South Carolina (hereafter, the “Property”).

On January 30, 2019, the Town of Seabrook Island (hereafter, the “Town”) received a completed variance application (Application #159) from the Property Owners, as well as their architect, Mr. Chris Bonner of b Studio Architecture (hereafter, collectively, the “Applicants”). In order to permit installation of a pool/swim spa and hot tub within a new deck expansion (to be constructed) as well as a brick paver patio and fire pit in the rear yard of the Property, the Applicants sought approval from the Town’s Board of Zoning Appeals (hereafter, the “Board”) to grant relief from the following setback requirement, as provided by the Town’s Development Standards Ordinance (hereafter, the “DSO”):

Type	DSO Reference	DSO Requirement	Variance Requested
Marsh Setback	§ 7.60.50	25 feet	Reduce the marsh setback to 15 feet to allow the pool/swim spa and hot tub to be located within the open deck <u>and</u> Reduce the marsh setback to 5 feet to allow the paver patio and fire pit to be installed as shown on proposed site plan

As part of their variance request, the Applicants stated that strict application of the 25-foot marsh setback requirement would result in an unnecessary hardship. The Applicants further argued:

- (a) The existing home and deck were built by a previous owner, before current restrictions were in place, and in a manner that would not allow these features to be added in another location on the lot;
- (b) The unique shape of the lot and marsh location, the home's placement on the lot, and the existing configuration of the home creates a specific hardship that is not found on neighboring property;
- (c) The strict application of the ordinance would restrict the homeowners' ability to utilize their rear deck space and access the non "built on" portion of the lot for relaxation and recreational purposes that other properties are able to utilize; and
- (d) The granting of the Variance will allow similar uses that neighboring properties are able to enjoy currently. The spa feature will be minimally visible with open decking below; and a low, permeable area, made of natural materials for a fire pit will be well shielded by vegetation.

A public hearing on the Applicants' variance request was advertised, pursuant to § 19.30.20.30 of the DSO, and held at 2:30 PM on Friday, March 22, 2019, at Seabrook Island Town Hall. During the public hearing, the Board heard testimony from the Applicants and the Town's Zoning Administrator. In addition, one neighboring property owner provided testimony in support of the Applicants' variance request. No other public comments were received in support of, or in opposition to, the request prior to the public hearing. An agenda packet, including supporting materials, was prepared by the Zoning Administrator and distributed to members of the Board and the Applicants in advance of the meeting. These materials were also made available for public inspection prior to the meeting.

Pursuant to § 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are extraordinary and exceptional conditions pertaining to the particular piece of property;
- (b) these conditions do not generally apply to other property in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- (d) the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

Further, § 6-29-800(A)(2)(d)(i) of the South Carolina Code of Laws permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

DECISION

Following a thorough review of the application, including all supporting materials received in advance of the meeting, and all testimony received during the public hearing, Mr. Leggett made the following motion regarding the variance request for the **SWIM SPA/HOT TUB**, which was seconded by Mr. Fox:

- 1) **The Board finds that strict application of the Town’s DSO would result in an unnecessary hardship;**
- 2) **For the reasons referenced in the Applicants’ request for variance, the Board finds that the Property meets the criteria for approval of a variance, as outlined in § 6-29-800(A)(2) of the SC Code of Laws; and**
- 3) **The requested variance is hereby approved, and the marsh setback requirement for the Property is amended, as follows:**

Type	DSO Requirement	Variance APPROVED
Marsh Setback	25 feet	Reduce the march setback to 15 feet to allow the pool/swim spa and hot tub to be located within the open deck as shown on the proposed site plan

The motion to grant the variance was **APPROVED** by a vote of 3-1, with Chairman Sewell, Mr. Leggett and Mr. Fox voting IN FAVOR, and Ms. Kleinman OPPOSED.

Mr. Leggett then made the following motion regarding the variance request for the **PAVER PATIO & FIRE PIT**, which was seconded by Mr. Fox:

- 1) **The Board finds that strict application of the Town’s DSO would result in an unnecessary hardship;**
- 2) **For the reasons referenced in the Applicants’ request for variance, the Board finds that the Property meets the criteria for approval of a variance, as outlined in § 6-29-800(A)(2) of the SC Code of Laws; and**
- 3) **The requested variance is hereby approved, and the marsh setback requirement for the Property is amended, as follows:**

Type	DSO Requirement	Variance APPROVED
Marsh Setback	25 feet	Reduce the march setback to 5 feet to allow the paver patio and fire pit to be installed as shown on proposed site plan

The motion to grant the variance was **APPROVED** by a vote of 3-1, with Chairman Sewell, Mr. Leggett and Mr. Fox voting IN FAVOR, and Ms. Kleinman OPPOSED.

To protect established property values in the surrounding area, and to promote the public health, safety, and general welfare, Mr. Fox made a motion, seconded by Mr. Leggett, to attach the following conditions to the above references variances, as allowed by § 6-29-800(A)(2)(d)(i) of the South Carolina Code of Laws:

- **The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the applicant and reviewed by the Board on March 22, 2019. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town’s DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.**
- **The variances shall expire on September 25, 2022 (five years from the date of the current OCRM Critical Line Certification) if no zoning permit has been issued by the town on or before that date.**

The motion to attach the conditions to the two variances was **APPROVED** by a vote of 4-0.

RIGHT TO APPEAL

Pursuant to § 6-29-800 of the South Carolina Code of Laws, a property owner whose land is the subject of a decision by the Town’s Board of Zoning Appeals may appeal that decision to the circuit court for Charleston County by filing with the Clerk of Court a petition in writing setting forth plainly, fully, and distinctly why the decision is contrary to law. An appeal must be filed within thirty days from the postmark date of this notice. In filing an appeal, a property owner may also request pre-litigation mediation in accordance with § 6-29-825 of the South Carolina Code of Laws.

IT IS SO ORDERED

Respectfully submitted,



Walter Sewell
Chair, Board of Zoning Appeals

**Notice of Appeal - Form 1
Board of Zoning Appeals**

Date Filed: _____ Permit Application No. _____ Appeal No. _____

Instructions

This form must be completed for a hearing on **appeal** from action of a zoning official, application for a **variance** or application for **special exception**. Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Designation of Agent. An accurate, legible plot plan showing property dimensions and locations of structures and improvements must be attached to an application for variance or special exception.

THE APPLICANT HEREBY APPEALS [indicate one]:

- from action of a zoning official as stated on attached Form 2
- for a variance as stated on attached Form 3.
- for a special exception as stated on attached Form 4.

APPLICANT(S) [print] Chris Bonner - b Studio Architecture

Address: 582 Rutledge Ave

Telephone: 843.608.1858 [work] _____ [home]

Interest: _____ Owner(s): _____ Adjacent Owner(s); Other: Architect

OWNER(S) [if other than Applicant(s)]: James & Deborah Ott

Address: 2566 Seabrook Island Road

Telephone: _____ [work] (570) 840-7435 home]

[Use reverse side if more space is needed.]

PROPERTY ADDRESS:

Lot 49 Block 5 Subdivision Seabrook Island

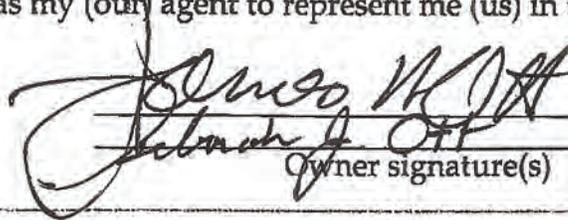
Tax Map No. 147-01-00-033 Plat Book AD Page 95

Lot Dimensions: 122' x 195' Area: 23,802 S.F.

Zoning District: SFR Zoning Map Page: _____

DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: 1/30/19



Owner signature(s)

I (we) certify that the information in this application and the attached Form 2, 3 or 4 is correct.

Date: 1/30/19



Applicant signature(s)

Variance Application - Form 3
Board of Zoning Appeals

Date Filed: _____ Permit Application No. _____ Appeal No. _____

1. Applicant hereby appeals to the board of zoning appeals for a variance from the strict application to the property described in the Notice of Appeal [Form 1] of the following provisions of the zoning ordinance:

Section 7.60.50 & 9.40- Owner requests relief of 25' setback requirement for Spa & Paver /Fire Pit area.

so that a zoning permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: Owner requests to reconfigure existing deck to add concealed spa inside new deck structure & add "Masonry Fire Pit" w/permeable pavers inside setback.

for which a permit has been denied by a zoning official on the grounds that the proposal would be in violation of the cited section(s) of the zoning ordinance.

2. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by state law and the ordinance are met by the following facts:

a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: The existing home and deck were built by a previous owner, before current restrictions were in place, and in a manner that would not allow these features to be added in another location on the lot.

b. These conditions do not generally apply to other property in the vicinity as shown by: The unique shape of the lot and marsh location, the homes placement on the lot, and the existing configuration of the home creates a specific hardship that is not found on neighboring property

c. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: The strict application of the ordinance would restrict the homeowners ability to utilize their rear deck space and access the non "built on" portion of the lot for relaxation and recreational purposes that other properties are able to utilize.

d. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: The granting of the Variance will allow similar uses that neighboring properties are able to enjoy currently. The spa feature will be minimally visible with open decking below; and a low, permeable area, made of natural materials for a fire pit will be well shielded by vegetation.

3. The following documents are submitted in support of this application: _____
Documents, including a plot plan labeled A100-104, A201, A310 [A plot plan must be submitted.]

Date: 1/30/19



Applicant signature



1 Aerial
1" = 80'-0"

Project Information

Owners: James & Deborah Ott
 Address: 2566 Seabrook Island Rd,
 Johns Island 29455-6006
 TMS#: 147-01-00-033

Zoning - SR (Single Family Residential District)
 (No Changes to Conditioned Space)
 Lot coverage (only Changes are to open deck
 configuration)
 Marsh Setbacks; 25' (house), 15' (open decks)

Flood Zone: AE 13
 FFE 16.8

Seabrook Residence
 2566 Seabrook Island Road
 Seabrook Island, SC



Chris Bonner, Architect
 582 Rutledge Ave
 Charleston SC, 29403
 843.608.1858
 www.bStudioArchitecture.com



FULL SIZE - 22" X 34"
 HALF SIZE - 11" X 17"



Client:

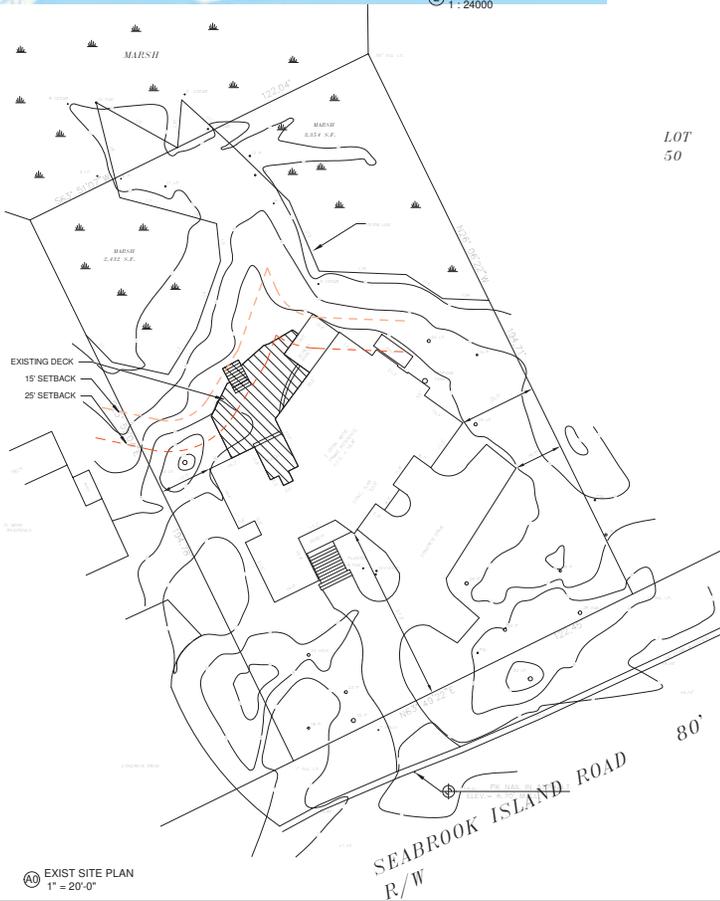
MEMBER OF THE AMERICAN
 INSTITUTE OF ARCHITECTS
 COPYRIGHT 2019, ALL RIGHTS
 RESERVED. PRINTED OR
 ELECTRONIC DRAWINGS AND
 DOCUMENTATION MAY NOT BE
 REPRODUCED IN ANY FORM
 WITHOUT THE WRITTEN PERMISSION
 FROM CHRIS BONNER AIA

Date 01/30/19

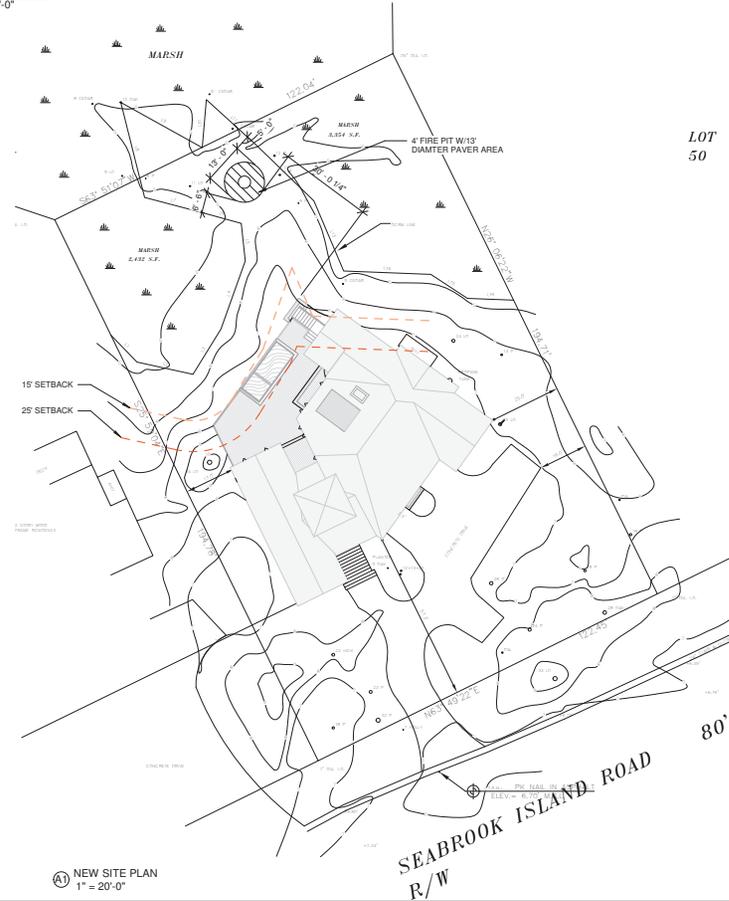
Drawn By CCB

Scale As indicated

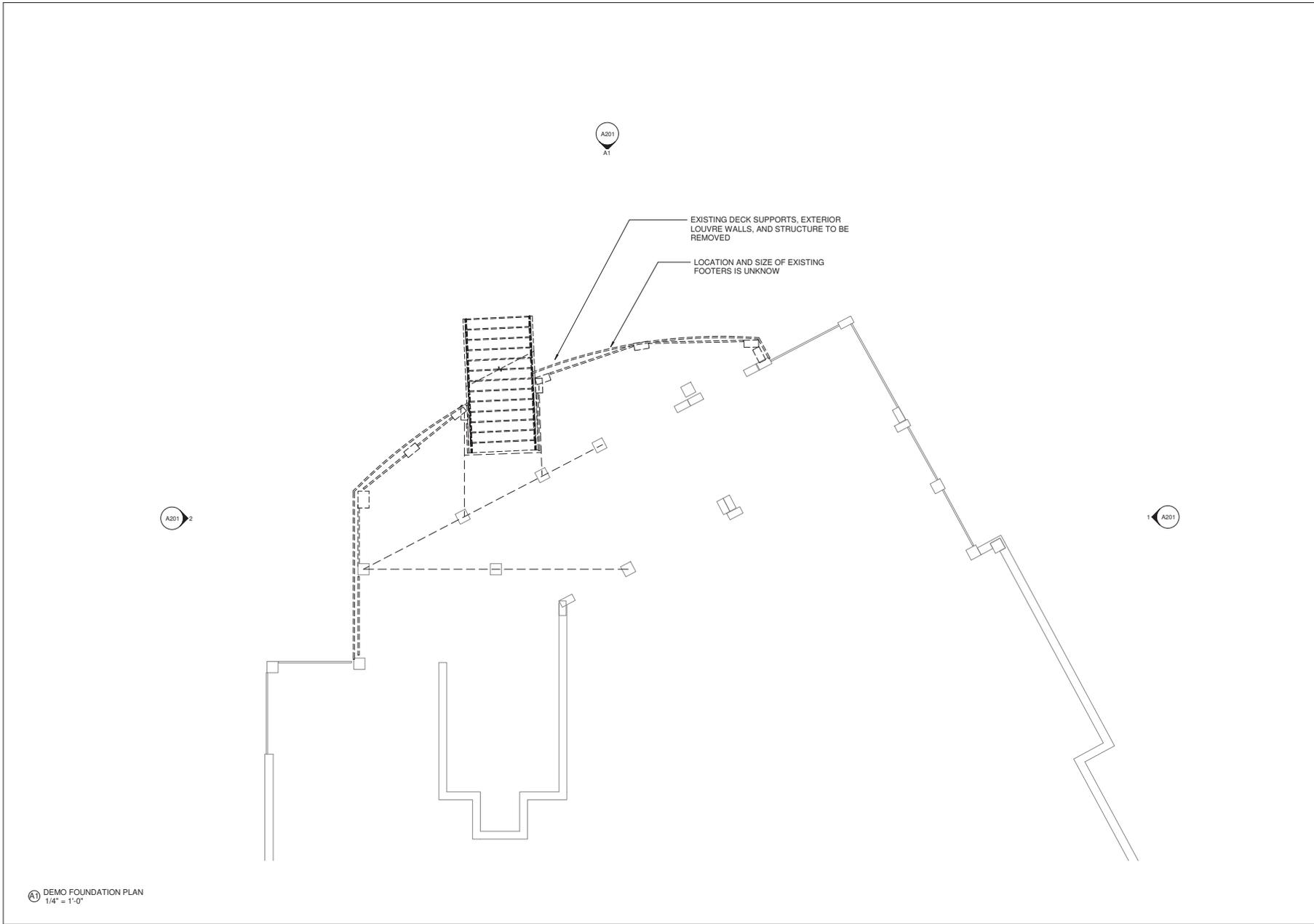
A100
 PROPOSED SITE
 PLAN



A0 EXIST SITE PLAN
1" = 20'-0"



A1 NEW SITE PLAN
1" = 20'-0"



Seabrook Residence
2566 Seabrook Island Road
Seabrook Island, SC



Chris Bonner, Architect
582 Rutledge Ave
Charleston SC, 29403
843.608.1858
www.bStudioArchitecture.com



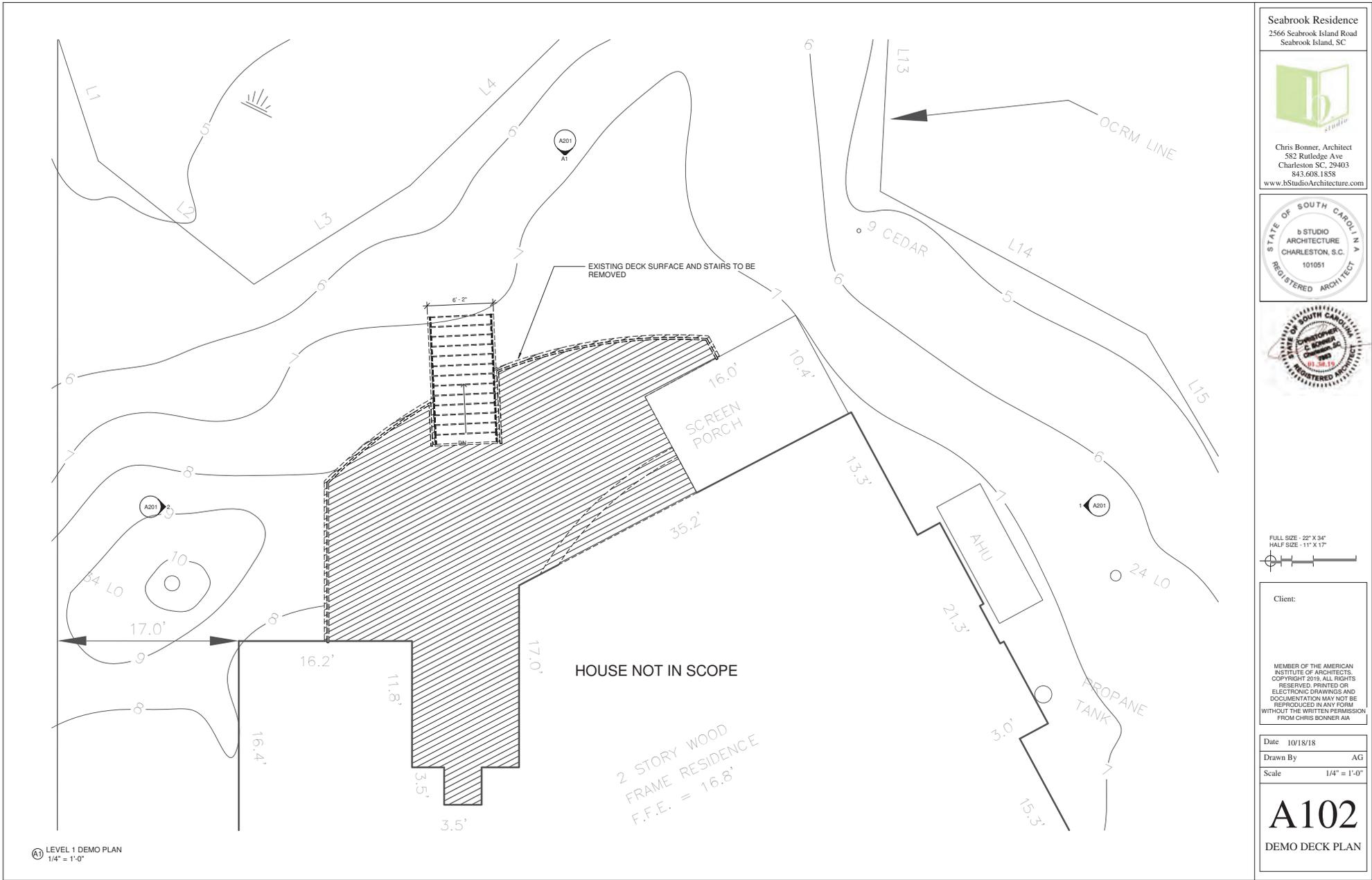
FULL SIZE - 22" X 34"
HALF SIZE - 11" X 17"

Client:

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Date 10/18/18
Drawn By Author
Scale 1/4" = 1'-0"

A101
DEMO
FOUNDATION
PLAN



A1 LEVEL 1 DEMO PLAN
1/4" = 1'-0"

Seabrook Residence
2566 Seabrook Island Road
Seabrook Island, SC



Chris Bonner, Architect
582 Rutledge Ave
Charleston SC, 29403
843.608.1858
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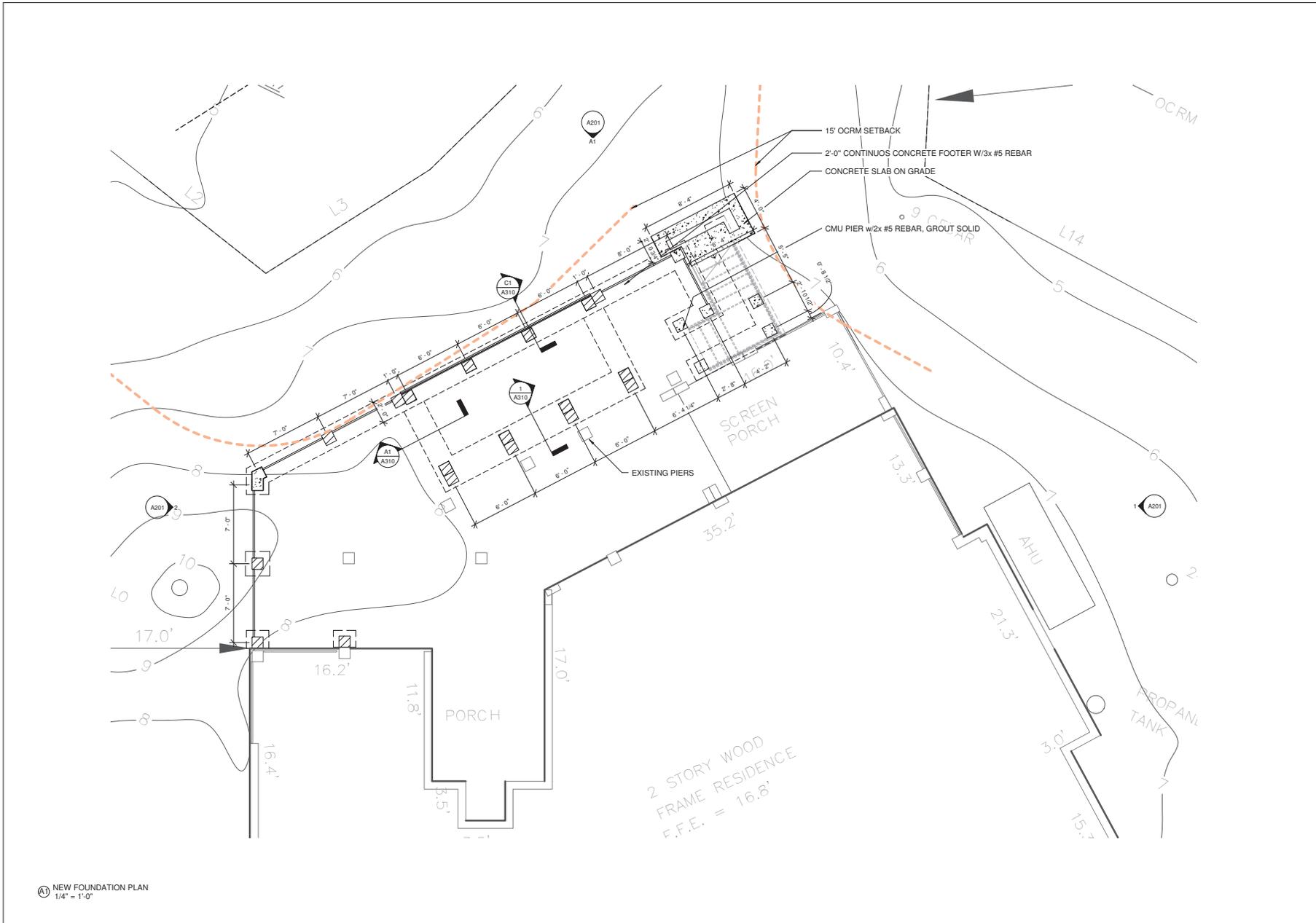
FULL SIZE - 22" X 34"
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Date 10/18/18
Drawn By AG
Scale 1/4" = 1'-0"

A102
DEMO DECK PLAN



Seabrook Residence
 2566 Seabrook Island Road
 Seabrook Island, SC



Chris Bonner, Architect
 582 Rutledge Ave
 Charleston SC, 29403
 843.608.1858
 www.bStudioArchitecture.com



FULL SIZE - 22" X 34"
 HALF SIZE - 11" X 17"

Client:

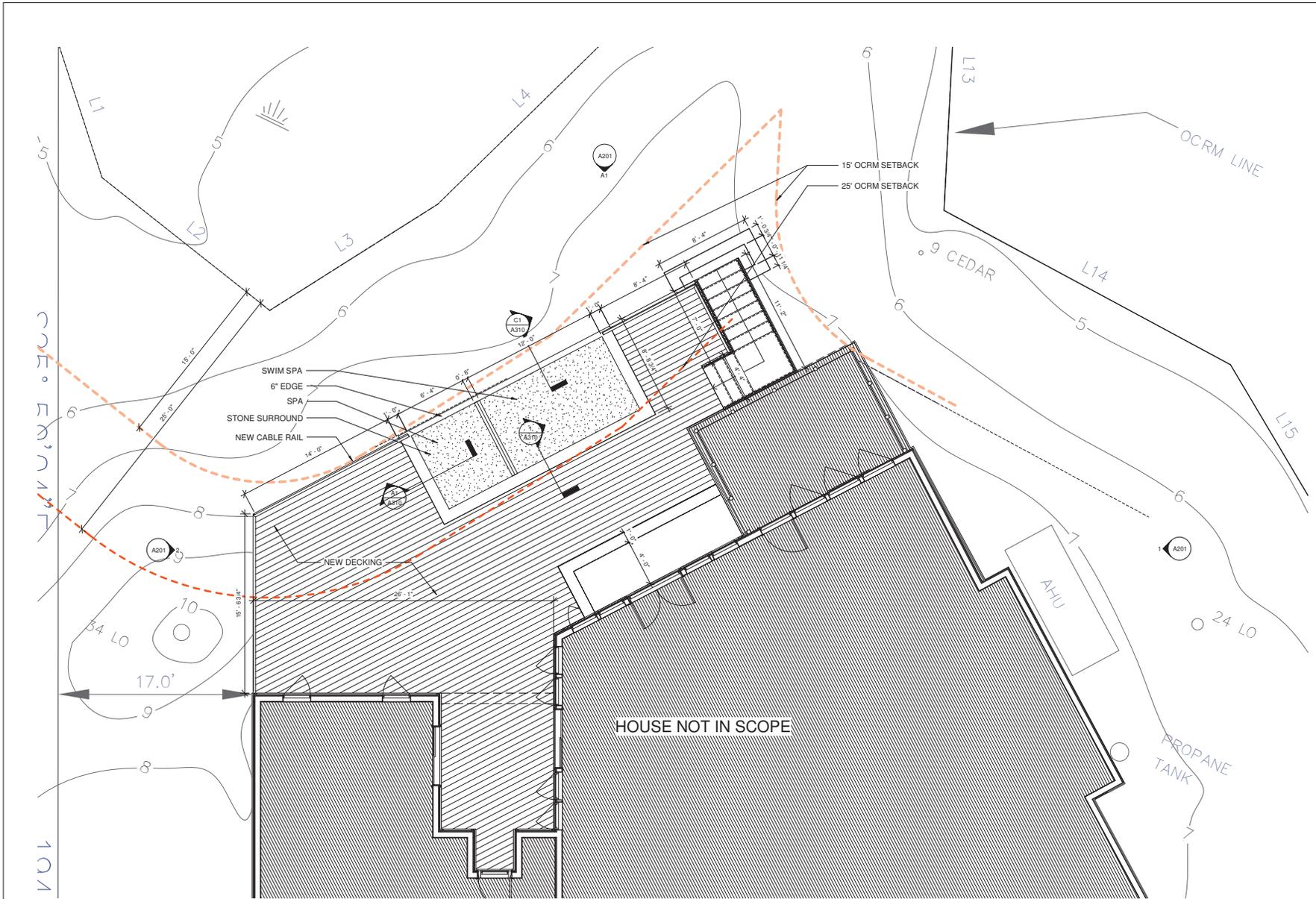
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Date 01/30/19

Drawn By CCB

Scale 1/4" = 1'-0"

A103
 NEW FOUNDATION
 PLAN



NEW DECK PLAN
1/4" = 1'-0"

Seabrook Residence
2566 Seabrook Island Road
Seabrook Island, SC



Chris Bonner, Architect
582 Rutledge Ave
Charleston SC, 29403
843.608.1858
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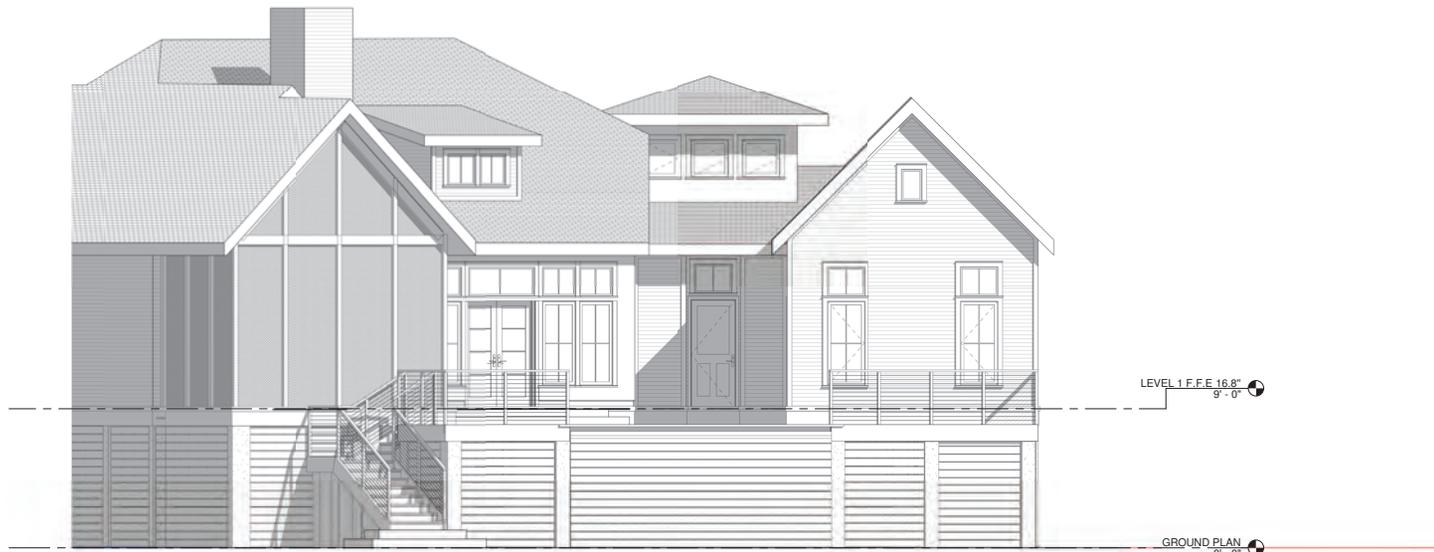
FULL SIZE - 22" X 34"
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Drawn By Author
Scale 1/4" = 1'-0"

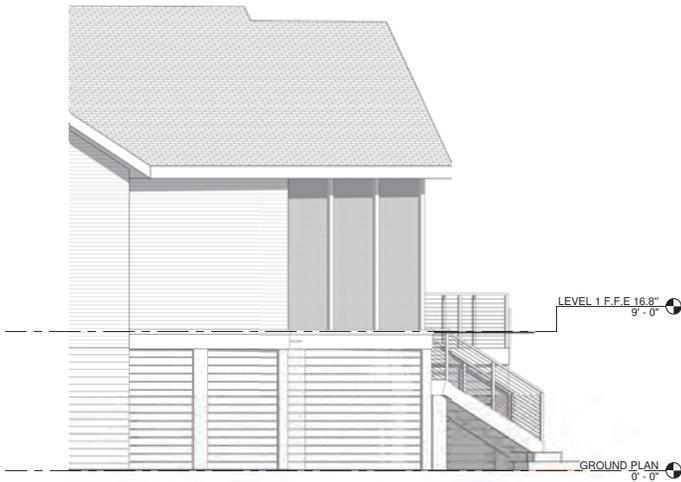
A104
NEW DECK PLAN



Ⓐ NORTH ELEVATION
1/4" = 1'-0"

LEVEL 1 F.F.E. 16.8'
9'-0"

GROUND PLAN
0'-0"



Ⓛ EAST ELEVATION
1/4" = 1'-0"

LEVEL 1 F.F.E. 16.8'
9'-0"

GROUND PLAN
0'-0"



Ⓜ WEST ELEVATION
1/4" = 1'-0"

LEVEL 1 F.F.E. 16.8'
9'-0"

GROUND PLAN
0'-0"

Seabrook Residence
2566 Seabrook Island Road
Seabrook Island, SC



Chris Bonner, Architect
582 Rutledge Ave
Charleston SC, 29403
843.608.1858
www.bStudioArchitecture.com



FULL SIZE - 22" X 34"
HALF SIZE - 11" X 17"



Client:

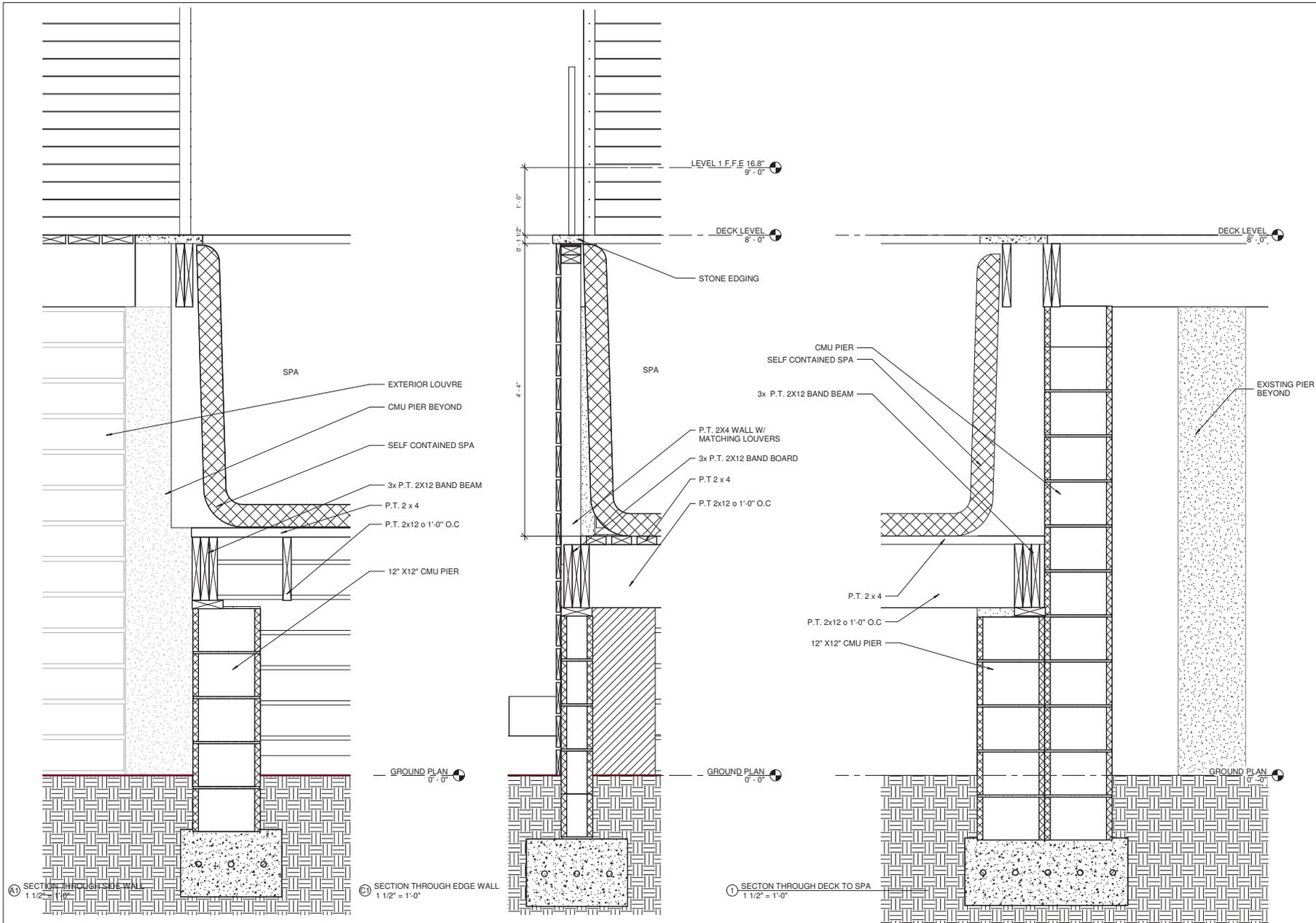
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Date 10/18/18

Drawn By Author

Scale 1/4" = 1'-0"

A201
ELEVATIONS



Seabrook Residence
 2566 Seabrook Island Road
 Seabrook Island, SC



Chris Bonner, Architect
 582 Rutledge Ave
 Charleston SC, 29403
 843.608.1858
 www.bStudioArchitecture.com



FULL SIZE - 22" X 34"
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Date 01/30/19
 Drawn By CCB
 Scale 1 1/2" = 1'-0"

A310
 WALL SECTIONS



(index.php?d=carolinaspa)

Build Your 1303B

MODEL DETAILS

Series	1303
Total Jets	31
Power <i>North America</i>	17HP (3x 4HP Viper Pumps + 5HP Super Flow)
Power <i>International</i>	20HP (4x 5HP SuperFlow)
Seats	NA
Brand	Swim Collection
Style	Swim Spa

SPECIFICATIONS

METRIC

Dims (cm)	384 x 229 x 135
Capacity (l)	5320
Dry Weight (kg)	998
Wet Weight (kg)	6315

SPECIFICATIONS

IMPERIAL

Dims (in)	151 x 90 x 53
Capacity (us gal)	1405
Dry Weight (lbs)	2200
Wet Weight (lbs)	13929

ENERGY USAGE *estimated per month**

Warm 75°F 24°C	\$37.71
Cool 45°F 7°C	\$83.82

* Energy usage is estimated using average global energy rates and based on hot tubs with average filtration cycles and common daily usage. For general reference only. Spa equipment, features, upgrades, environment, insulation variations along with duration/frequency-of-use can alter provided estimated energy costs.

FEATURES

-  Touchscreen Controls Wellness ⓘ
-  Extreme XL Water Diverters ⓘ
-  Air Controls ⓘ
-  Trillium Stainless Steel Massage Jets | 31 ⓘ
-  River Jets (Swim Resistance Jets) | 3 ⓘ
-  Levitor Jets (Swim Bouyancy Jets) | 4 ⓘ
-  Streaming Water Ropes - Laminars ⓘ
-  Hydro Cyclonic Filtration System® - 175 sq ft Dual Core Filter ⓘ
-  Smartphone Remote Control Compatible ⓘ
-  Swim Tether Anchor Plate ⓘ
-  Swim Tether ⓘ
-  Exercise Bands and Row Bars ⓘ

SPA COMFORTS

- Plush Headrests
- Beverage Holders
- Anti-Slip Textured Floor
- Ergonomic Seating
- Multi-Level Seating
- Programmable Filtration
- Stainless Steel Oversized Monster™ Skimmer

BUILT TO LAST

- Freeze Protection
- Formed Equipment Enclosure
- Owens Corning® Fiberglass Shell with 1 1/4" Steel Reinforcement
- Steel Reinforced Spa Acrylic
- Pressure Treated Frame
- Quick Access Gate Valves
- Titanium Heater
- Recessed Floor Drain
- Recessed Thread-In Jet-Pockets™
- Super-Sealed™ Barb & Clamp Plumbing



Build Your Own 1303B & Get Pricing Information

Choose from a wide selection of optional features for the 1303B model. Clicking on '...more' will give you additional information on each feature. Once you've made your selections you can submit your build for a hassle-free quotation using the form at the bottom of the page.

All listed features and information are subject to change without notice. Images provided may not accurately represent the current offering. Please check with your local Authorized Coast Spas Dealer for current standard and optional features and availability.

Lighting



7" Stainless Steel Frosted Light Dome
Long lasting, bright and ...more



MultiColor LED Spa Light Upgrade (28 LED)
Switch out the single col ...more



Waterline Multicolor LED Gem Lighting Package
LED lighting that runs ar ...more



Xtreme Multicolor LED Gem & Control Lighting Packa
Visually stimulating ligh ...more



Xtreme Multicolor LED Gem & ChromoZone Lighting
...more



Xtreme Multicolor LED GLO Jet & ChromoZone Lightin
...more

Acrylic and Cabinet Finish

ACRYLIC SELECTION



Sterling Marble
see large swatch



Neptune Blue
see large swatch

CANADIAN CEDAR



Unstained Canadian AAA-Grade Cedar
see large swatch

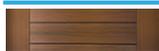


Clear Satin Canadian AAA-Grade Cedar
see large swatch



Above is a representation of your color selections only and does not necessarily reflect the model or additional features you've selected. The spa shown above is part of the Curve Series by Coast Spas.

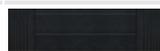
DURABLE SYNTHETIC



Teak 9" Wideboard Synthetic Cabinet
see large swatch



Grey 9" Wideboard Synthetic Cabinet
see large swatch



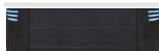
Black 9" Wideboard Synthetic Cabinet
see large swatch



Grey 9" Wideboard Synthetic Cabinet w/ Carbon Fiber Corners
see large swatch



Teak 9"



Black 9"



Coastal Smoke 9"



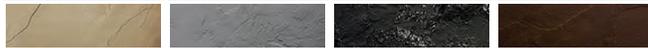
Coastal Smoke 9"

- Wideboard Synthetic Cabinet w/ Carbon Fiber Corners *see large swatch*
- Wideboard Synthetic Cabinet w/ Carbon Fiber Corners *see large swatch*
- Wideboard Synthetic Cabinet *see large swatch*
- Wideboard Synthetic Cabinet w/ Carbon Fiber Corners *see large swatch*



Teak 9"
Wideboard Synthetic Cabinet w/ Carbon Fiber Corners *see large swatch*

LUXURY SLATE



Desert Sand Natural Slate Cabinet *see large swatch*

Mountain Grey Natural Slate Cabinet *see large swatch*

Obsidian Natural Slate Cabinet *see large swatch*

Stone Brown Natural Slate Cabinet *see large swatch*

CABINET ACCESSORIES



Coast Cubby - Warm Storage Compartment
Store your items in a pro ...more



Requires: Coast Cubby
Coast WaterVac™ Powered Drain System
Quickly drain your hot tu ...more



Requires: Cubby and WaterVac
Coast WaterVac™ - Stowaway Shrink Hose 25 ft
No need to get the househ ...more



Coast Status
Know the status of your C ...more

Cover



5x3" Ash Thermal-Sealed™ Ultra Locking Cover
Energy efficient and safe ...more



5x3" Oxen Thermal-Sealed™ Ultra Locking Cover
Energy efficient and safe ...more



5x3" Briar Brown Thermal-Sealed™ Ultra Locking C
Energy efficient and safe ...more



Requires: 5x3" Thermal-Sealed Cover
Designer Cover Color Upgrade - Black
Your Coast Spas Hot Tub c ...more



Requires: 5x3" Thermal-Sealed Cover
Designer Cover Color Upgrade - Rust
Your Coast Spas Hot Tub c ...more

Exercise Equipment

Authorized Coast Spas® Dealership



Carolina Spa Company

📍 1145 SC Highway 41, Unit A, Mount Pleasant SC

29466

☎ 843-936-3196

✉ sales@carolinaspacompany.com

Hot Tubs & Swim Spas

TRADITIONAL COLLECTION >

CURVE COLLECTION >

INFINITY COLLECTION >

SWIM COLLECTION >

NORTHWIND HOT TUBS >

Discover More

ABOUT COAST SPAS >

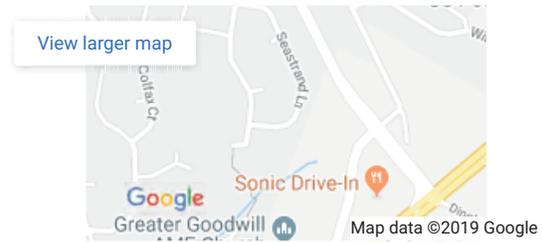
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(index.php?d=carolinaspa)

Build Your Horizon

MODEL DETAILS

Series	VE II Series
Total Jets	47
Power <i>North America</i>	10HP (2x 5HP SuperFlow)
Power <i>International</i>	10HP (2x 5HP SuperFlow)
Seats	6-7 Adults
Brand	Coast Spas
Style	Infinity Edge

SPECIFICATIONS

METRIC

Dims (cm)	211 x 234 x 82 (116 at back)
Capacity (l)	1340
Dry Weight (kg)	385
Wet Weight (kg)	1725

SPECIFICATIONS

IMPERIAL

Dims (in)	83.25 x 92 x 32.5 (46 at back)
Capacity (us gal)	354
Dry Weight (lbs)	849
Wet Weight (lbs)	3803

ENERGY USAGE *estimated per month**

Warm 75°F 24°C	\$8.84
Cool 45°F 7°C	\$19.64

* Energy usage is estimated using average global energy rates and based on hot tubs with average filtration cycles and common daily usage. For general reference only. Spa equipment, features, upgrades, environment, insulation variations along with duration/frequency-of-use can alter provided estimated energy costs.

FEATURES

-  Touchscreen Controls 
-  Extreme XL Water Diverters 
-  Air Controls 
-  Trillium Stainless Steel Massage Jets | 47 
-  Volcano Jet with Dedicated Hand Control | S 
-  Exclusive 24" Adjustable Waterfall (Stainless Steel) 
-  Streaming Water Ropes - Laminars 
-  Hydro Cyclonic Filtration System® - 175 sq ft Dual Core Filter 
-  Self-Cleaning Sweeper Jet™ 
-  Smartphone Remote Control Compatible 
-  Patented Infinity Edge Technology and Design 
-  Raised Curve Back - Wind Shield and Privacy Wall 
-  No Bobbing Weir Skimmer 
-  Largest Skimmers 
-  Self-Purging 
-  Digital Float and Fill Gauge 
-  The Coast Guard System® - Hardened Ground-Shield Barrier 

SPA COMFORTS

- Plush Headrests
- Beverage Holders
- Anti-Slip Textured Floor
- Ergonomic Seating
- Multi-Level Seating
- Large Footwells
- Programmable Filtration

BUILT TO LAST

- The Coast Guard System® - Hardened Corner Bottoms
- Freeze Protection
- Owens Corning® Fiberglass Shell with 1 1/4" Steel Reinforcement
- Steel Reinforced Spa Acrylic Pressure Treated Frame
- Quick Access Gate Valves

- Titanium Heater
- Recessed Floor Drain
- Recessed Thread-In
- Jet-Pockets™
- Super-Sealed™ Barb & Clamp
- Plumbing



Build Your Own Horizon & Get Pricing Information

Choose from a wide selection of optional features for the Horizon model. Clicking on '...more' will give you additional information on each feature. Once you've made your selections you can submit your build for a hassle-free quotation using the form at the bottom of the page.

All listed features and information are subject to change without notice. Images provided may not accurately represent the current offering. Please check with your local Authorized Coast Spas Dealer for current standard and optional features and availability.

Lighting



5" Safety Light
Allows safety and comfort ...more



MultiColor LED Spa Light Upgrade (28 LED)
Switch out the single col ...more



Waterline Multicolor LED Gem Lighting Package
LED lighting that runs ar ...more



Xtreme Multicolor LED Gem & Control Lighting Packa
Visually stimulating ligh ...more



Xtreme Multicolor LED Gem & ChromoZone Lighting
...more



Xtreme Multicolor LED GLO Jet & ChromoZone Lightin
...more

Acrylic and Cabinet Finish

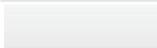
ACRYLIC SELECTION



Sterling Marble
see large swatch



Crimson Night
see large swatch



Snow White
see large swatch



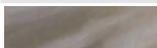
Storm Cloud
see large swatch



Tuscan Sun
see large swatch



Midnight Canyon
see large swatch



Whispering Winds
see large swatch



Kalahari
see large swatch



Smokey Mountain
see large swatch



Above is a representation of your color selections only and does not necessarily reflect the model or additional features you've selected. The spa shown above is part of the Curve Series by Coast Spas.

CANADIAN CEDAR



Unstained Canadian AAA-Grade Cedar
see large swatch



Clear Satin Canadian AAA-Grade Cedar
see large swatch

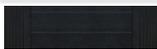
DURABLE SYNTHETIC



Grey 9" Wideboard Synthetic Cabinet
see large swatch



Teak 9" Wideboard Synthetic Cabinet
see large swatch



Black 9" Wideboard Synthetic Cabinet
see large swatch



Coastal Smoke 9" Wideboard Synthetic Cabinet
see large swatch

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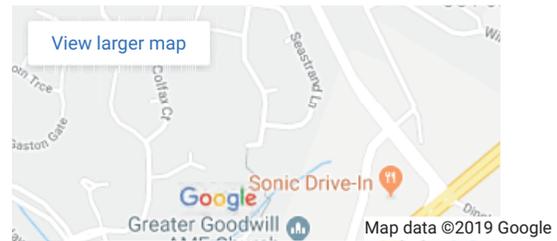
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ATTACHMENT #18-A

Letter from David & Susan Whitehouse
(July 31, 2020)

Joe Cronin

From: David Whitehouse <sphsfarm@aol.com>
Sent: Friday, July 31, 2020 9:44 AM
To: Joe Cronin
Cc: Jdw Hsp; Holly Bryan
Subject: 2913 Variance Request

We have read the proposed variance request for 2913 Deer Point Drive and have these pertinent comments:

From reading the request there seems to have been a precedent for accepting request because a similar request was granted in February 2019 at 2566 Seabrook Island Road.

We also noted that SIPOA Policies and Procedures permits swimming pools 36 inches or less and permeable decks to be constructed within 15 feet of the OCRM line.

This variance request reads that it would be consistent with past decisions and policies.

Therefore we have no objection with the proposed zoning variance request, as long as it complies to all policies and parameters and *does not set a precedent for any future variance requests in our neighborhood.*

We appreciate your taking time to discuss this with us yesterday and look forward to meeting you upon our return to the island.

Susan and David Whitehouse 2919 Deer Point Drive Seabrook Island



ATTACHMENT #18-B

Letter from Katrina Burrell, SIPOA
(August 4, 2020)



SEABROOK ISLAND
Property Owners Association

*1202 Landfall Way * Johns Island, SC 29455 * 843-725-1560 * kburrell@sipoa.org*

August 4, 2020

Joseph M. Cronin
Town Administrator
Town of Seabrook Island
2001 Seabrook Island Road
Seabrook Island, SC 29455

VIA email: jcronin@townofseabrookisland.org

Re: Block 49 Lot 15 – 2913 Deer Point Drive / Pool and Deck Addition

Dear Mr. Cronin:

It is my understanding that a variance request has been submitted to the Town of Seabrook Island Board of Zoning Appeals relating to a pool and deck addition at 2913 Deer Point Drive due to the location of the structure in relation to the rear setback and marsh. While the SIPOA ARC has reviewed these plans and provided recommendations, no formal decision has been made pending the outcome of this variance request.

Please contact me if you need any additional information.

Very truly yours,

Katrina Burrell, CMCA, AMS
Director of Administration and Architectural Review

cc: Mr. and Mrs. Bryan (2913 Deer Point Property Owners) via email
Malcolm Brennan (Architect) via email
B49 L15 – 2913 Deer Point Drive (Master File)



ATTACHMENT #18-C

Letter from Errol Stuart & Jennifer Passantino
(August 5, 2020)

Joe Cronin

From: no-reply@weebly.com
Sent: Wednesday, August 5, 2020 10:35 AM
To: Joe Cronin
Subject: New Form Entry: Public Comments - Variance #167

You've just received a new submission to your [Public Comments - Variance #167](#).

[Mark as Spam](#)

Submitted Information:

Name

Errol Stuart and Jennifer Jo Passantino

Address

2967 Deer Point Drive

Email Address

wakegr88@aol.com

Do you support the approval of Variance #167?

Yes - In Favor

Comment

We are in "favor" of the proposed variance application with the following comments based on the readings of the application and with the perspective of being on a long time property owner on said street Deer Point Drive (2967)- owner since 2005, full time resident since 2017:

- Historical precedent has been set based on approved application February 2019 at 2566 Seabrook Island Road
- SIPOA Policies and Procedures permits swimming pools 36 inches or less and permeable decks to be constructed within 15 feet of the OCRM line
- The owners of the property maintain it in a way that helps beautify the street and the island ultimately contributing to helping Seabrook Island increase its appeal and property values

We therefore support the variance.



ATTACHMENT #18-D

Letter from Steve Berry
(August 6, 2020)

Joe Cronin

From: no-reply@weebly.com
Sent: Thursday, August 6, 2020 9:28 AM
To: Joe Cronin
Subject: New Form Entry: Public Comments - Variance #167

You've just received a new submission to your [Public Comments - Variance #167](#).

[Mark as Spam](#)

Submitted Information:

Name

Steve Berry

Address

3108 Marshgate Drive

Email Address

sbberry@comcast.net

Do you support the approval of Variance #167?

Yes - In Favor

Comment



ATTACHMENT #18-E

Correspondence with Tad Dickson
(August 11, 2020)

Joe Cronin

From: Joe Cronin
Sent: Tuesday, August 11, 2020 5:04 PM
To: Tad Dickson
Subject: RE: 2913 Deer Point Dr

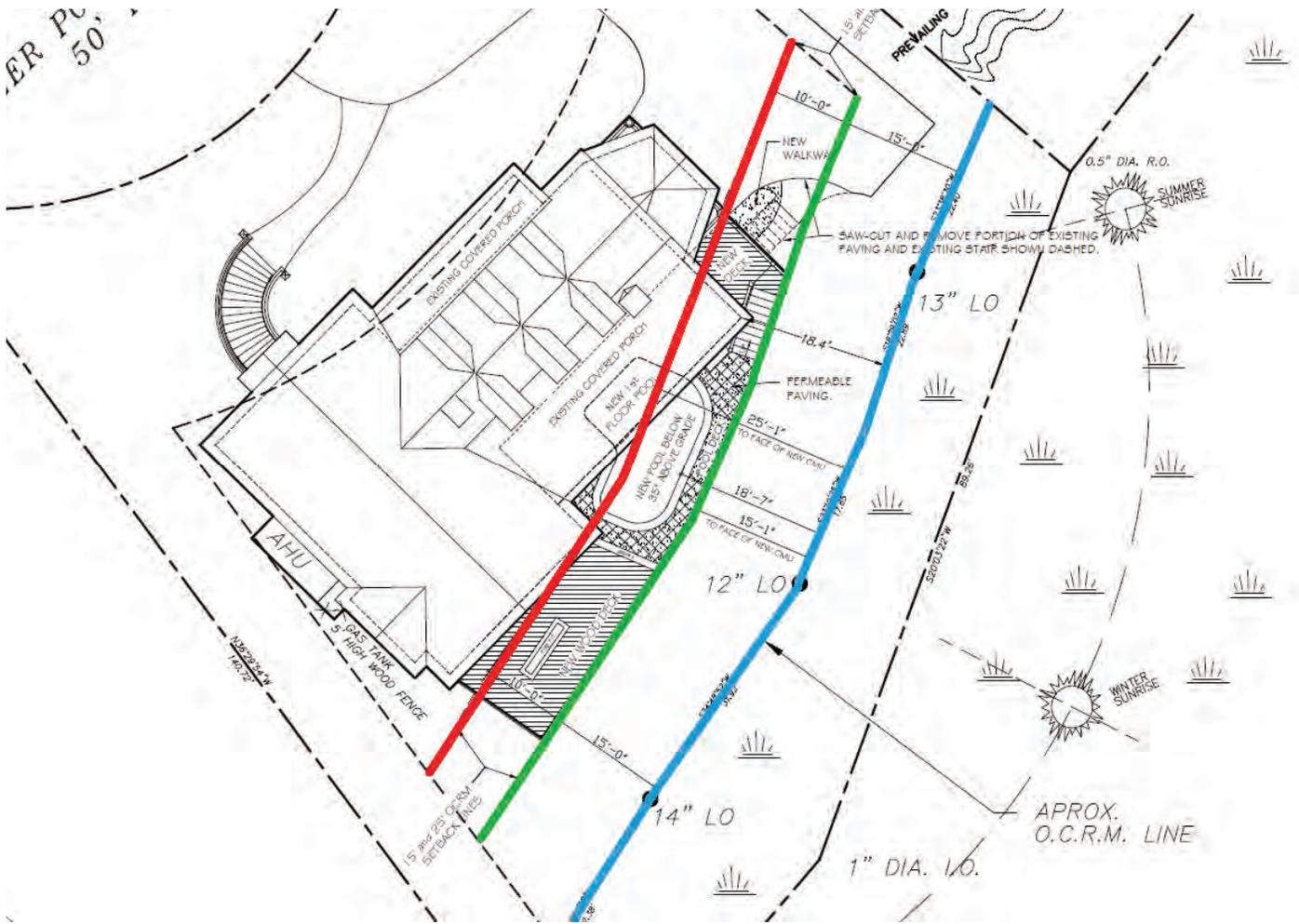
Mr. Dickson,

Thank you for submitting your questions. I have provided responses below:

1) Yes, a variance was issued for the property prior to the issuance of a permit in 2002. The variance allowed the rear porch to encroach into the 25-foot marsh setback, and the front corner of the house to encroach into the 30-foot front yard setback.

2) One corner of the proposed pool which is labeled "New 1st Floor Pool" would in fact encroach into the 25-foot marsh setback; however, that pool will be fully located within the footprint of the existing covered porch. The DSO allows "open decks" to be located within 15 feet of the OCRM critical line, and you will see in the site plan that all open decks and permeable pavement will be at least 15 feet from the critical line. However, all other structures, including pools (regardless of how high they are above grade -- I believe that may be a POA rule?), need to be set back at least 25 feet from the OCRM critical line. Most of the pool labeled "New Pool Below 35" Above Grade" is encroaching into the 25-foot marsh setback. At its closest point, this pool will be 18'7" from the critical line, which is a maximum encroachment of 6'5" into the marsh setback.

I have included a photo below that may make it a little easier to illustrate. The OCRM critical line is the blue line. The green line is the 15-foot setback line for open decks. The red line is the 25-foot setback line for all other structures, including pools. As you will see, the decking and permeable paving are fine, but the pool extends beyond the 25-foot setback line, which would necessitate a variance to be constructed as shown.



Joseph M. Cronin
 Town Administrator
 Town of Seabrook Island
 2001 Seabrook Island Road
 Seabrook Island, SC 29455
 Office: (843) 768-5321
 Cell: (843) 637-9832
 www.townofseabrookisland.org

-----Original Message-----

From: Tad Dickson <taddickson@icloud.com>
 Sent: Tuesday, August 11, 2020 10:02 AM
 To: Joe Cronin <jcronin@townofseabrookisland.org>
 Subject: Fwd: 2913 Deer Point Dr

- >
- > I am the owner of 2916 Deer Point Dr and have received your letter regarding the variance request for 2913 Deer Point. I have reviewed the material and have a couple of questions.
- > 1. It looks like the existing covered porch encroaches into the 25' setback. I assume the owner at the time of the original construction was able to obtain a variance at that time. Is that correct?
- > 2. From the floor plan it looks like the Dipping Pool which is at the first floor level does not encroach into the 25' setback and the New Pool does encroach but is less than 36" in elevation which is apparently permitted by the DSO. If

this is correct it is hard to identify where the 6.5' encroachment mentioned in your letter is on the drawing. Could you advise exactly where that is?

>

> Sent from my iPad



ATTACHMENT #18-F

Letter from Pamela & David Parrot
(August 15, 2020)

Joe Cronin

From: David Parrott <thermconllc@gmail.com>
Sent: Saturday, August 15, 2020 12:57 PM
To: Joe Cronin
Cc: David Parrott
Subject: Variance Request #167 for 2913 Deer Point Drive

Dear Mr. Cronin,

This is to confirm we have received a letter from Malcolm Brennan of M. Brennan Architects, Inc, 113 Wappoo Creek Drive, Suite 4, Charleston SC 29412 dated July 21, 2020 together with your letter dated July 22, 2020 regarding a Variance Request for 2913 Deer Point Drive.

As owners of Lot 16 on 2915 Deer Point Drive, we have no objections to granting the variance PROVIDED the owners of 2913 Deer Point Drive follow and implement all conditions stated on Page 2 of 3 in their Variance Application, particularly with regard to item C.4).

Sincerely,

Pamela and David Parrott,
1017 Settlers Ridge Lane,
Raleigh, NC 27614

Tel: (919) 454-9026



ATTACHMENT #18-G

Letter from Leo Marien
(August 17, 2020)

Joe Cronin

From: no-reply@weebly.com
Sent: Monday, August 17, 2020 11:46 AM
To: Joe Cronin
Subject: New Form Entry: Public Comments - Variance #167

You've just received a new submission to your [Public Comments - Variance #167](#).

[Mark as Spam](#)

Submitted Information:

Name

Leo E Marien

Address

2927 Deer Point Dr

Email Address

leo_marien@yahoo.com

Do you support the approval of Variance #167?

Yes - In Favor

Comment

I think homeowners who respectfully complete their due diligence in regards to the ARC and SIPOA regulations as much as the Bryan Family has done should definitely receive approval of their requested variance. The goal of all involved is to improve the existing properties on the island in a way that does not significantly hinder our natural beauty that we all treasure. The plan that the Bryans have submitted demonstrates the thoughtful design that fellow homeowners should take note from. As homeowners on Deer Point Dr. , we are in full support of the Bryan family being allowed the variance they have requested. Thank You



MEMORANDUM

TO: Town of Seabrook Island Board of Zoning Appeals Members
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Application # 168 – 3557 Seaview Drive
MEETING DATE: August 26, 2020

Variance Application #165	
Applicants:	Leanne and William Spaide (Owners) Garris Killingsworth, Outdoor Spatial Design LLC (Applicant)
Location:	3557 Seaview Drive
Tax Map Number:	147-00-00-049
Zoning District:	SR Single-Family Residential
Purpose:	To allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps and decking to encroach approximately 7 feet into the required 15-foot rear yard setback

Overview

The Town has received a variance application from Leanne and William Spaide, the owners of Charleston County Tax Map # 147-00-00-049, as well as Garris Killingsworth of Outdoor Spatial Design LLC (collectively, the “Applicants”). The Applicants are requesting two variances. The first is a reduction in the 30-foot front yard setback requirement to allow for construction of a retaining wall in an area with steep topography and a grand oak tree. The Applicants are also seeking a reduction in the 15-foot rear yard setback requirement to allow for construction of new terraced steps and additional decking in a location that also has topographical challenges. The property is located at 3557 Seaview Drive (Block 18, Lot 14).

According to Charleston County tax records, the existing home was completed in 1984. Because the town was not incorporated until 1987, the property would have been developed under Charleston County’s zoning requirements. Mr. and Mrs. Spaide purchased the property in June of 2018.

The DSO requires a minimum front yard setback of 30 feet for retaining walls and most other structures. Open decks and similar pervious structures may encroach into a rear yard provided that they are at least 15 feet from the rear property line. At its closest point, the proposed retaining wall will essentially be situated on the front property line. The terraced steps and decking at the rear of the residence will be located approximately 8 feet from the rear property line at their closest point.

Code Reference:

- a. **§ 7.60.20.10. Minimum Setback-Front.** Thirty (30) feet.
- b. **§ 7.60.60. Open Space Lots—Rear Setback.** On lake, lagoon, or golf course lots the minimum rear lot setback of the residential structure must be twenty-five (25) feet. Open decks may extend into the setback, but may not be less than fifteen (15) feet from the rear lot line.

The property is currently zoned SR Single-Family Residential, and a single-family residence is a permitted use by-right.

The existing home complies with the 30-foot front yard setback requirement, as well as the 15-foot side yard setback on both sides. A pre-existing deck, steps and walkway currently encroach into the rear yard setback. Given that the home was built prior to the town’s incorporation, all existing non-conformities would be considered “grandfathered.”

In order to allow for construction of the proposed retaining wall, replacement steps and decking, the Applicants are requesting the following variances from the requirements of the DSO:

TYPE	REQUIRED PER DSO	VARIANCE (REQUESTED)
Minimum Setback (Front)	30 feet (§ 7.60.20.10)	Reduce the front yard setback from 30 feet to approximately 0 feet (30-foot encroachment)
Rear Setback (Open Space Lots)	15 feet for Open Decks (§ 7.60.60)	Reduce the rear yard setback for open decks and permeable surfaces from 15 feet to approximately 8 feet (7-foot encroachment)

In their application, the Applicants are requesting relief from the above-referenced setback requirements for the following reasons:

- a) The existing home was constructed prior to the town’s incorporation, and was built under different (Charleston County) zoning requirements in place at the time;
- b) There is a 26” oak tree on top of a sand dune in the front yard. Lack of maintenance by previous owners and ongoing erosion of the dune has resulted in significant instability of the hill. Without a retaining wall, this grand tree will likely need to be removed due to safety and liability concerns. In the rear yard, there is a significant slope that is continuing to erode, rendering the backyard unsafe and unusable.
- c) A retaining wall at the front of the property will allow for stabilization of the grand oak tree and dune and will reduce further erosion and possible loss of the tree. At the rear, the proposed steps and decking will replace those which are already encroaching into the rear yard setback; and

- d) The authorization of these variances will not be of substantial detriment to adjacent property or to the public good because the proposed retaining wall at the front of the property will ensure the continued health and safety of the grant tree and neighboring property owners, and the proposed steps and decking at the rear will be screened by thick vegetation that obscures views from neighboring properties.

Staff Comments

As a matter of practice, the town's Zoning Administrator does not typically provide a recommendation in favor of, or in opposition to, a variance application. In our opinion, these requests are best left to the Board of Zoning Appeals following a thorough review of the relevant facts, including the receipt of testimony from interested parties during the required public hearing.

In granting a variance, state law permits the Board of Zoning Appeals to attach such conditions as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Should the Board vote to approve the variance request, staff would recommend in favor of attaching the following conditions:

- The approved variance shall apply to the building layout as shown on the site-specific plan prepared by the Applicants and reviewed by the Board on August 26, 2020. Any modification to this site-specific plan prior to the issuance of a zoning permit, with the exception of minor corrections and/or modifications which conform to the requirements of the town's DSO, shall require further review and approval by the Board of Zoning Appeals prior to permitting.
- The Applicants shall prepare and submit to the Zoning Administrator an as-built survey prior to the issuance of a Certificate of Occupancy (or within 30 days of passing the final building inspection if no Certificate of Occupancy is required). The as-built survey shall be prepared and stamped by a professional land surveyor who is qualified to perform such services in the State of South Carolina.
- The variance shall expire on August 26, 2022 (two years from the date of approval) if the Applicants fail to obtain a building permit on or before that date.

Respectfully submitted,



Joseph M. Cronin

Town Administrator/Zoning Administrator

Criteria for Review

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these **conditions do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance **will not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

Attachments

The following supplemental items have been attached for review:

Application & Property Information		
1	Variance Application	p. 186-189
2	Survey (Existing Conditions)	p. 190-191
3	Site Plan & Building Drawings	p. 192-202
4	Subdivision Plat (1977)	p. 203-204
5	Property Photos	p. 205-213
6	Zoning Map	p. 214-215
7	Aerial Images	p. 216-217
8	FEMA Base Flood Elevations (Current & Preliminary)	p. 218-219
9	Title to Real Estate	p. 220-225
10	Property Information Card	p. 226-230
11	Public Hearing Notice – Letter to Neighboring Property Owners	p. 231-232
12	Public Hearing Notice – List of Neighboring Property Owners	p. 233-234
13	Public Hearing Notice – U.S.P.S. Certified Mail Receipts	p. 235-236
14	Public Hearing Notice – Post and Courier Legal Ad	p. 237-238
15	Public Hearing Notice – Property Posting	p. 239-240

Other Information		
---	None	---

Written Correspondence Regarding the Proposed Variance Request		
16	a) Letter from Lynn & Jack Williams (July 6, 2020)	p. 241-243
	b) Letter from Sara Jane & John Foltz (July 10, 2020)	p. 244-246
	c) Letter from Donna & Paul Reinbolt (August 6, 2020)	p. 247-251



ATTACHMENT #1

Variance Application



TOWN OF SEABROOK ISLAND

2001 Seabrook Island Road
 Seabrook Island, SC 29455
 (843) 768-9121

APPLICATION FOR VARIANCE

Board of Zoning Appeals

Any applicant seeking a variance from the zoning requirements of the Town of Seabrook Island's Development Standards Ordinance (hereafter, the "DSO") must submit a written application, along with a \$150.00 application fee and all required supplemental information. Applications must be typed or written legibly in ink. Please attach an additional sheet of paper if more space is needed. If you need assistance filling out this application form, please contact the Zoning Administrator by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

1. PROPERTY INFORMATION

Please provide information regarding the property which is subject to the variance request.

Property Address	3557 Seaview Dr. Seabrook Isl, SC 29455				
Tax Map Number	147-11-00-049	Block	18	Lot	4
Lot Size (Square Feet)	17,589				
Is this property subject to an OCRM critical line? (eg. Marsh or Beachfront Lots)		Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Is this property subject to private restrictions or covenants? (eg. SIPOA or regime)		Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>

2. APPLICANT(S)

Please provide information regarding the individual(s) who is (are) submitting the variance request.

Applicant Name(s)	Outdoor Spatial Design, LLC				
Applicant Address	1060 E. Montague Ave. Suite 315, N. Charleston, SC 29405				
Applicant Phone Number	843-733-3325				
Applicant Email Address	garris@osdla.com				
If the Applicant is <u>NOT</u> an owner of the property, what is the relationship to the Property Owner(s)?	Contracted Landscape Architects				

3. PROPERTY OWNER(S)

If the Applicant(s) is (are) NOT the property owner(s), please provide information for the property owner(s).

Owner Name(s)	Leanne & William Spaide				
Owner Mailing Address	3557 Seaview Dr. Seabrook Isl, SC 29455				
Owner Phone Number	949-400-7052				
Owner Email Address	lpspaide@sbcglobal.net				
Designation of Agent (Required if the Applicant(s) is(are) NOT a Property Owner): I (we) hereby designate and appoint the above named Applicant(s) as my (our) agent(s) to represent me (us) in this application.					
Owner Signature(s)		Date	6/18/2020		
		Date	6/18/2020		

4. CERTIFICATION

Under penalty of perjury, I (we) hereby certify that the information contained in this application, including all supplemental materials, is true and accurate to the best of my (our) knowledge.

Applicant Signature(s)		Date	06/22/20		
		Date			

OFFICE USE ONLY		
Date Filed:	Variance Application #:	Hearing Date:

5. VARIANCE REQUEST

A. Please provide a brief description of the proposed scope of work:

There are significant grading, drainage and erosion issues in both the front and back yard:

- We are proposing terraced, permeable timber steps in the back yard to prevent further erosion and allow the home owners to safely access and use this area of their property.
- We are proposing a sloppy-v retaining wall to prevent further erosion along the base of a 26" caliper oak tree along the front property line. The sloppy-v retaining wall will ensure the health and longevity of the grand tree by reducing erosion around the roots.

B. In order to complete the proposed scope of work, the Applicant(s) is (are) requesting a variance from the following requirement(s) of the town's DSO:

1) DSO Section Reference(s):

2) DSO Requirement(s):

C. The application of the zoning requirements of the town's DSO will result in unnecessary hardship, and the standards for a variance set by State Law and the DSO are met by the following facts:

1) There are extraordinary and exceptional conditions pertaining to this particular piece of property as follows:

The existing home was constructed in 1984 prior to the town's incorporation and establishment of DSO. Existing home/yard features fall under Non-Conforming Use given that the features of the house/yard lie beyond required setbacks in some areas. The home was constructed prior to the application/enforcement of the current setbacks.

2) These conditions do not generally apply to other property in the vicinity as shown by:

-There is 26" oak tree located on top of a front yard sand dune. Lack of maintenance of previous owners and erosion have resulted in significant tree root exposure and instability of the hill. Without a retaining wall the grand tree will most likely require removal due to safety and liability concerns.
-There is significant slope in the backyard that is continuing to erode. The backyard is unusable and unsafe to use. If left as is the current conditions may present expose to liability.

3) Because of these conditions, the application of the zoning requirements to this particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows:

-The stabilization of the front yard dune and 26" Oak tree will improve the health of the tree and while reducing further erosion and damage or loss to the 26" Oak tree.
-The existing rear walkway already encroaches into the rear yard setback by 4 feet. The proposed permeable terraced walkway/retaining steps would encroach by 17 feet to ensure erosion stability and safe access to the backyard.

4) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons:

The authorization of the variances will not be detrimental to adjacent properties or the public good.
-The proposed retaining wall along the front sand dune will enhance nearby properties and the public good by insuring the health of the unique 26" Oak tree and prevention of further erosion.
-The backyard is screened by thick vegetation that obscures views from neighboring properties.
-Ornamental plants will be added to the rear terraced steps and front retaining wall to add interest.

6. APPLICATION MATERIALS

In addition to the completed Variance Application Form, all requests for variance must be accompanied by the supplemental materials listed below. An application is not considered “complete” until all required documentation has been received by the Zoning Administrator. Below is a checklist of the required materials:

- Completed & Signed Variance Application Form (Paper Required; PDF Optional)**
 - Please submit one *completed* paper application. All signatures must be original.
- \$150.00 Application Fee**
 - The application fee may be paid by cash or check only.
- As-Built Survey / Survey of Existing Conditions (Paper Required; PDF Optional)**
 - All applications must be accompanied by an as-built survey which accurately illustrates the existing conditions on the property, including setback measurements for all structures.
- Proposed Site Plan (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications which will change the footprint of one or more existing structures.
 - For lots abutting a marsh or beachfront jurisdictional line, the location of the critical line must be certified by OCRM within the previous five (5) years.
- Scaled Architectural Drawings: (Paper & PDF Required)**
 - Required for all new structures and/or exterior modifications to existing structures.
 - Architectural drawings must show, at a minimum:
 - A detailed floor plan or plan view; and
 - Front, side and rear elevations, as appropriate.
- Letter of Approval from Property Owners Association and/or Regime: (Paper Required; PDF Optional)**
 - Required for all properties which are subject to private restrictions and/or covenants.
 - If approval is pending, please attach a Letter of Acknowledgement from the POA and/or Regime.
- Letters of support, petitions, photographs, and any other documentation which an Applicant feels may support his or her request may be attached but are not required. (Paper & Digital Files Optional)**

CRITERIA FOR REVIEW

Pursuant to Section 6-29-800(A)(2) of the SC Code of Laws, the Board of Zoning Appeals has the power to hear and decide appeals for variance from the requirements of the zoning ordinance when strict application of the provisions of the ordinance would result in **unnecessary hardship**. A variance may be granted in an individual case of unnecessary hardship if the board makes and explains in writing the following findings:

- (a) there are **extraordinary and exceptional conditions** pertaining to the particular piece of property;
- (b) these conditions **do not generally apply to other property** in the vicinity;
- (c) because of these conditions, the application of the ordinance to the particular piece of property would **effectively prohibit or unreasonably restrict** the utilization of the property; and
- (d) the authorization of a variance will **not be of substantial detriment** to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

The board may not grant a variance, the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, if a variance is granted, may not be considered grounds for a variance. Other requirements may be prescribed by the zoning ordinance.

In granting a variance, the board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.



ATTACHMENT #2

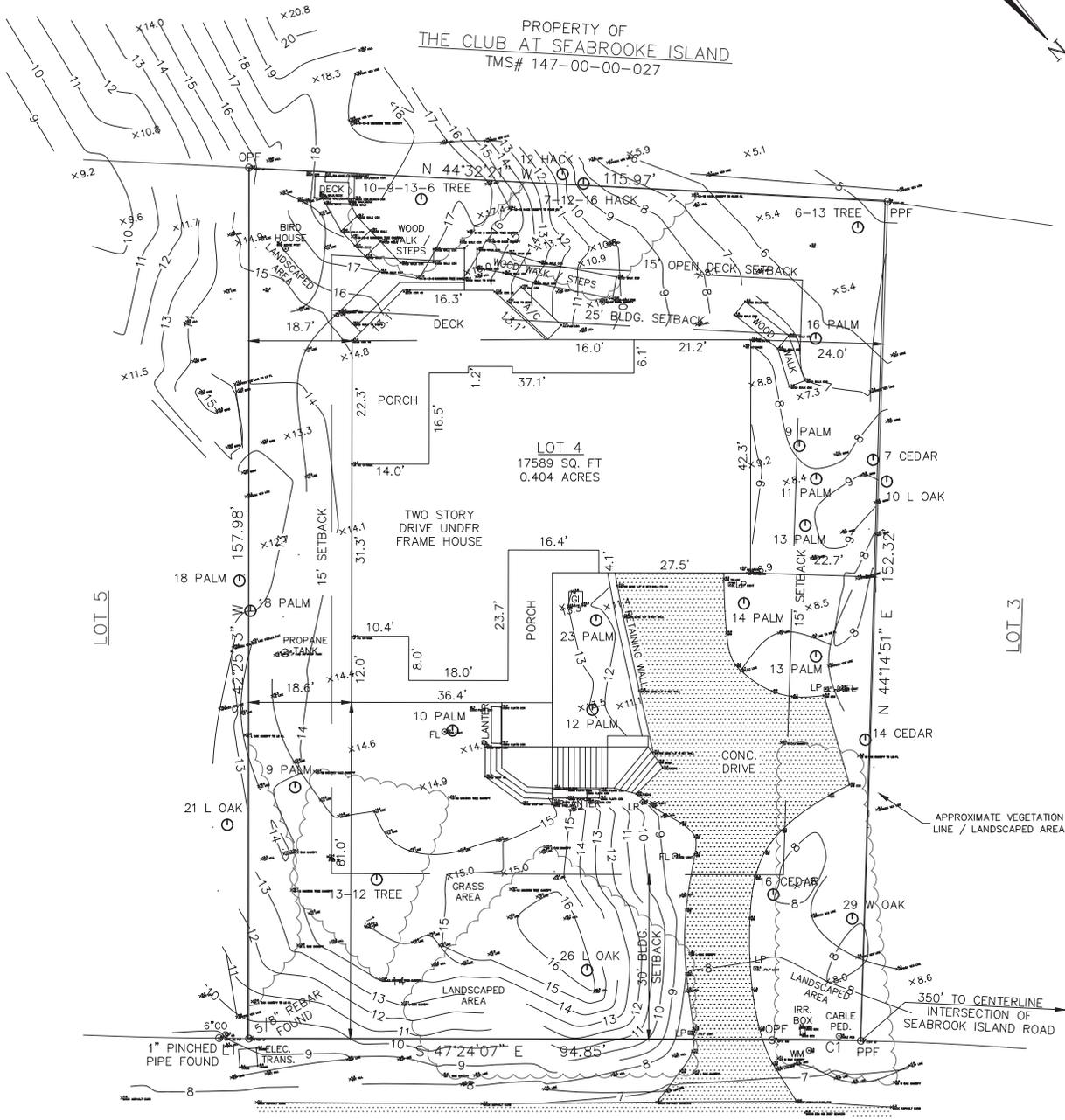
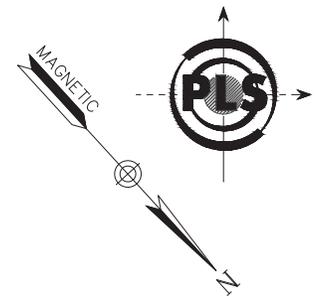
Survey (Existing Conditions)

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING
C1	574.89	16.10	16.10	S47°08'59"E

NOTES:
 FL = FLOOD LIGHT
 LP = LIGHT POST
 GI = GRATE INLET

PROPERTY LINE WITH PROPERTY CORNER FOUND AS DESCRIBED

OPF = 1" OPEN PIPE FOUND
 PPF = 1" PINCHED PIPE FOUND



SEAVIEW DRIVE (50' R/W)

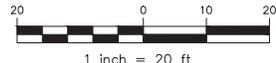
3557

SURVEYED FOR LEANNE SPAIDE
 SITE SURVEY SHOWING LOT 4, BLOCK 18
 SEABROOK ISLAND, TMS# 147-11-00-049
 LOCATED ON SEABROOK ISLAND, CHARLESTON COUNTY, SC

SCALE: 1" = 20' DATE: OCTOBER 25, 2018
 REFERENCE: PLAT RECORDED IN PLAT BOOK AK, PAGE 82
 LOT MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS
 NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
 PROPERTY APPEARS TO LIE IN FLOOD ZONE
 AE (ELEV. 13), 45019C 0785 J, REVISED NOVEMBER 17, 2004
 SB-18-04/ KRB FEMA REVISION CHECK: 10/30/18

SETBACKS PER ONLINE ORDINANCES AND SHOULD BE VERIFIED WITH ALL GOVERNING MUNICIPALITIES AND ASSOCIATIONS BEFORE CONSTRUCTION OR DESIGN.

PARKER LAND SURVEYING, LLC
 5910 GRIFFIN STREET, HANAHAN, SC 29410
 TEL: (843) 554-7777 FAX: (843) 554-7779





ATTACHMENT #3

Site Plan & Building Drawings

SPAIDE RESIDENCE

LANDSCAPE CONSTRUCTION

3557 SEAVIEW DR, SEABROOK ISLAND, SC 29455

SHEET INDEX

- L00 COVER
- L01 EXISTING CONDITIONS (SURVEY)
- L02 SITE PREP. & DEMOLITION PLAN
- L03 HARDSCAPE LAYOUT PLAN
- L04 HARDSCAPE DETAILS
- L05 HARDSCAPE DETAILS
- L06 GRADING & DRAINAGE PLAN
- L07 PLANTING PLAN
- L08 PLANTING SCHEDULE & NOTES
- L09 PLANTING DETAILS & NOTES



VICINITY MAP - N.T.S.



THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION." USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.



1060 E. Montague Ave.
Suite 315
N. Charleston SC, 29405
843.733.3325

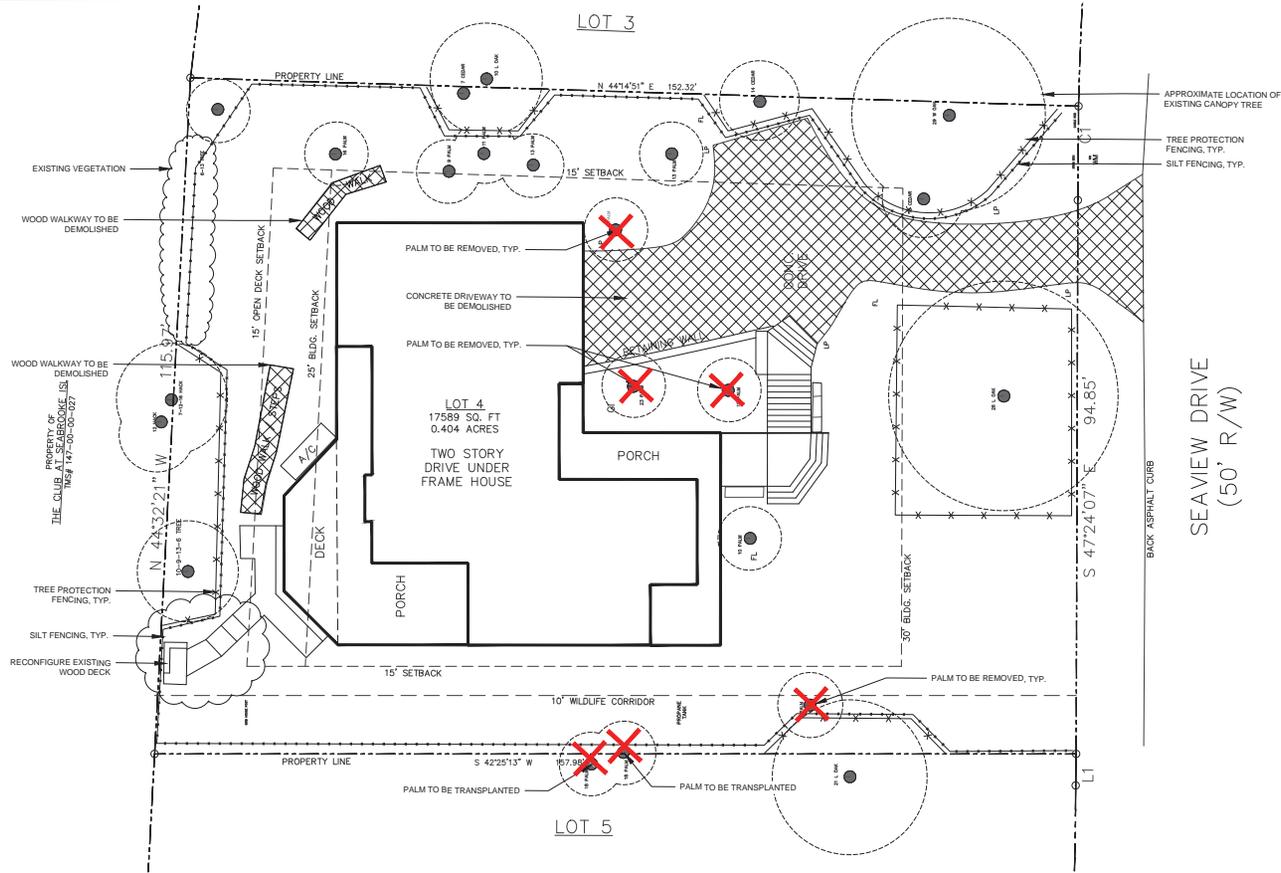


SPAIDE RESIDENCE
3557 SEAVIEW DR.
SEABROOK ISLAND, SC 29455

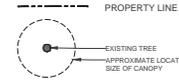
REVISIONS	DATES
ARC SUBMITAL	04.07.20
VARIANCE	07.14.20

DRAWN BY	JGK
REVISED BY	JGK
CHECKED BY	EWB

COVER
L00
SHEET 1 OF 10



EXISTING LEGEND:



GENERAL NOTES:

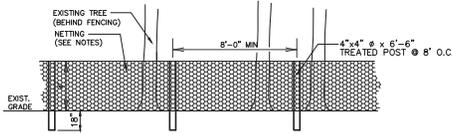
- SEE ARCHITECTURAL PLANS FOR SPOT ELEVATIONS.
- FINAL GRADING MUST BE COMPLETED IN SUCH WAY THAT IT DOES NOT ADVERSELY AFFECT DRAINAGE OR VEGETATION ON ADJOINING PROPERTY OR ROADSIDE SWALES.
- CONTRACTOR TO GRADE THE SITE WITH MINIMAL IMPACT TO EXISTING VEGETATION NOT NOTED TO BE REMOVED.

DEMOLITION LEGEND:



DEMOLITION NOTES:

- THE LIMIT OF WORK IS CONFINED TO AREAS WITHIN THE LIMIT OF WORK UNLESS OTHERWISE INDICATED.
- ALL VEGETATION / PLANT BEDS TO BE DEMOLISHED WITHIN THE LIMIT OF WORK, UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER, ENGINEER, OR LANDSCAPE ARCHITECT, TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY OWNER, ENGINEER, OR LANDSCAPE ARCHITECT. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE AS REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOIL TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER, ENGINEER OR LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS OR AS DIRECTED BY THE OWNER OR THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO COORDINATE CONSTRUCTION LAY DOWN AREA AND CONSTRUCTION ACCESS WITH OWNER OR LANDSCAPE ARCHITECT PRIOR TO DEMOLITION.
- CONTRACTOR SHALL REMOVE ALL ROOT BALLS AND STUMPS OF TREES AND PLANT MATERIAL INDICATED TO BE REMOVED.
- CONTRACTOR TO ENSURE ADEQUATE PERCENTAGE OF ROOT BALL HAS BEEN MAINTAINED FOR ALL TRANSPLANTED PLANT MATERIAL. CONTRACTOR SHALL STORE PLANT MATERIAL IN SUCH A WAY AS TO ENSURE THE TRANSPLANTED MATERIALS SURVIVAL.



- NOTES:**
- CONTRACTOR TO INSTALL 4" HIGH MINIMUM POLYETHYLENE LAMINAR SAFETY NETTING AROUND TREE FENCE. COLOR TO BE FLOURESCENT ORANGE OR YELLOW.
 - CONTRACTOR TO ATTACH NETTING TO POSTS WITH GALVANIZED STAPLES.
 - CONTRACTOR TO ENSURE THAT NETTING REMAINS SECURE DURING DURATION OF CONSTRUCTION.

TREE PROTECTION DETAIL

TREE PROTECTION NOTES:

- PROTECTIVE TREE BARRICADE TO BE PLACED A MINIMUM OF 10' FROM BASE OF TREE PLUS AN ADDITIONAL 1" FOR EACH ADDITIONAL 1" DBH GREATER THAN 10" DBH. IDEALLY FENCE TO BE LOCATED AT THE OUTER PERIMETER OF THE TREE CANOPY.
- ALL WORK DONE WITHIN PROTECTIVE BARRICADES IS TO BE DONE BY HAND ONLY.
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. NO PARKING, STORAGE, OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN THE TREE PROTECTION AREA.
- PROVIDE 3" DEEP WOOD CHIP MULCH OVER ANY UNPROTECTED ROOT ZONE.
- MAKE CLEAN CUTS ON ROOTS EXPOSED BY GRADING AND BACKFILL IMMEDIATELY.
- ALL PRUNING OF PROTECTED TREES AND GRAND TREES SHALL BE DONE BY A QUALIFIED TREE SERVICE (CERTIFIED ARBORIST).

PROJECT NORTH



SCALE: 1" = 10'-0" @ 24"x36" SHEET SIZE

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION". USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.



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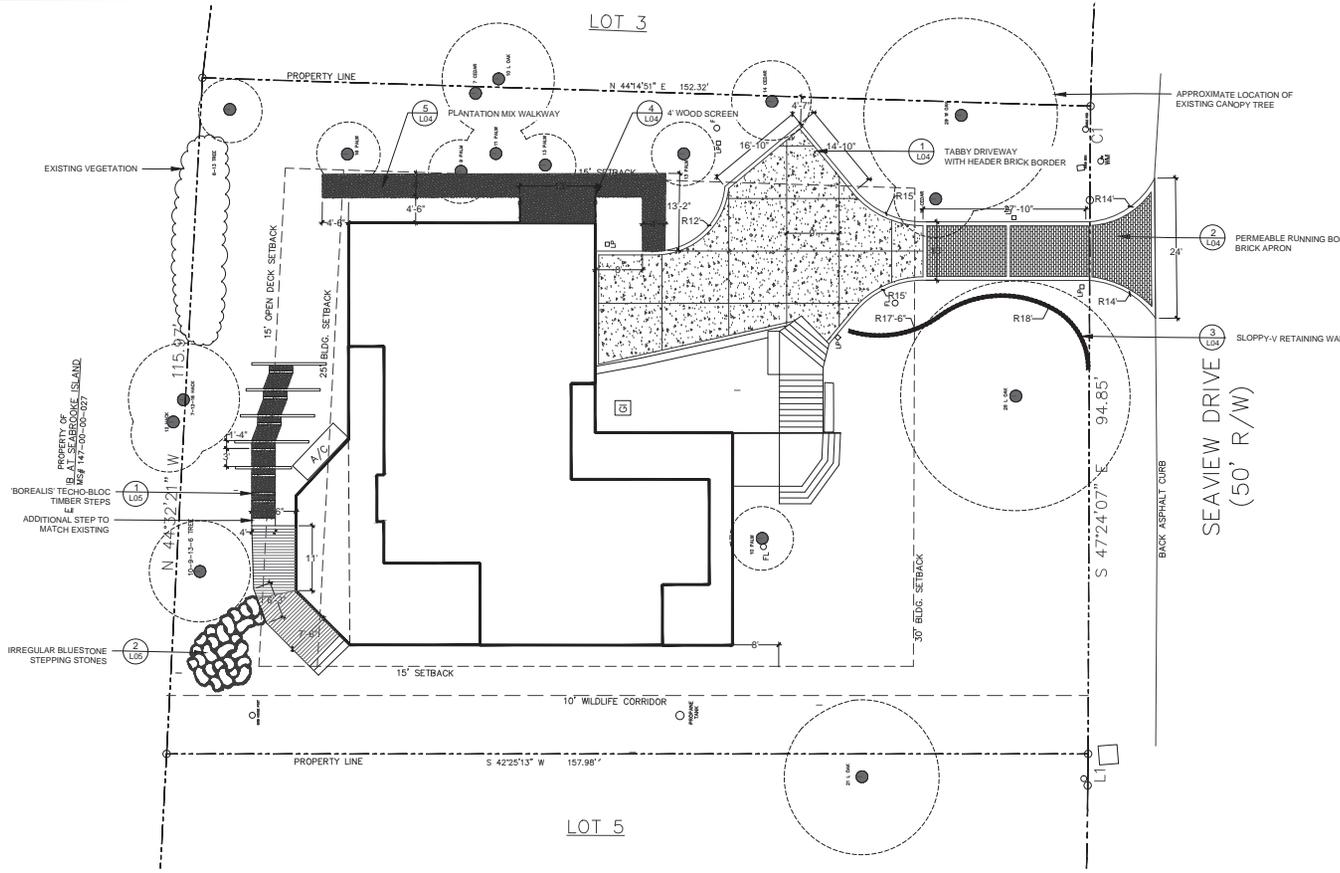


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SITE PREP & DEMOLITION
L02
SHEET 3 OF 10



EXISTING LEGEND:



HARDSCAPE NOTES:

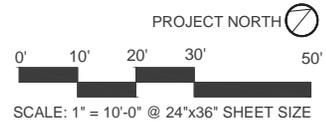
- CONTRACTOR TO STAKE SITE ELEMENTS IN THE FIELD FOR LANDSCAPE ARCHITECTS' APPROVAL PRIOR TO CONSTRUCTION.
- WORKMANSHIP SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL AND OWNERS ACCEPTANCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

GENERAL NOTES:

- BASE INFORMATION INCLUDING BUT NOT LIMITED TO STREETS, RIGHT-OF-WAYS, PROPERTY LINES, AND TOPOGRAPHY WAS OBTAINED FROM ARCHITECT, OUTDOOR SPATIAL DESIGN, LLC ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION SHOWN HEREIN.
- CONTRACTOR TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SUBMITTING BIDS AND NOTIFY LANDSCAPE ARCHITECT OR OWNER OF ANY DISCREPANCY PRIOR TO SUBMITTING BID.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES. CONTRACTORS SHALL ACQUIRE AND PAY FOR ALL PERMITS, LICENSES, TAXES AND FEES REQUIRED. ALL CONTRACTORS SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SERVICES, TOOLS, AND MISCELLANEOUS ITEMS REQUIRED FOR A FULLY COMPLETE PROJECT.
- WHERE CONFLICT OCCURS BETWEEN CONSTRUCTION PLAN, AND/OR FIELD CONDITIONS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BID.
- CONTRACTOR TO ENSURE THAT ALL APPLICABLE CONSTRUCTION AND LAND DISTURBANCE PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH UTILITY COMPANIES, ADJACENT LAND DEVELOPMENTS OR OTHER AFFECTED THIRD PARTIES.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WORKING ON SITE.
- CONTRACTOR TO DELIVER, STORE AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION AND LOSS, INCLUDING THEFT AND VANDALISM.
- CONTRACTOR RESPONSIBLE FOR FINAL CLEANING AND REPAIR OF DAMAGED PROPERTY OR PRODUCTS TO THE SATISFACTION OF THE OWNER.
- ALL SURFACES SHALL PITCH TO DRAIN.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO SUBMITTING BID, FABRICATION OR THE ORDERING OF ANY ITEMS TO BE USED FOR THIS PROJECT.

HARDSCAPE LOT COVERAGE:

TOTAL LOT AREA: 17,589 SF.
 PROPOSED HARDSCAPE AREAS:
 NON-PERVIOUS DRIVEWAY = 1,272 SF.
 1,272 (PROPOSED HARDSCAPE AREA) / 17,589 (TOTAL LOT AREA) = .072 (7.2%)
PROPOSED HARDSCAPE COVERAGE = 7.2%
 ALLOWABLE HARDSCAPE COVERAGE = 10%



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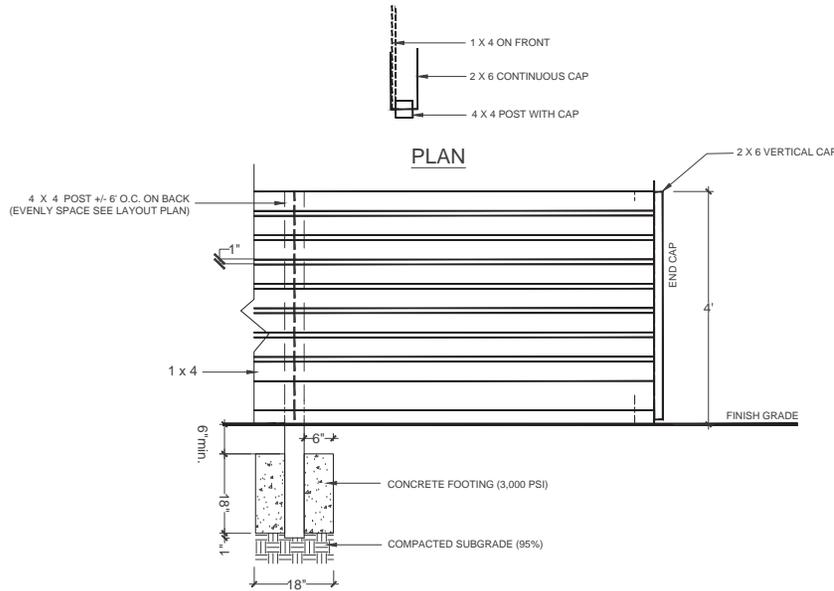
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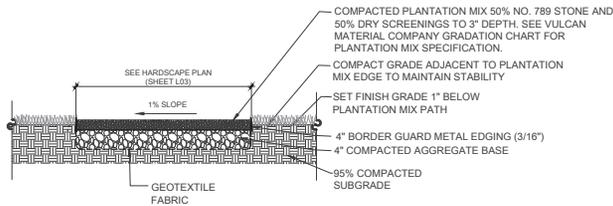
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HARDSCAPE LAYOUT
L03
 SHEET 4 OF 10

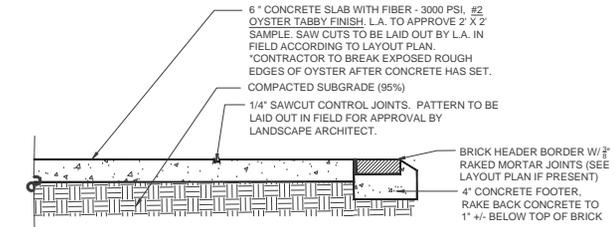
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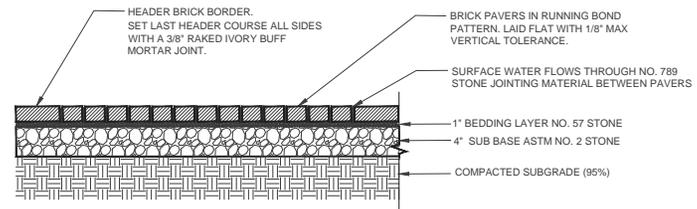
4
L04 **4' WOOD SCREEN**
SCALE: 1" = 1'-0"



5
L04 **PLANTATION MIX WALKWAY**
SCALE: 1" = 1'-0"

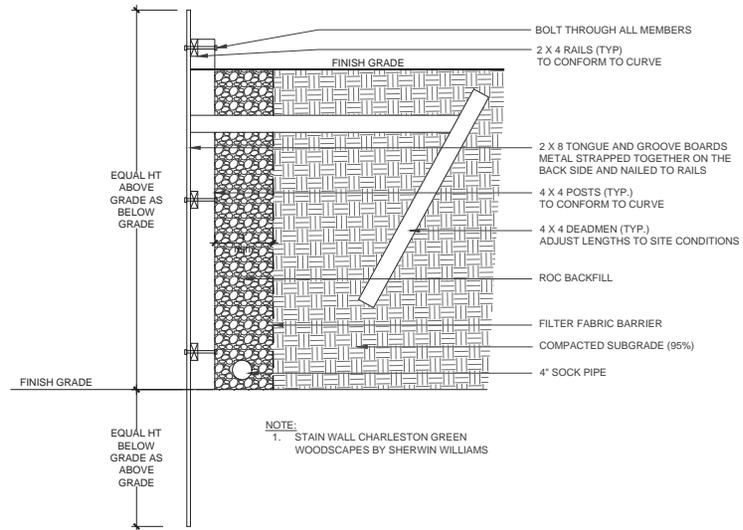


1
L04 **TABBY DRIVEWAY WITH BRICK BORDER**
SCALE: 1" = 1'-0"



NOTE:
1. BRICK AND MORTAR TO MATCH ARCHITECTURE.

2
L04 **PERMEABLE RUNNING BOND BRICK APRON**
SCALE: 1" = 1'-0"



NOTE:
1. STAIN WALL CHARLESTON GREEN WOODSCAPES BY SHERWIN WILLIAMS

3
L04 **SLOPPY V-RETAINING WALL**
SCALE: 1" = 1'-0"

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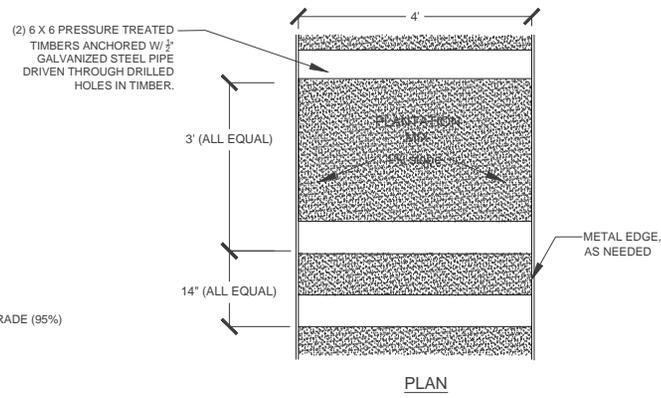
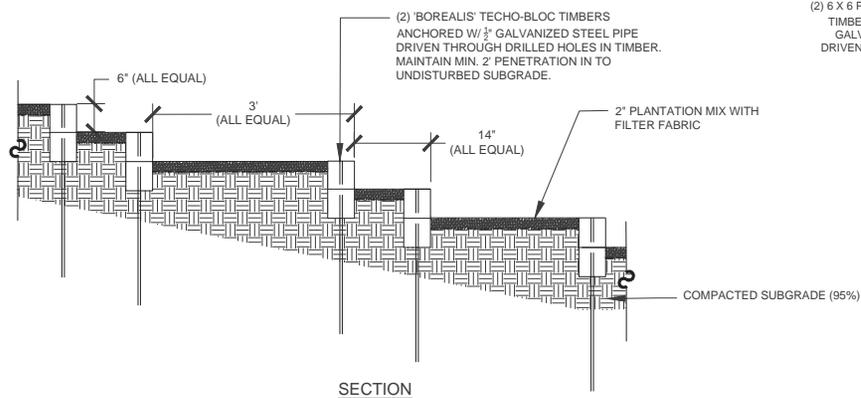
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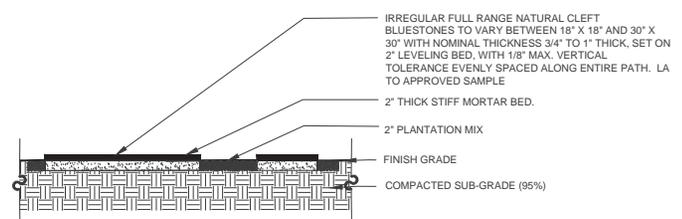
HARDSCAPE
DETAILS
L04

SHEET 5 OF 10

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1
L05
TIMBER STEPS
SCALE: 1" = 1'-0"



2
L05
IRREGULAR BLUESTONE STEPPING STONES
SCALE: 1" = 1'-0"

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HARDSCAPE
DETAILS
L05
SHEET 6 OF 10

PRODUCT SPECIFICATION SHEET

Nite-009-STEMLED

STEM

FLAT PYRAMID DIMPLE LIP TIER

Finished glass stems when included. Bolt is 3.6W LED.

6 1/2"

21"

Ham
Stem
Ground stake
Main supply cable

Mounting Accessory:
CONCRETE STAKE: 3/4" DIA.

By CREE

CREE

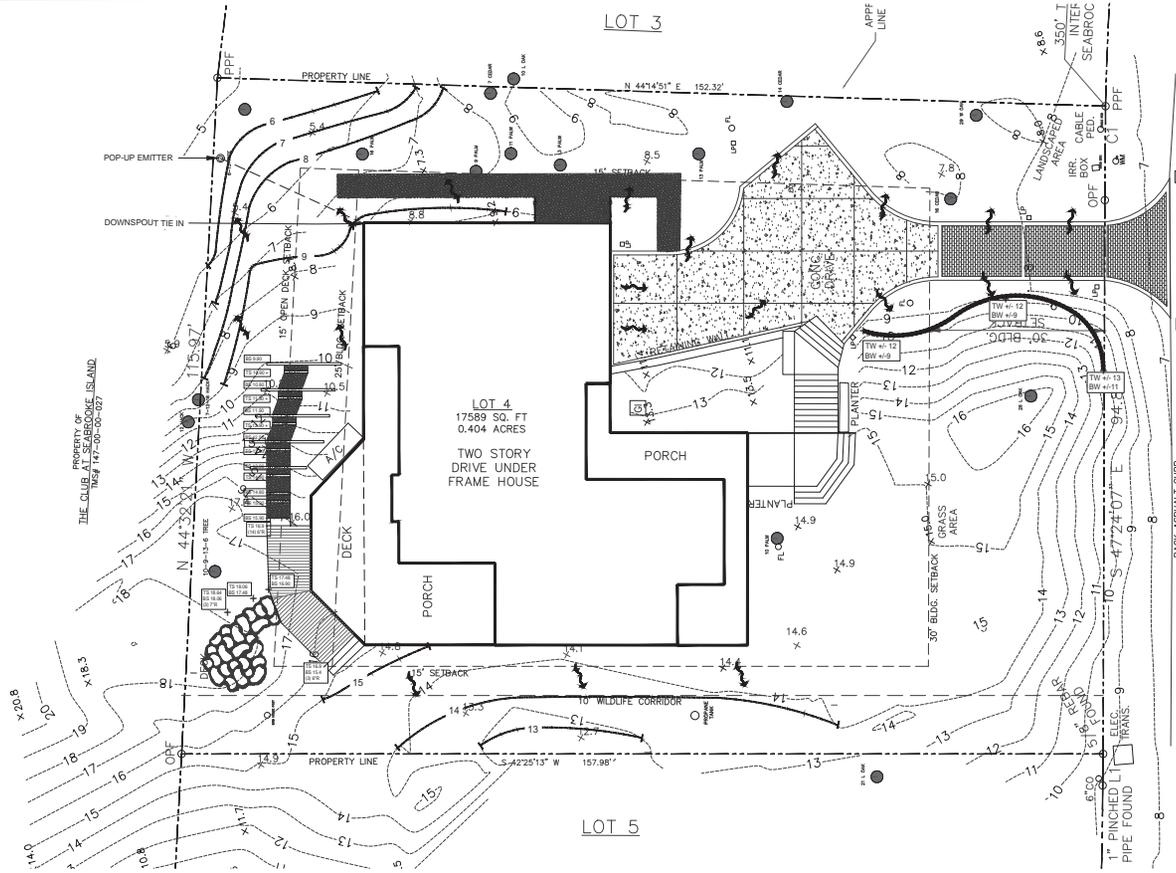
DESIGNED BY: FITZGERALD BASE DESIGN: WHEELER REV. C. DATE: 05/08/13

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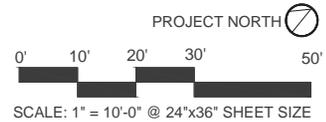
Due to our continued efforts to improve our products, material specifications are subject to change without notice.

LANDSCAPE LIGHTING SPECIFICATION



- EXISTING LEGEND:**
- PROPERTY LINE
 - EXISTING TREE
 - APPROXIMATE LOCATION / SIZE OF CANOPY
- GRADING & DRAINAGE NOTES:**
1. FINAL GRADING MUST BE COMPLETED IN SUCH WAY THAT IT DOES NOT ADVERSELY AFFECT DRAINAGE OR VEGETATION ON ADJOINING PROPERTY OR ROADSIDE SWALES.
 2. CONTRACTOR TO GRADE THE SITE WITH MINIMAL IMPACT TO EXISTING VEGETATION NOT NOTED TO BE REMOVED.
 3. EXISTING DRIVEWAY GRADE TO REMAIN.
- GRADING & DRAINAGE LEGEND:**
- +8.5 PROPOSED SPOT ELEVATION
 - ↘ DRAINAGE DIRECTION/PITCH
 - DOWN SPOUT TIE IN AND POP-UP EMITTER
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - MF MEET FLUSH

SEAVIEW DRIVE
(50' R/W)



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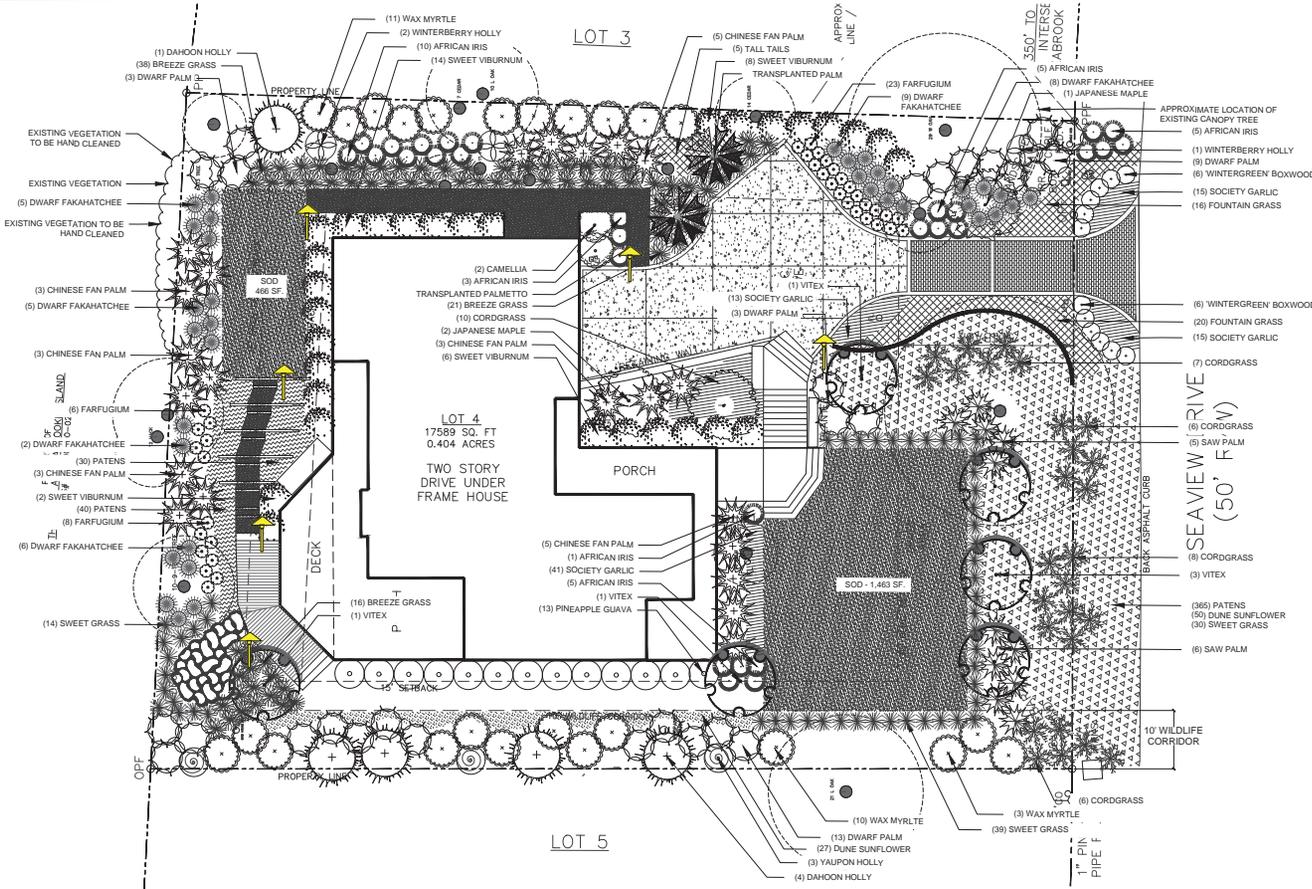


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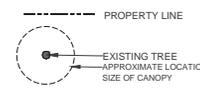
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GRADING & DRAINAGE
L06
SHEET 7 OF 10



EXISTING LEGEND:



GENERAL NOTES:

- CONTRACTOR TO STAKE SITE ELEMENTS IN THE FIELD FOR LANDSCAPE ARCHITECTS' APPROVAL PRIOR TO CONSTRUCTION.
- WORKMANSHIP SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL AND OWNERS ACCEPTANCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

IRRIGATION NOTES:

- ALL PLANT MATERIAL SHALL BE IRRIGATED.
- IRRIGATION SHALL BE INCLUDED IN THE CONTRACTORS BASE BID.
- CONTRACTOR TO COORDINATE WITH THE OWNER FOR LOCATION AND POWER SOURCE FOR IRRIGATION CLOCK, AND WATER SOURCE.
- ALL PLANT BEDS SHALL RECEIVE IN-LINE DRIP IRRIGATION SPACED NO GREATER THAN 24" APART, AND ALL SODDED AREAS SHALL RECEIVE OVERHEAD SPRAY IRRIGATION.
- SPRAY IRRIGATION SHALL NOT BE CAST ONTO ANY HARDSCAPE AND/OR VERTICAL ELEMENTS.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR TEMPORARY IRRIGATION SYSTEM SERVICES, PERMITS AND FEES AS NEEDED.

LIGHTING LEGEND:

- QTY. SYMBOL NITELITE PRODUCT # / FINISH / LED TYPE
- (6) NITE-009 / PATH LIGHT / AGED BRASS / LED 3.6W BULB / 3000 DEGREES KELVIN / 80 CRI (SEE SHEET-L05 FOR SPECIFICATIONS)

LIGHTING NOTES:

- PLACEMENT SHOWN ON PLAN IS DIAGRAMATIC ONLY.
- SWITCHING OF LIGHTING SYSTEM TO BE DETERMINED BY CLIENT AND LANDSCAPE ARCHITECT, AND MAY BE ADDITIONAL TO CONTRACT PRICE. CONTRACTOR TO PROVIDE TRANSFORMERS, CLOCK AND PHOTOCELL IN BASE BID.
- ELECTRICAL STUB-OUT AND CONDUIT LOCATIONS TO BE COORDINATED WITH SITE, MASON AND LANDSCAPE CONTRACTORS.



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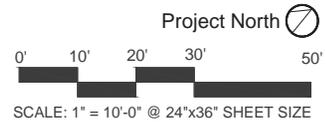


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PLANTING PLAN
L07
SHEET 8 OF 10



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PLANT REFERENCE IMAGES:

TREES:



JAPANESE MAPLE



VITEX (CHASTE TREE)

SHRUBS / GRASSES / GROUNDCOVERS:



CAMELLIA



DWARF PALM



CHINESE FAN PALM



SWEET VIBURNUM



YAUPON HOLLY



WAX MYRTLE



CORD GRASS



ADAGIO MAIDEN GRASS



WINTERBERRY HOLLY



DUNE SUNFLOWER



BREEZE GRASS



FARFUGIUM



AFRICAN IRIS



SWEET GRASS



DWARF FAKAHATCHEE

PLANT SCHEDULE:

Quantity	Botanical Name	Common Name	Size	Remarks
6	Vitex-agnus Castus	Vitex Tree	8' ht.	Full, well formed
3	Acer palmatum 'Red Dragon'	Japanese Maple	5ft. min.	Full, well formed
Shrubs				
Quantity	Botanical Name	Common Name	Size	Remarks
5	Ilex cassine	Dahoon Holly	15 gal.	Full, well formed
24	Myrica cerifera	Wax Myrtle	7 gal.	Full, well formed
22	Livistona chinensis	Chinese Fan Palm	7 gal.	Full, well formed
28	Sabal Minor	Dwarf Palm	7 gal.	Full, well formed
11	Serenoa repens	Saw Palm	7 gal.	Full, well formed
3	Ilex vomitoria	Yaupon Holly	7 gal.	Full, well formed
3	Ilex verticillata	Winterberry Holly	7 gal.	Full, well formed
2	Camellia sasanqua 'Yuletide'	'Yuletide' Camellia	7 gal.	Full, well formed
30	Viburnum odoratissimum	Sweet Viburnum	7 gal.	Full, well formed
12	Buxus microphylla	'Wintergreen' Boxwood	7 gal.	Full, well formed
13	Feijoa sellowiana	Pineapple Guava	7 gal.	Full, well formed
Grasses / Perennials				
Quantity	Botanical Name	Common Name	Size	Remarks
35	Tripsacum floridanum	Dwarf Fakahatchee Grass	1 gal.	Full, well formed
83	Muhlenbergia Capillaris	Sweet Grass	1 gal.	Full, well formed
42	Lomandra longifolia	Breeze Grass	1 gal.	Full, well formed
37	Spartina bakeri	Cordgrass	1 gal.	Full, well formed
29	Dietes indiooides	African Iris	1 gal.	Full, well formed
31	Farfugium japonicum	Farfugium	1 gal.	Full, well formed
77	Helianthus debilis	Dune Sunflower	1 gal.	Spaced 36" O.C.
36	Pennisetum alopecuroides	Fountain Grass	1 gal.	Spaced 36" O.C.
5	Pennisetum oriental 'Tall Tails'	Tall Tails	1 gal.	Spaced 36" O.C.
435	Spartina patens	Patens	1 gal.	Spaced 24" O.C.
84	Tulbaghia violacea	Society Garlic	1 gal.	Spaced 12" O.C.
1,929 - SF.	SOD - Zeon zoysia			

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GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS, AND REVIEW PROPOSED PLANTINGS AND RELATED WORK PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO CHECK THE QUALITY AND LOCATION OF ALL PLANT MATERIAL PRIOR TO PLANT INSTALLATION.
- IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS. CONTRACTOR TO VERIFY ALL PLANT COUNTS PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR TO COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON HE DRAWINGS OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTIONS REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF AND GRANTED BY THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMAN.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER'S ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION. REMOVE AND REPLACE DEAD PLANT MATERIAL IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER'S ACCEPTANCE. ACCEPTANCE OF GRADING AND SOD SHALL BE BY LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP MATERIAL IN A THRIVING CONDITION.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF LANDSCAPE MATERIAL PLACEMENT.
- CONTRACTOR TO REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY NOT MEETING SPECIFICATIONS.
- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- IF THE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION(S) WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACT SHALL SUBMIT SEVERAL SOIL SAMPLES OF EXISTING SOIL AND ADDITIONAL SOIL BROUGHT ON SITE TO CLEMSON EXTENSION. CONTRACTOR SHALL PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT AND VERIFY THAT SOIL CONDITIONS ARE OPTIMAL BEFORE ANY PLANT INSTALLATION COMMENCES.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/2 OF TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED, SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS ON SLOPES STEEPER THAN 3:1 OR N DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING AROUND TREES AND SHRUBS. IMMEDIATELY MULCH WITH DOUBLE SHREDDED HARDWOOD MULCH AT A DEPTH OF NO LESS THAN 3 INCHES AND WATER ALL PLANTS AND TREES. COMPLETE WITHIN 16 HOURS OF INSTALLATION.
- TREE PLANTINGS AND BED LINES SHALL BE STAKED BY CONTRACTOR FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BASE BID ALL GRADING, PLANTINGS, MULCHING, HOSE BIBS AND IRRIGATION SYSTEM WHICH SHALL TIE INTO EXISTING SYSTEM (WHERE APPLICABLE).
- CONTRACTOR TO PROVIDE 3" BEE'S FERRY COMPOST OR APPROVED EQUAL TO ALL BEDS AND FINE GRADE TO PROVIDE SMOOTH TRANSITION INTO EXISTING GRADES. GRADE TO PREVENT PONDING.
- IF SEASONAL CONDITIONS NECESSITATE THE NEED FOR CONTAINER GROWN STOCK WHEN BALLED AND BURLAPPED PLANT MATERIAL AS SPECIFIED, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SUBSTITUTION.



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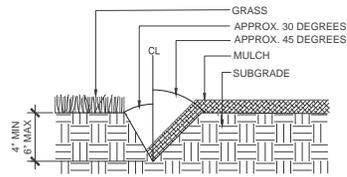


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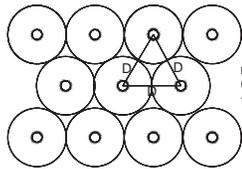
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PLANT SCHEDULE
L08
SHEET 9 OF 10



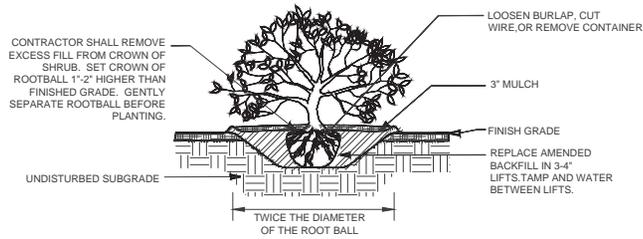
NOTES:
 1. EXCAVATE TRENCH BY HAND WITH SPADE, ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.

1 TRENCH EDGE
 L09 NOT TO SCALE



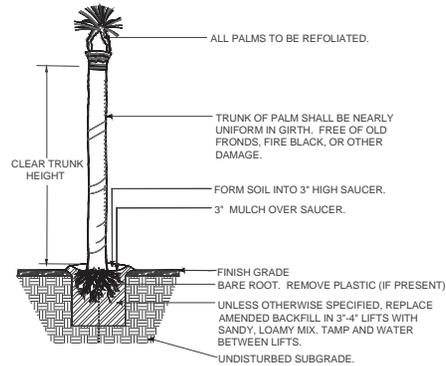
D = DIMENSION OF PLANT SPACING (SHRUB, GROUND COVER OR PERENNIAL) AS INDICATED ON PLANS.

2 SHRUB / GROUND COVER SPACING
 L09 NOT TO SCALE



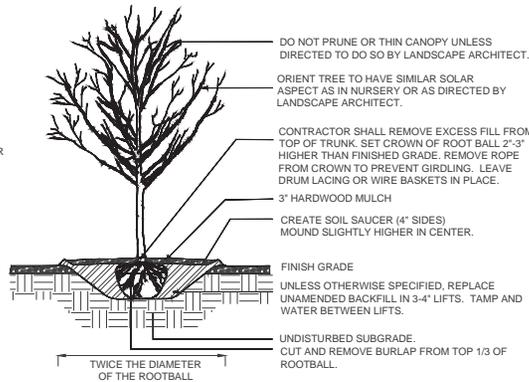
NOTE:
 1. AMENDED BACKFILL TO CONSIST OF BUILDERS SAND, COMPOST, AND SCREENED TOPSOIL AS NECESSARY.
 2. WHERE SHRUBS ARE PLANTED IN BEDS, MULCH TO COVER ENTIRE BED.

3 SHRUB INSTALLATION
 L09 NOT TO SCALE

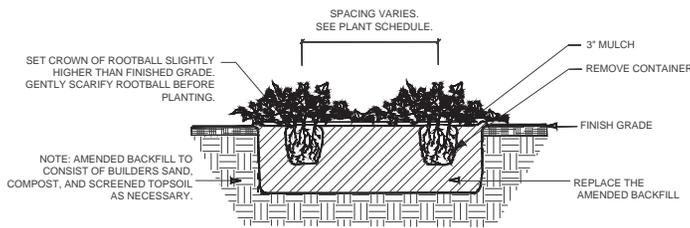


PALM TREE NOTES:
 1. STAKE ALL PALMS.

5 PALM TREE INSTALLATION
 L09



5 TREE PLANTING DETAIL
 L09 NOT TO SCALE



NOTE: AMENDED BACKFILL TO CONSIST OF BUILDERS SAND, COMPOST, AND SCREENED TOPSOIL AS NECESSARY.

4 GROUND COVER INSTALLATION
 L09 NOT TO SCALE

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT OF RECORD AND STAMPED "APPROVED FOR CONSTRUCTION." USE OF THIS DRAWING FOR QUANTITY TAKE-OFFS AND PRICING IS PRELIMINARY UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS, AND REVIEW PROPOSED PLANTINGS AND RELATED WORK PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO CHECK THE QUALITY AND LOCATION OF ALL PLANT MATERIAL PRIOR TO PLANT INSTALLATION.
- IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS. CONTRACTOR TO VERIFY ALL PLANT COUNTS PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR TO COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWINGS OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTIONS REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF AND GRANTED BY THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMAN.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER'S ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION. REMOVE AND REPLACE DEAD PLANT MATERIAL IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER'S ACCEPTANCE. ACCEPTANCE OF GRADING AND SOD SHALL BE BY LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP MATERIAL IN A THRIVING CONDITION.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF LANDSCAPE MATERIAL PLACEMENT.
- CONTRACTOR TO REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY NOT MEETING SPECIFICATIONS.
- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- IF THE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION(S) WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACT SHALL SUBMIT SEVERAL SOIL SAMPLES OF EXISTING SOIL AND ADDITIONAL SOIL BROUGHT ON SITE TO CLEMSON EXTENSION. CONTRACTOR SHALL PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT AND VERIFY THAT SOIL CONDITIONS ARE OPTIMAL BEFORE ANY PLANT INSTALLATION COMMENCES.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED, SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS ON SLOPES STEEPER THAN 3:1 OR N DRAINAGE SWALES. THE SOD SHALL BE STAKED TO THE GROUND.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING AROUND TREES AND SHRUBS. IMMEDIATELY MULCH WITH DOUBLE SHREDDED HARDWOOD MULCH AT A DEPTH OF NO LESS THAN 3 INCHES AND WATER ALL PLANTS AND TREES. COMPLETE WITHIN 16 HOURS OF INSTALLATION.
- TREE PLANTINGS AND BED LINES SHALL BE STAKED BY CONTRACTOR FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BASE BID ALL GRADING, PLANTINGS, MULCHING, HOSE BIBS AND IRRIGATION SYSTEM WHICH SHALL TIE INTO EXISTING SYSTEM (WHERE APPLICABLE).
- CONTRACTOR TO PROVIDE 3" BEE'S FERRY COMPOST OR APPROVED EQUAL TO ALL BEDS AND FINE GRADE TO PROVIDE SMOOTH TRANSITION INTO EXISTING GRADES. GRADE TO PREVENT PONDING.
- IF SEASONAL CONDITIONS NECESSITATE THE NEED FOR CONTAINER GROWN STOCK WHEN BALLED AND BURLAPPED PLANT MATERIAL AS SPECIFIED, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SUBSTITUTION.



1060 E. Montague Ave.
 Suite 315
 N. Charleston SC, 29405
 843.733.3325



SPAIDE RESIDENCE
 3557 SEAVIEW DR.
 SEABROOK ISLAND, SC 29455

REVISIONS	DATES
ARC SUBMITAL	04.07.20
VARIANCE	07.14.20

DRAWN BY	JGK
REVISED BY	JGK
CHECKED BY	EWB

PLANT DETAILS & NOTES
L09
 SHEET 10 OF 10

VARIANCE FORM - SUPPORTING IMAGES
3557 SEAVIEW DR. SEABROOK ISLAND, SC 29455
SPAIDE RESIDENCE

FRONT YARD SAND HILL EROSION



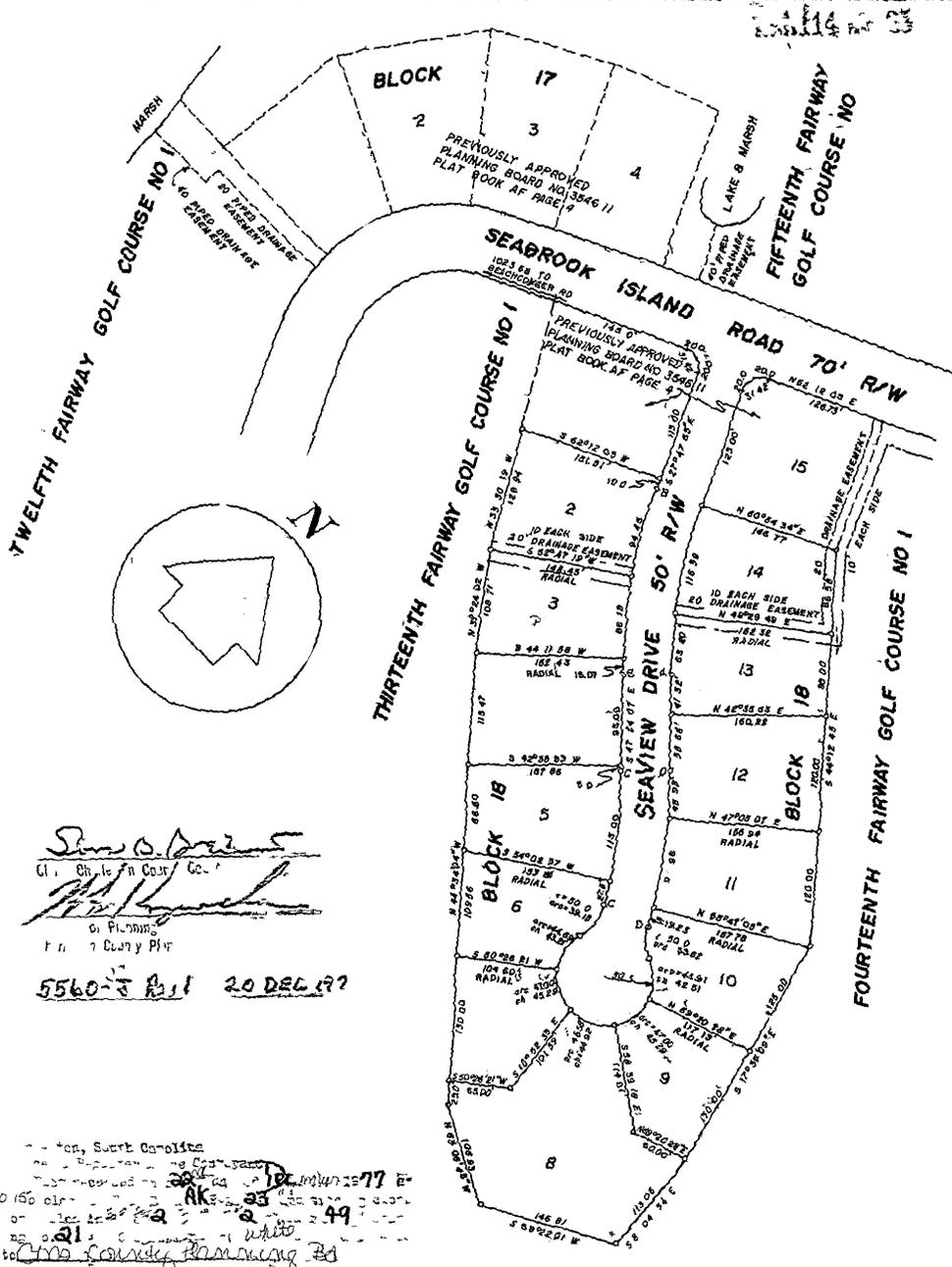
BACKYARD EROSION





ATTACHMENT #4

Subdivision Plat (1977)



E. M. Seabrook, Jr.
 Civil Engineer & Land Surveyor
 5560 1/2 Rd 1 20 DEC 1977

10 150' ...
 ...
 to the County Planning Bd

CURVE	Δ	F	D ²	T	L _c	R
A-A	19°36'12"	10.915'	90.68'	179.59'	524.89'	
B-B	15°36'12"	5.966'	99.32'	196.89'	574.89'	
C-C	14°09'02"	9.987'	71.42'	142.11'	575.41'	
D-D	14°09'02"	9.181'	82.05'	163.17'	628.41'	

SEABROOK ISLAND

CHARLESTON COUNTY, SC

PLAT OF LOTS 2-14, BLOCK 18
 SCALE 1"=100' NOVEMBER 21, 1977



I, E. M. SEABROOK, JR., a Registered Surveyor of the State of South Carolina, hereby certify that I have surveyed the property shown hereon, that this plat shows the true dimensions of the property that all necessary markers have been installed and the precision is 1/5000.

E. M. Seabrook, Jr.
 E. M. SEABROOK, JR.
 CIVIL ENGINEER & LAND SURVEYOR
 S.C. Reg. No. 1375

- NOTES
1. ALL LOT CORNERS MARKED WITH IRON PIPES
 2. ALL CURVE MEASUREMENTS ARE ARC LENGTHS
 3. OWNED BY SEABROOK ISLAND COMPANY
 4. ACREAGE 5.933 AC
 5. ALL CORNER RADII ARE 80'
 6. ALL LOTS SHOWN ON THIS PLAT ARE ABOVE ELEVATION 50 M.S.L.
 7. MINIMUM LOT SIZE IS 715 SQ. FT.
 8. THIS PLAT SHOWS THE REVISION OF CONDITIONALLY APPROVED LOTS 7, 8, AND 9.



ATTACHMENT #5

Property Photos













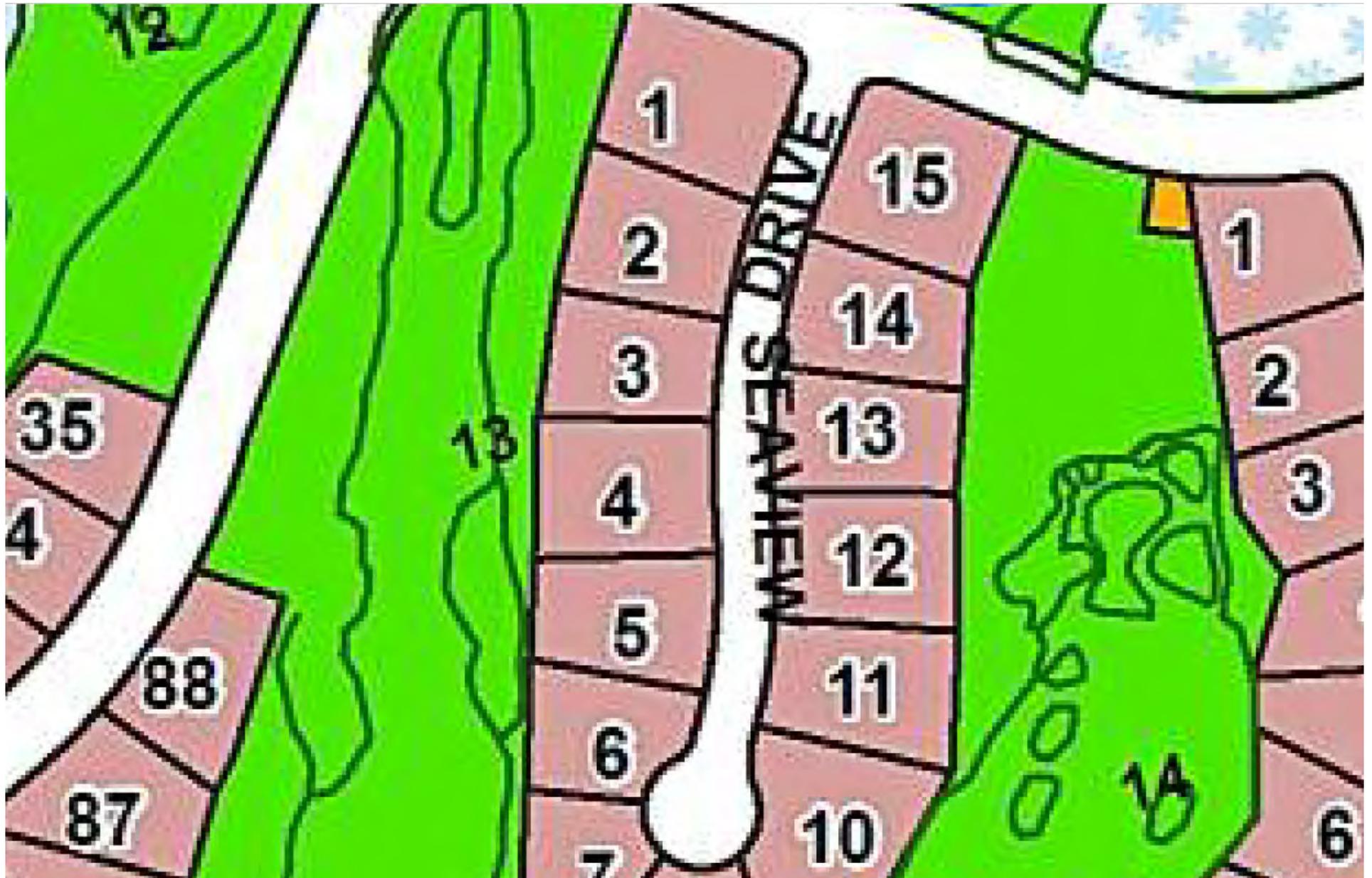






ATTACHMENT #6

Zoning Map





ATTACHMENT #7

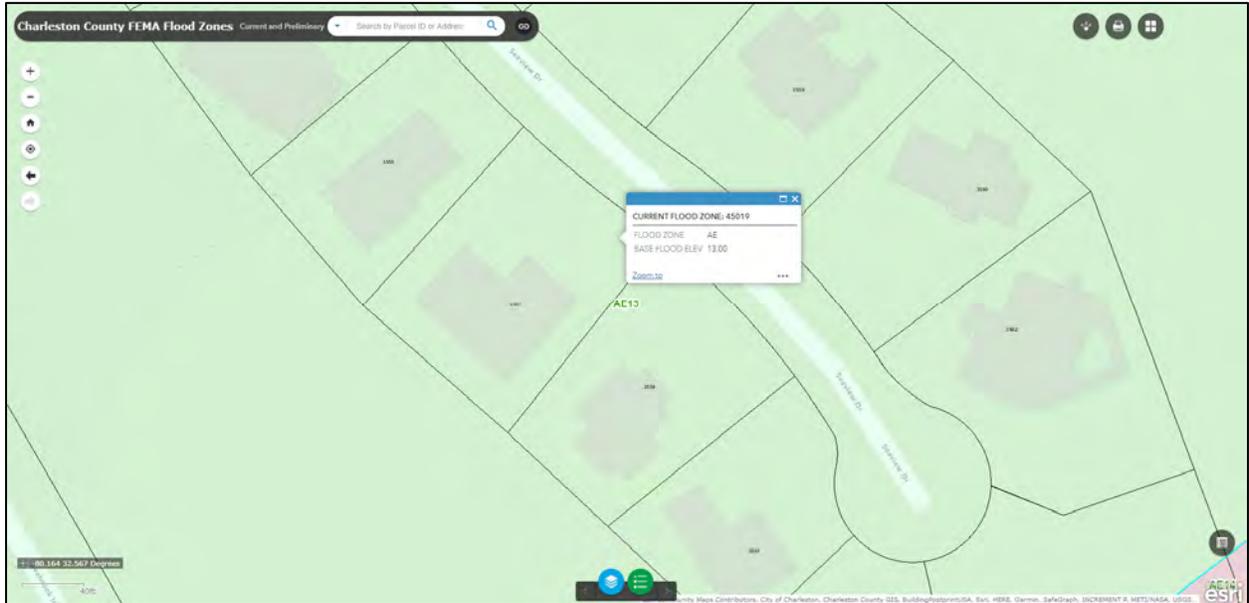
Aerial Image



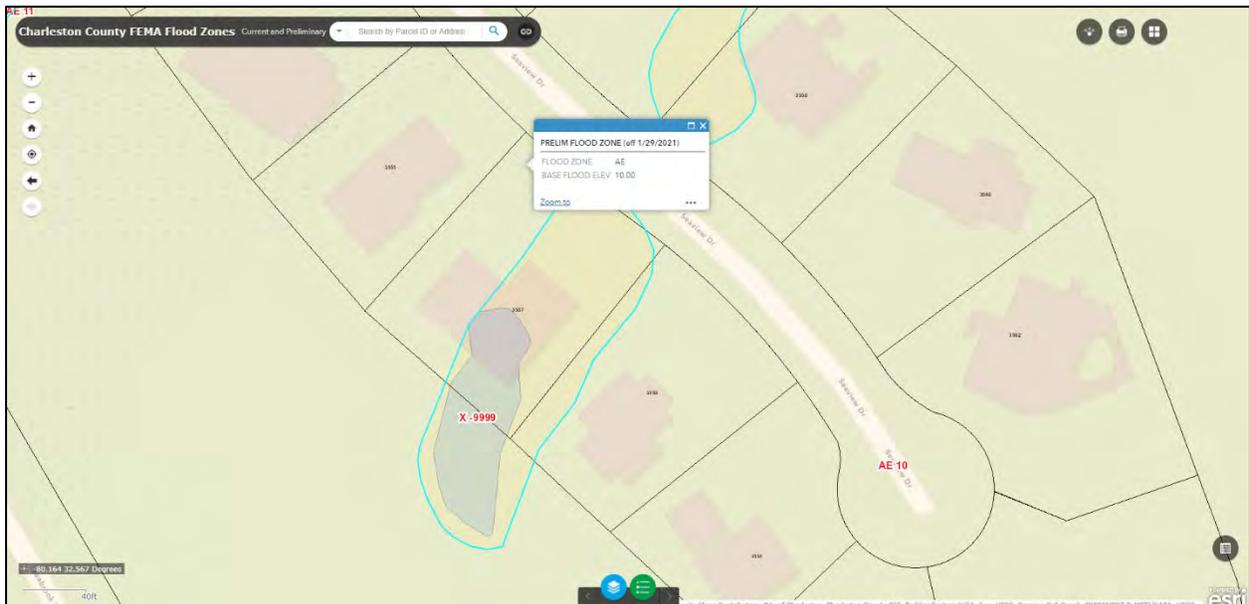
ATTACHMENT #8

FEMA Base Flood Elevations (Current & Preliminary)

FEMA Base Flood Elevation (Current) AE-13



FEMA Base Flood Elevation (Effective 01/29/2021) AE-10 / Shaded X / X





ATTACHMENT #9

Title to Real Estate



STATE OF SOUTH CAROLINA)
)
COUNTY OF CHARLESTON)

TITLE TO REAL ESTATE

NOW, KNOW ALL MEN BY THESE PRESENTS, Phyllis Goldfarb ("Grantor"), in consideration of the sum of Nine Hundred Fifty Thousand and 00/100 Dollars (\$950,000.00), to her in hand paid at and before the sealing of these presents by Leanne P. Spaide and William Spaide as Joint Tenants with Right of Survivorship and Not as Tenants in Common ("Grantee"), in the State aforesaid, the receipt whereof is hereby acknowledged, has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release, subject to the easements, restrictions, reservations, and conditions set forth below and in the attached Exhibit A incorporated herein by reference, unto the said Leanne P. Spaide and William Spaide as Joint Tenants with Right of Survivorship and Not as Tenants in Common, their heirs and assigns, the following described property, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Grantee Address: 3557 Seaview Drive, Seabrook Island, SC 29455

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned unto the said Leanne P. Spaide and William Spaide as Joint Tenants with Right of Survivorship and Not as Tenants in Common, their heirs and assigns forever.

AND the Grantor does hereby bind the Grantor and the Grantor's heirs, assigns, executors, and administrators, to warrant and forever defend, all and singular, the said

Buist, Byars & Taylor, LLC
130 Gardener's Circle, PMB #138
Johns Island, SC 29455

EXHIBIT "A"

All that certain lot, piece or parcel of land situate, lying and being on Seabrook Island, Charleston County, South Carolina, and known and designated as Lot 4, Block 18 on a plat by E.M. Seabrook, Jr., C.E. and L.S., dated November 21, 1977, and recorded in the RMC Office for Charleston County in Plat Book AK at Page 82.

Said Lot having such size, shape, dimensions, buttings and boundings mor or less as are shown on said plat, which is specifically incorporated herein by reference.

Subject to any and all easements, restrictions and rights of way of record.

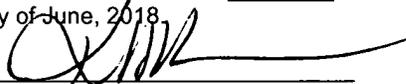
THE PROPERTY DESCRIBED IN THIS DEED LIES IN CLOSE PROXIMITY TO THE TIDAL WATERS OF THE ATLANTIC OCEAN AND THEREFORE MAY BE SUBJECT TO EROSION BY THESE WATERS. GRANTOR MAKES NO REPRESENTATION OR WARRANTY AS TO THE EFFECT, IF ANY, WHICH SAID TIDAL WATERS MAY HAVE ON THE PROPERTY. THE GRANTEEES HEREIN ASSUME ALL RISK IN THE EVENT THE PROPERTY AND ANY IMPROVEMENTS BUILT THEREON IS DIMINISHED OR DAMAGED BY EROSION.

This being the identical property conveyed to Abraham Goldfarb and Phyllis Goldfarb by Judith M. Schott as Successor Trustee of the Edward J. Schott Revocable Trust dated October 8, 2013 and Judith M. Schott as Trustee of the Judith M. Schott Revocable Trust dated October 8, 2013, be deed dated November 4, 2015, and recorded on November 12, 2015, in Deed Book 0516 at Page 855 in the ROD Office for Charleston County; thereafter, Abraham Goldfarb departed this life on November 13, 2017, leaving Phyllis Goldfarb as the sole owner of 100% of the subject property by operation of law; as evidenced by Statement of Property Vesting, dated December 1, 2017, and recorded December 1, 2017, in Deed Book 0683 at Page 316 in the ROD Office for Charleston County.

TMS # 147-11-00-049

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property is being transferred **BY** Phyllis Goldfarb **TO** Leanne P. Spaide and William Spaide **ON** June 25, 2018.
3. Check one of the following: **The DEED is**
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) _____ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
 - (c) _____ EXEMPT from the deed recording fee because (exemption# _____)
(Explanation If required)
(If exempt, please skip items 4-6, and go to item 7 of this affidavit.)
4. Check one of the following if either item 3(a) or item 3(b) above has been checked.
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$950,000.00.
 - (b) _____ The fee is computed on the fair market value of the realty which is \$ _____.
 - (c) _____ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____.
5. Check YES__ or NO X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. If "YES", the amount of the outstanding balance of this lien or encumbrance is \$ _____.
6. The DEED Recording Fee is computed as follows:
 - (a) 950,000.00 the amount listed in item 4 above
 - (b) 0 the amount listed in item 5 above (no amount place zero)
 - (c) 950,000.00 Subtract Line 6(b) from Line 6(a) and place the result.
19. As required by Code Section § 12-24-70, I state that I am a responsible person who was connected with the transaction as: attorney.
20. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.
21. DEED OF DISTRIBUTION - ATTORNEY'S AFFIDAVIT: Estate of _____ deceased CASE NUMBER _____
Personally appeared before me the undersigned attorney who, being duly sworn, certified that (s)he is licensed to practice law in the State of South Carolina; that (s)he has prepared the Deed of Distribution for the Personal Rep. In the Estate of _____ deceased and that the grantee(s) therein are correct and conform to the estate file for the above named decedent.
22. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more that one thousand dollars or imprisoned not more that one year or both.

Sworn to before me this 25
day of June, 2018.


Notary Public for South Carolina
My Commission Expires: _____

Grantor, Grantee, or Legal Representative
connected with this transaction
BUIST BARRIS & TAYLOR, LLC
Print or Type Name here



RECORDER'S PAGE



NOTE: This page **MUST** remain with the original document

Filed By:

BUIST BYARS & TAYLOR, LLC
 FRESHFIELDS VILLAGE
 130 GARDNER'S CR PMB 138
 JOHNS ISLAND SC 29455 (BOX)

RECORDED		
Date:	June 27, 2018	
Time:	11:13:08 AM	
<u>Book</u>	<u>Page</u>	<u>DocType</u>
0729	171	Deed
Elaine H. Bozman, Register Charleston County, SC		

MAKER:

GOLDFARB PHYLLIS

Note:

RECIPIENT:

SPAIDE LEANNE P AL

of Pages:

Recording Fee	\$ 10.00
State Fee	\$ 2,470.00
County Fee	\$ 1,045.00
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
TOTAL	\$ 3,525.00

Original Book:

Original Page:

AUDITOR STAMP HERE
 RECEIVED From ROD
 Jul 03, 2018
 Peter J. Tecklenburg
 Charleston County Auditor

PID VERIFIED BY ASSESSOR
 REP RJB
 DATE 07/03/2018
 4

DRAWER
 CLERK



0729
Book



171
Page



06/27/2018
Recorded Date



5
Pgs



Original Book



Original Page



D
Doc Type



11:13:08
Recorded Time



ATTACHMENT #10

Property Information Card



[WELCOME](#) [REAL PROPERTY RECORD SEARCH](#) [REAL PROPERTY BILL SEARCH](#) [PERSONAL PROPERTY SEARCH](#)

[MOTOR VEHICLE SEARCH](#) [CHECKOUT](#) [CONTACT US](#)

\$0.00
CHECK OUT

[← RETURN](#) [⌂ SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

Property Information

Current Owner: SPAIDE LEANNE P SPAIDE WILLIAM 3557 SEAVIEW DR SEABROOK ISLAND SC 29455	Property ID	1471100049
	Physical Address	3557 SEAVIEW DR
	Property Class	101 - RESID-SFR
	Plat Book/Page	/
	Neighborhood	111401 AD01 Seaview Drive Seabrook I
	Deed Acres	0.0000

Legal Description

Subdivision Name -SEABROOK ISLAND Description -LOT 4 BLK 18
PlatSuffix AK-23 PolTwp 009

Sales History

Book	Page	Date	Grantor	Grantee	Type	Deed	Deed Price
0729	171	6/25/2018	GOLDFARB PHYLLIS	SPAIDE LEANNE P	S	Ge	\$950,000
0683	316	11/13/2017	Multiple Owners	GOLDFARB PHYLLIS	M	De	\$0
0516	855	11/9/2015	SCHOTT EDWARD J REV TRUST	GOLDFARB PHYLLIS	S	Ge	\$610,000
0371	084	10/31/2013	SCHOTT EDWARD J	SCHOTT EDWARD J REV TRUST	S	Ge	\$0
R127	384	2/5/1982	CONVERSION CONVERSION	SCHOTT EDWARD J		Ge	\$0
W126	316	10/14/1981		CONVERSION CONVERSION		Ge	\$0

[← RETURN](#) [⌂ SALES](#) [📄 TAX INFO](#) [🏠 ADDITIONAL PROPERTY INFO](#) [🖨️ PRINT](#)

PIN: 1471100049

This data is as-of 04-09-2020



The information on this page is for Tax Year 2019 and reflects the status of the property for that tax year. This includes building information, values and information on exemptions, discounts and special assessments. Any changes for Tax Year 2020 will not be displayed until later in 2020.

Value Info

Legal Residence	LR Pct	AgUse	ATI 25Pct Exemption	Assessed Value
Y	100	N	N	\$38,000
		Land	Improvement	Total
Market Value		\$320,000	\$630,000	\$950,000
Capped Value *		\$320,000	\$630,000	\$950,000
Taxable/Use Value **		\$320,000	\$630,000	\$950,000

Value History

	2018	2017	2016	2015
Market Value	\$675,500	\$675,500	\$610,000	\$718,246
Capped Value *	\$675,500	\$675,500	\$610,000	\$718,246
Taxable/Use Value **	\$675,500	\$675,500	\$610,000	\$718,246
Assessed Value	\$27,020	\$27,020	\$24,400	\$26,730

* **Capped Value:** At County-wide reassessments the increase in the value of a property for tax purposes is limited (capped) at no more than 15%.

** **Taxable/Use Value:** The Capped Value and Taxable/Use Value are usually the same. If the property has been approved for Agricultural Use the values will be different.

Dwelling Info

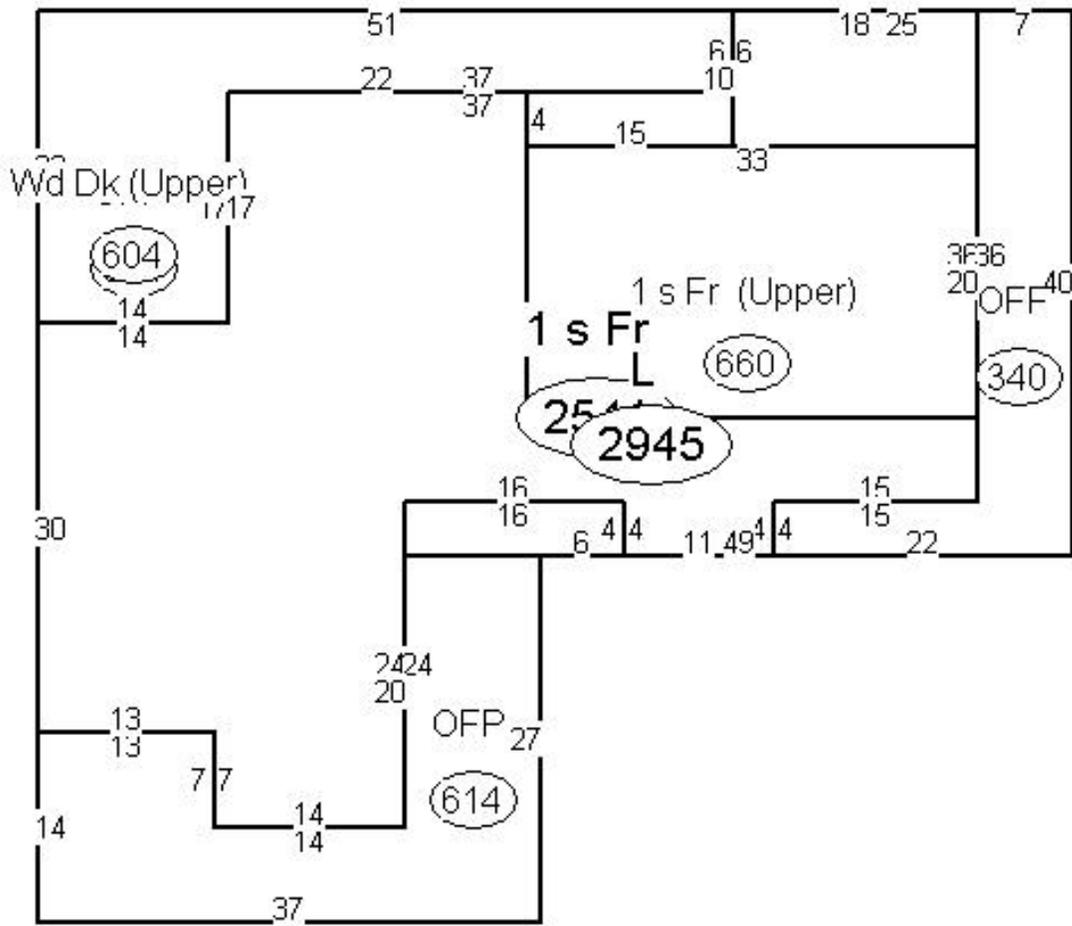
Extension	House Type	Year Built	Total Finished Living Area	Bedroom Count	Full Bath Count	Half Bath Count	Total Stories
R01	21 1.5 Stories	1984	3201	3	3	1	2

Additional Improvements

No data available

Sketches

R01



Municipalities

- [City of Charleston](#)
- [City of Folly Beach](#)
- [City of North Charleston](#)
- [City of Isle of Palms](#)

Additional Resources

- [Arts & Entertainment](#)
- [CARTA Transit System](#)
- [Sex Offenders Search](#)
- [Identity Theft Info](#)
- [Traffic Cam](#)

Social Media



- [Town of Awendaw](#)
- [Town of Hollywood](#)
- [Town of James Island](#)
- [Town of Kiawah Island](#)
- [Town of Lincolnville](#)
- [Town of McClellanville](#)
- [Town of Meggett](#)
- [Town of Mount Pleasant](#)
- [Town of Ravenel](#)
- [Town of Rockville](#)
- [Town of Seabrook Island](#)
- [Town of Sullivan's Island](#)

- [County Library](#)
- [County Parks](#)
- [Transportation](#)
- [Sales Tax](#)
- [School District](#)
- [Charleston](#)
- [Community Guide](#)

- [Make-A-Wish Car](#)
- [Donation](#)
- [United Way 24hr](#)
- [hotline](#)
- [Visitor Information](#)

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ATTACHMENT #11

Public Hearing Notice:
Letter to Neighboring Property Owners



PUBLIC HEARING NOTICE

TO: Neighboring Property Owners
FROM: Joseph M. Cronin, Town Administrator/Zoning Administrator
SUBJECT: Variance Request for 3557 Seaview Drive (Variance #168)
DATE: July 22, 2020

Dear Property Owner,

The purpose of this letter is to notify you that the owners of **3557 SEAVIEW DRIVE** have requested a **VARIANCE** from the zoning requirements of the Town's Development Standards Ordinance (DSO). The purpose of the variance request is **TO ALLOW A PROPOSED RETAINING WALL TO ENCROACH APPROXIMATELY 30 FEET INTO THE REQUIRED 30-FOOT FRONT YARD SETBACK AND TO ALLOW TERRACED STEPS TO ENCROACH APPROXIMATELY 7 FEET INTO THE REQUIRED 15-FOOT REAR YARD SETBACK**. A copy of the variance application is enclosed for your information.

The Town's Board of Zoning Appeals has scheduled a **VIRTUAL PUBLIC HEARING**, during which time the Board will receive testimony from any individual who wishes to provide a comment regarding the variance request. This notification is being provided to you pursuant to Section § 19.30.20.30 of the DSO.

PUBLIC HEARING DATE: Wed. August 26, 2020
PUBLIC HEARING TIME: 2:30 PM
PUBLIC HEARING LOCATION: Live Stream on Town YouTube Page
<https://www.youtube.com/channel/UCIkF87knEApHD1q0kGlaGZg>

Individuals who wish to submit a public comment on the variance request may do so in writing by 12:00 pm on Tues. August 25, 2020, using one of the following options:

ONLINE: www.townofseabrookisland.org/variance-168.html
BY E-MAIL: jcronin@townofseabrookisland.org
BY MAIL: Town of Seabrook Island, Attn: Zoning Administrator
2001 Seabrook Island Road, Seabrook Island, SC 29455

If you have any questions about the contents of this letter, please feel free to contact me by phone at (843) 768-9121 or by email at jcronin@townofseabrookisland.org.

Sincerely,

Joseph M. Cronin
Town Administrator/Zoning Administrator



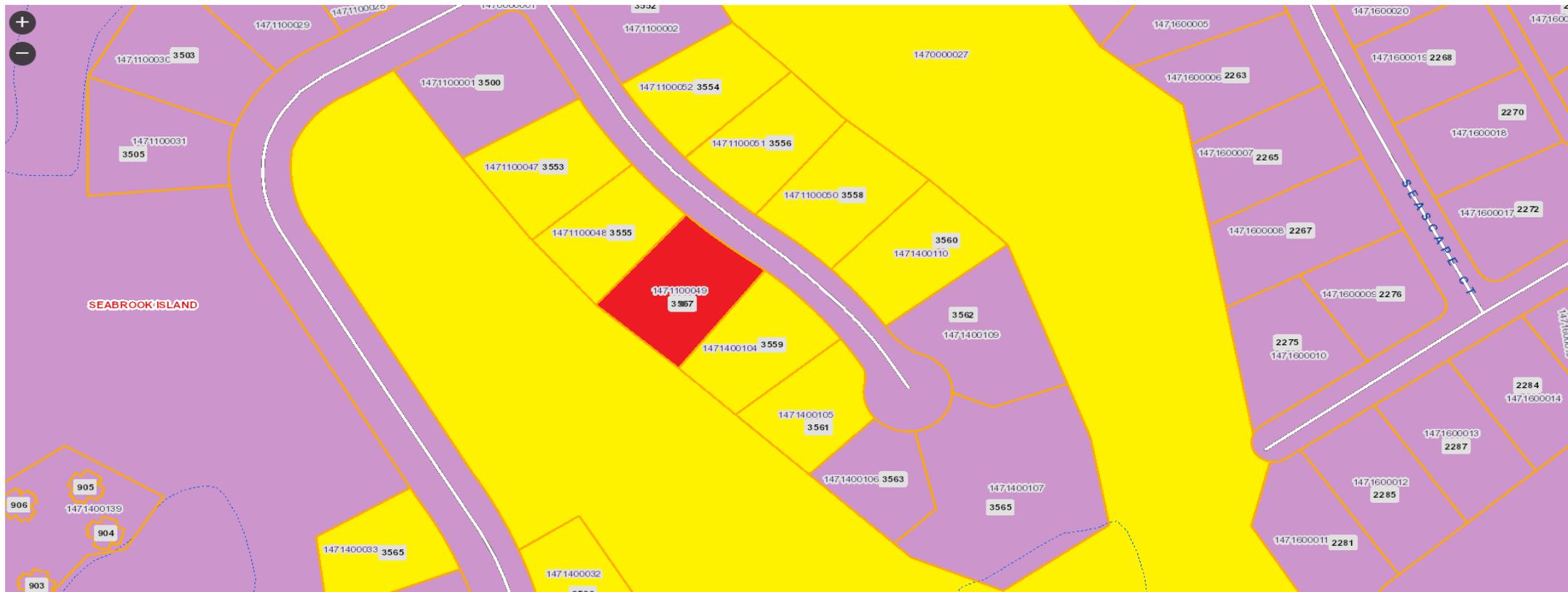
ATTACHMENT #12

Public Hearing Notice:
List of Neighboring Property Owners

Variance Notification List

3557 Seaview Drive

Property Address	Owner(s) of Record	Mailing Address	City	State	Zip
3553 Seaview Drive	Steven Delaney	3553 Seaview Drive	Seabrook Island	SC	29455
3554 Seaview Drive	Peter and Kathryn McDevitt	10720 Sycamore Springs Ln	Great Falls	VA	22066
3555 Seaview Drive	Foltz Revocable Trust	3555 Seaview Drive	Seabrook Island	SC	29455
3556 Seaview Drive	Kevin and Nanette Murphy	5301 Burwash Court	Charlotte	NC	28277
3558 Seaview Drive	John and Lynn Williams	3558 Seaview Drive	Seabrook Island	SC	29455
3559 Seaview Drive	Paul and Donna Reinbolt	11731 Winshire Drive	Houston	TX	77024
3560 Seaview Drive	Thomas and Tara Olson	361 Ridgeway Street	Saint Joseph	MI	49085
3561 Seaview Drive	Carolyn McAfee	661 Richmond Hill Drive	Macon	GA	31210
3565 Seabrook Island Road	Seabrook Grimes Trust / Ronald Calhoun Trustee	3792 Grimes Drive	Columbus	OH	43204
3580 Seabrook Island Road	Marilyn Ashikari	99 Tomahawk Street	Yorktown Heights	NY	10598
Golf Course	The Club at Seabrook Island	1002 Landfall Way	Seabrook Island	SC	29455
Property Owners Association	Seabrook Island Property Owners Association	1202 Landfall Way	Seabrook Island	SC	29455
Regime	Not Applicable				





ATTACHMENT #13

Public Hearing Notice:
U.S.P.S. Certified Mail Receipts

7016 2290 0002 2610 3061

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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Extra Services & Fees (check box, add fee as appropriate):
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
\$

Sent To
Steven Delaney
Street and Apt. No., or PO Box No.
3555 Seaview Drive
City, State, ZIP+4®
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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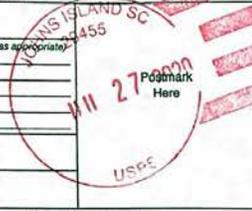
Extra Services & Fees (check box, add fee as appropriate):
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
Peter & Kathryn McDermott
Street and Apt. No., or PO Box No.
10720 Sycamore Springs Ln
City, State, ZIP+4®
Great Falls, VA 22066

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



7016 2290 0002 2610 3067

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Foltz Revocable Trust
Street and Apt. No., or PO Box No.
3555 Seaview Drive
City, State, ZIP+4®
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
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Sent To
Kevin & Nonette Murphy
Street and Apt. No., or PO Box No.
3301 Burnwash Court
City, State, ZIP+4®
Charlotte, NC 28271

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
John & Lynn Williams
Street and Apt. No., or PO Box No.
3555 Seaview Drive
City, State, ZIP+4®
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
Paul & Donna Reinholt
Street and Apt. No., or PO Box No.
1173 Windsor Drive
City, State, ZIP+4®
Houston, TX 77024

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
Thomas & Tara Olson
Street and Apt. No., or PO Box No.
361 Ridgeway Street
City, State, ZIP+4®
Saint Joseph, MI 49085

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
Carahin McAfee
Street and Apt. No., or PO Box No.
661 Richmond Hill Drive
City, State, ZIP+4®
Macon, GA 31210

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
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Sent To
Seabrook Grimes Trust/Ronald Colman
Street and Apt. No., or PO Box No.
3792 Grimes Drive
City, State, ZIP+4®
Columbus, GA 31901

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Marilyn Ashkari
Street and Apt. No., or PO Box No.
14 Tomahawk Street
City, State, ZIP+4®
Yorktown Heights, NY 10598

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
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Total Postage and Fees
\$

Sent To
The Club at Seabrook Island
Street and Apt. No., or PO Box No.
1002 Sandhill Way
City, State, ZIP+4®
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Seabrook Island Property Owners Assoc
Street and Apt. No., or PO Box No.
100 Sandhill Way
City, State, ZIP+4®
Seabrook Island, SC 29455

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions





ATTACHMENT #14

Public Hearing Notice:
Post & Courier Legal Ad

TOWN OF SEABROOK ISLAND
2001 SEABROOK ISLAND RD
JOHNS ISLAND SC 29455
Attn: Faye Allbritton

AFFIDAVIT OF PUBLICATION

The Post and Courier

State of South Carolina

County of Charleston

Personally appeared before me the undersigned advertising clerk of the above indicated newspaper published in the city of Charleston, county and state aforesaid, who, being duly sworn, says that the advertisement of

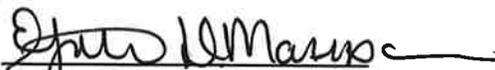
(copy attached)

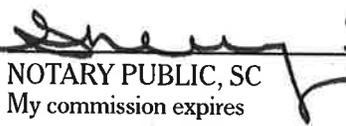
appeared in the issues of said newspaper on the following day(s):

07/27/20 Mon PC
07/27/20 Mon CNW

at a cost of **\$221.00**
Account# **108294**
Order# **1886347**
P.O. Number:

Subscribed and sworn to before
me this 27th day
of July
A.D. 2020


Advertising clerk


NOTARY PUBLIC, SC
My commission expires



TOWN OF SEABROOK ISLAND, SC NOTICE OF PUBLIC HEARING

The Town of Seabrook Island Board of Zoning Appeals will conduct a Virtual Public Hearing at 2:30 pm on Wednesday, August 26, 2020. During the meeting, the board will consider the following requests for variance from the Development Standards Ordinance for the Town of Seabrook Island:

Application # 166

APPLICANT: Robert and Katherine Newman (Owners) and Ron Welch (Applicant)

LOCATION:
2750 Gnarled Pine
TAX MAP #: 147-08-00-082
ZONING DISTRICT: SR
Single-Family Residential

VARIANCE(S) REQUESTED: To allow a proposed deck extension to encroach approximately 11 feet into the required 15-foot rear yard setback

Application # 167
APPLICANT: Eric and Elizabeth Bryan (Owners) and Malcolm Brennan (Applicant)

LOCATION:
2913 Deer Point Drive
TAX MAP #: 149-14-00-029
ZONING DISTRICT: SR
Single-Family Residential

VARIANCE(S) REQUESTED: To allow a proposed swimming pool to encroach approximately 6.5 feet into the required 25-foot setback from the OCRM critical line (marsh)

Application # 168
APPLICANT: Leanne and William Spaide (Owners) and Outdoor Spatial Design LLC (Applicant)

LOCATION:
3557 Seaview Drive
TAX MAP #: 147-11-00-049
ZONING DISTRICT: SR
Single-Family Residential

VARIANCE(S) REQUESTED: To allow a proposed retaining wall to encroach approximately 30 feet into the required 30-foot front yard setback and to allow terraced steps to encroach approximately 7 feet into the required 15-foot rear yard setback

Documents relating to the variance requests may be viewed on the town's website at www.townofseabrookisland.org.

Individuals who wish to submit a public comment on the variance requests may do so in writing by 12:00 pm on Tuesday, August 25, 2020, using one of the following options:

ONLINE:
www.townofseabrookisland.org
EMAIL: scronin@townofseabrookisland.org
MAIL: Town of Seabrook Island, 2001 Seabrook Island Road, Seabrook Island, SC 29455

The meeting will be live streamed on the town's YouTube channel at the following address: <https://www.youtube.com/channel/UCIkF87KnEApHD1n0K9a5Zp>
For more information, please call (843) 768-9121.

AD# 1886347



ATTACHMENT #15

Public Hearing Notice:
Property Posting

sh 168

NOTICE
Board of Zoning Appeals Hearing

The Board of Zoning Appeals of the Town of Seabrook Island, SC will hold a public hearing at 2:30pm on 8/26/20 at Virtual/YouTube

PUBLIC INVITED

Property Owner is seeking variance from Section ⁷⁻⁴⁻¹⁰~~16-10~~ of the Zoning Ordinance

VARIANCE IS TO ALLOW A proposed retaining wall to encroach 30 feet into the required 30-foot front yard setback and to allow terraced steps to encroach 7 feet into the required front yard setback.

Documents related to this appeal may be viewed at the Town of Seabrook Town Hall

**THIS NOTICE SHALL NOT BE REMOVED OR DEFACTED
UNDER PENALTY OF LAW**

3877 Smith



ATTACHMENT #16-A

Letter from Lynn & Jack Williams
(July 6, 2020)

William and Leanne Spaide
3557 Seaview Drive
Seabrook Island, South Carolina 29455
(949) 400-7052 (Bill)
(949) 400-7056 (Leanne)
wspaide@cs-llc.org
lpspaide@gmail.com

July 2, 2020

Lynn and Jack Williams
3558 Seaview Drive
Seabrook Island, South Carolina 29455

Dear Lynn and Jack,

As you know, since we relocated to Seabrook Island, we have been planning to redo the landscaping. We have continued with the efforts and, as a result, have produced more detailed plans and layouts. In addition to rejuvenating the trees and plants, we are also planning to replace some of the existing decking/stairs while also stabilizing some of the steeper slopes in the yard. We are excited about the positive impact our plans will have for both our property and the neighborhood.

As the house was constructed in 1984 prior to the town's incorporation and establishment of Development Standard Ordinances (DSO), we have the unique challenge that, while there were limited regulations at the time of constructions, setback requirements and similar restrictions have been subsequently implemented. As a result, existing features of the home and yard are "grandfathered" while new features are subject to the DSOs. We have become aware that two components of our landscaping plans will require us to apply for a zoning variance from the Town's Board of Zoning Appeals (ZBA)...both of which relate to encroachment into setbacks and the steep sloping in portions of our yard.

Related to the sloping, there are two areas particularly that have concerned us as being especially vulnerable to erosion and, if not addressed, potentially to liability. The first area is in the front yard on the left side of the driveway...the large oak on top of the dune. The steep grade of the hill next to the driveway continues to erode exposing the roots of the tree and increasing the risk that we may lose it in strong winds. We are proposing to add a small retaining wall next to the driveway to shore up the slope and protect the oak from further erosion. We plan to plant grasses and foliage in front of the wall to conceal the wall.

The other area is in the rear yard where we have a steep slope leading to the rear right corner of the lot. We are proposing to terrace the hill similar to the steps currently in place. The terracing will be wider than the steps and extend to within 8' of the rear property line. The DSOs permit the terracing to extend to within 15' of the line...we are requesting a variance for the additional 7' as the rear property boundary is bordered by a dense thicket. There will be ornamental groundcovers along the backyard terraced steps to further improve erosion and soften / hide the slope. As the backyard is only visible to from our property, we feel that this erosion-preventing strategy will not impact neighbors.

Lynn and Jack Williams
Page 2
July 2, 2020

Part of the ZBA process is a notice period prior to the actual BZA meeting. Along with the landscape architect, we are in the process of assembling a packet for submission to the Town in advance of the notice period and for presentation at the ZBA meeting. Letters of support from immediate neighbors are encouraged and factor into the ZBA's decision on granting variances. To that end, we are requesting that you consider our landscaping plans and support our variance exception request by signing below. Should you have any questions or concerns at all, please reach out to us and we will be happy to provide additional information.

Best regards,

Shelley *Louanne Spaide*

Enclosures: Design Layout – Spaide Residence
 Front Yard – Before
 Front Yard – After
 Rear Yard – Before
 Rear Yard – After

I, Lynn/Jack Williams, support the owners', of 3557 Seaview Drive, Seabrook Island, request for a variance the allow the stabilization of front and rear yard slopes as described above and shown in the attached documents.

John H. Williams Jr.
Name

7-6-20
Date

Lynn Williams
Name

7-6-20
Date

3558 SEAVIEW DRIVE
SEABROOK ISLAND, S. C.



ATTACHMENT #16-B

Letter from Sara Jane & John Foltz
(July 10, 2020)

William and Leanne Spaide
3557 Seaview Drive
Seabrook Island, South Carolina 29455
(949) 400-7052 (Bill)
(949) 400-7056 (Leanne)
wspaide@cs-llc.org
lpspaide@gmail.com

July 2, 2020

Sara Jane and John Foltz
3555 Seaview Drive
Seabrook Island, South Carolina 29455

Dear Sara Jane and John,

As you know, since we relocated to Seabrook Island, we have been planning to redo the landscaping. We have continued with the efforts and, as a result, have produced more detailed plans and layouts. In addition to rejuvenating the trees and plants, we are also planning to replace some of the existing decking/stairs while also stabilizing some of the steeper slopes in the yard. We are excited about the positive impact our plans will have for both our property and the neighborhood.

As the house was constructed in 1984 prior to the town's incorporation and establishment of Development Standard Ordinances (DSO), we have the unique challenge that, while there were limited regulations at the time of constructions, setback requirements and similar restrictions have been subsequently implemented. As a result, existing features of the home and yard are "grandfathered" while new features are subject to the DSOs. We have become aware that two components of our landscaping plans will require us to apply for a zoning variance from the Town's Board of Zoning Appeals (ZBA)...both of which relate to encroachment into setbacks and the steep sloping in portions of our yard.

Related to the sloping, there are two areas particularly that have concerned us as being especially vulnerable to erosion and, if not addressed, potentially to liability. The first area is in the front yard on the left side of the driveway...the large oak on top of the dune. The steep grade of the hill next to the driveway continues to erode exposing the roots of the tree and increasing the risk that we may lose it in strong winds. We are proposing to add a small retaining wall next to the driveway to shore up the slope and protect the oak from further erosion. We plan to plant grasses and foliage in front of the wall to conceal the wall.

The other area is in the rear yard where we have a steep slope leading to the rear right corner of the lot. We are proposing to terrace the hill similar to the steps currently in place. The terracing will be wider than the steps and extend to within 8' of the rear property line. The DSOs permit the terracing to extend to within 15' of the line...we are requesting a variance for the additional 7' as the rear property boundary is bordered by a dense thicket. There will be ornamental groundcovers along the backyard terraced steps to further improve erosion and soften / hide the slope. As the backyard is only visible to from our property, we feel that this erosion-preventing strategy will not impact neighbors.

Sara Jane and John Foltz

Page 2

July 2, 2020

Part of the ZBA process is a notice period prior to the actual BZA meeting. Along with the landscape architect, we are in the process of assembling a packet for submission to the Town in advance of the notice period and for presentation at the ZBA meeting. Letters of support from immediate neighbors are encouraged and factor into the ZBA's decision on granting variances. To that end, we are requesting that you consider our landscaping plans and support our variance exception request by signing below. Should you have any questions or concerns at all, please reach out to us and we will be happy to provide additional information.

Best regards,

John Foltz *Sara Jane Foltz*

- Enclosures: Design Layout – Spaide Residence
- Front Yard – Before
- Front Yard – After
- Rear Yard – Before
- Rear Yard – After

I, Sara Jane/John Foltz, support the owners', of 355⁵ Seaview Drive, Seabrook Island, request for a variance the allow the stabilization of front and rear yard slopes as described above and shown in the attached documents.

John Foltz
Name

7-10-20
Date

Sara Jane Foltz
Name

7-10-2020
Date



ATTACHMENT #16-C

Letter from Donna & Paul Reinbolt
(August 6, 2020)

Joe Cronin

From: Donna Reinbolt <donnareinbolt@aol.com>
Sent: Thursday, August 6, 2020 11:06 AM
To: Joe Cronin
Subject: Variance Request for 3557 Seaview Drive (Variance #168)
Attachments: Spaide ltr 7.6.20.docx

Hi Joe,

Thank you for sending the Public Hearing Notice dated July 22, 2020 regarding the above. Paul and I, adjacent neighbors to the subject property, support the variance. Attached please find a copy of a letter sent to the Spaides wherein we state the reasons for our support. Further, we signed an acknowledgement letter drafted by the Spaides that I believe was part of the Spaides' variance application.

Donna Reinbolt

3559 Seaview Drive
Seabrook Island, SC 29455

and

11731 Winshire Circle
Houston, TX 77024

Donna M. Reinbolt
3559 Seaview Drive
Seabrook Island, SC 29455
donnareinbolt@aol.com
832-603-2237

July 6, 2020

Leanne and William Spaide
3557 Seaview Drive
Seabrook Island, SC 29455

Dear Leanne and Bill,

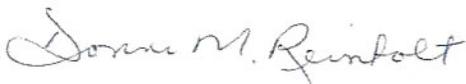
Thank you for your letter dated July 2, 2020 and related attachments pertaining to your proposed landscaping. Paul and I support your proposal, as described, and so indicated by executing your letter, a copy of which is attached.

The large oak on top of the dune in your front yard is beautiful and part of the character of our street. It is our opinion that protecting and saving such trees are good for property values. We appreciate the time, effort and cost you are willing to contribute to ensure the well-being of the large oak.

Likewise, we anticipate the rear yard terracing that is proposed will help prevent erosion and thereby protect the trees within the yard. Along with being beautiful, the trees also provide a screen against errant golf balls. Again, we appreciate your efforts.

We support your variance request and wish you success.

Sincerely,



Donna M. Reinbolt

Enc.

William and Leanne Spaide
3557 Seaview Drive
Seabrook Island, South Carolina 29455
(949) 400-7052 (Bill)
(949) 400-7056 (Leanne)
wspaide@cs-llc.org
lpspaide@gmail.com

July 2, 2020

Donna and Paul Reinbolt
3559 Seaview Drive
Seabrook Island, South Carolina 29455

Dear Donna and Paul,

As you know, since we relocated to Seabrook Island, we have been planning to redo the landscaping. A few months ago, Leanne shared the preliminary drawings of what we were planning with you. We have continued with the efforts and, as a result, have produced more detailed plans and layouts. In addition to rejuvenating the trees and plants, we are also planning to replace some of the existing decking/stairs while also stabilizing some of the steeper slopes in the yard. We are excited about the positive impact our plans will have for both our property and the neighborhood.

As the house was constructed in 1984 prior to the town's incorporation and establishment of Development Standard Ordinances (DSO), we have the unique challenge that, while there were limited regulations at the time of constructions, setback requirements and similar restrictions have been subsequently implemented. As a result, existing features of the home and yard are "grandfathered" while new features are subject to the DSOs. We have become aware that two components of our landscaping plans will require us to apply for a zoning variance from the Town's Board of Zoning Appeals (ZBA)...both of which relate to encroachment into setbacks and the steep sloping in portions of our yard.

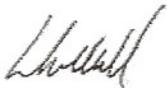
Related to the sloping, there are two areas particularly that have concerned us as being especially vulnerable to erosion and, if not addressed, potentially to liability. The first area is in the front yard on the left side of the driveway...the large oak on top of the dune. The steep grade of the hill next to the driveway continues to erode exposing the roots of the tree and increasing the risk that we may lose it in strong winds. We are proposing to add a small retaining wall next to the driveway to shore up the slope and protect the oak from further erosion. We plan to plant grasses and foliage in front of the wall to conceal the wall.

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Donna and Paul Reinbolt
Page 2
July 2, 2020

Part of the ZBA process is a notice period prior to the actual BZA meeting. Along with the landscape architect, we are in the process of assembling a packet for submission to the Town in advance of the notice period and for presentation at the ZBA meeting. Letters of support from immediate neighbors are encouraged and factor into the ZBA's decision on granting variances. To that end, we are requesting that you consider our landscaping plans and support our variance exception request by signing below. Should you have any questions or concerns at all, please reach out to us and we will be happy to provide additional information.

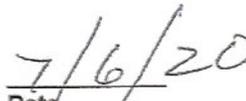
Best regards,

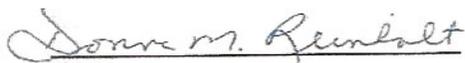
 

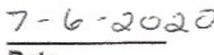
Enclosures: Design Layout – Spaide Residence
Front Yard – Before
Front Yard – After
Rear Yard – Before
Rear Yard – After

I, Donna/Paul Reinbolt, support the owners', of 3557 Seaview Drive, Seabrook Island, request for a variance the allow the stabilization of front and rear yard slopes as described above and shown in the attached documents.


Name


Date


Name


Date

3559 Seaview Dr.
Seabrook Island, SC 29455